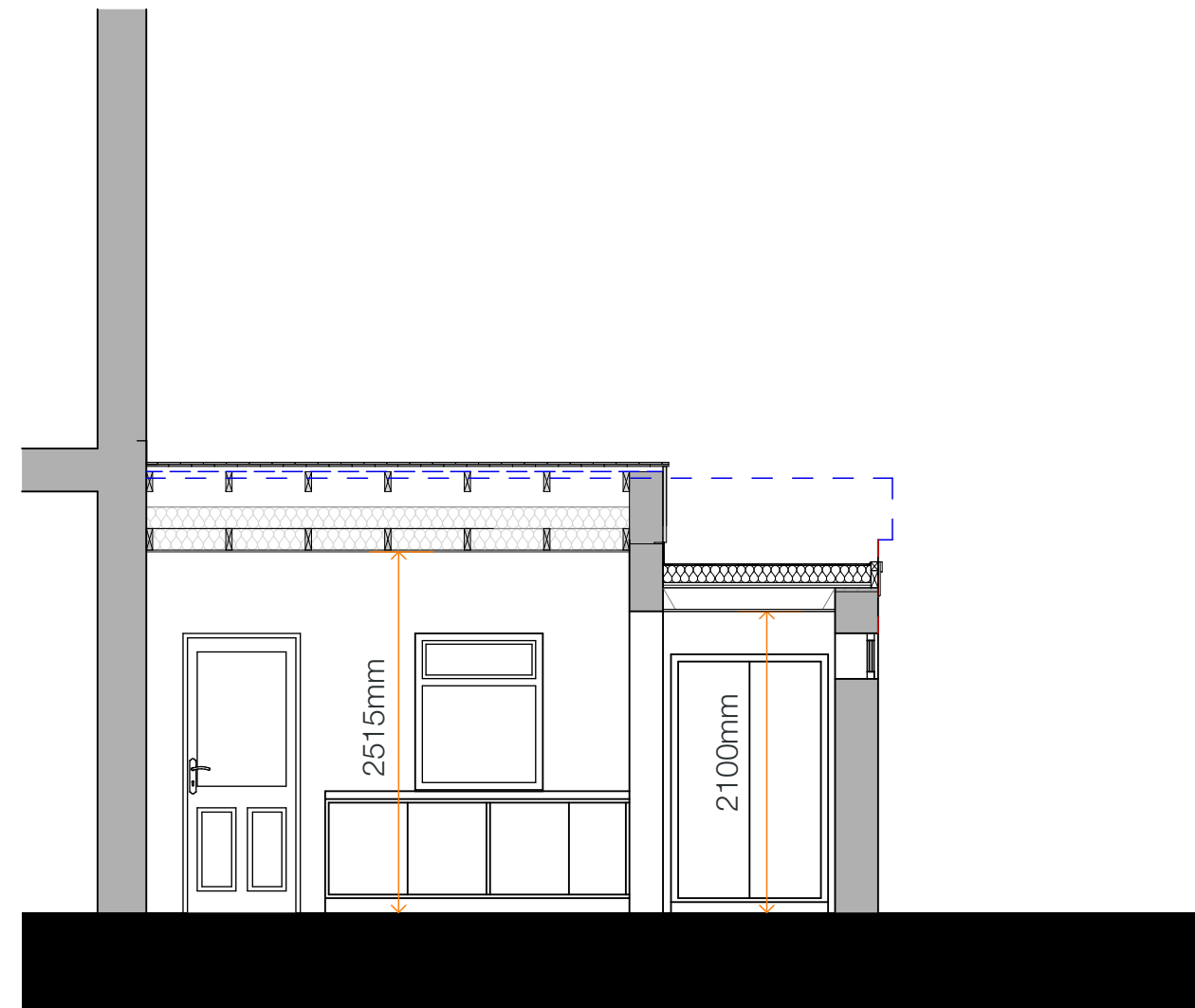
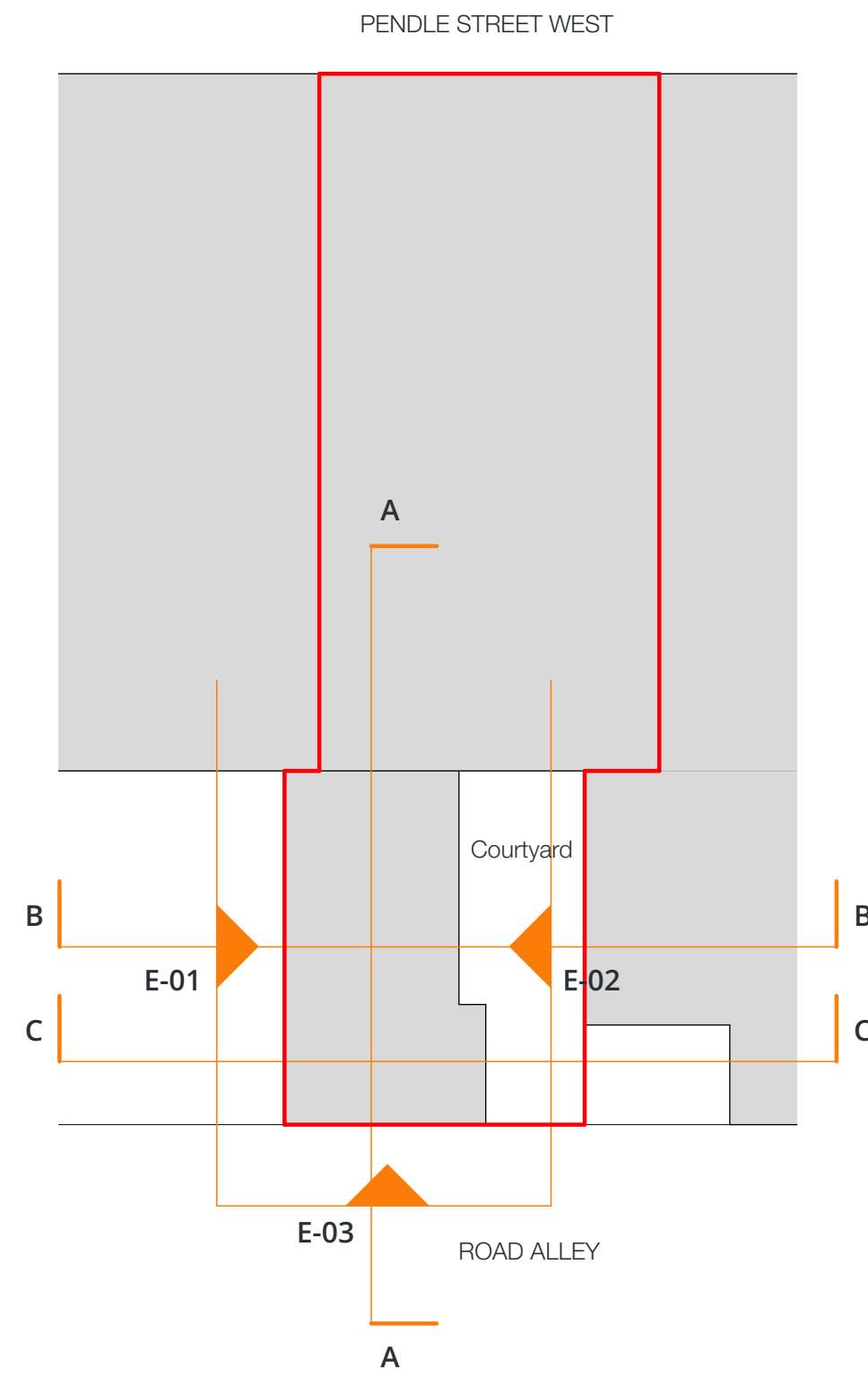
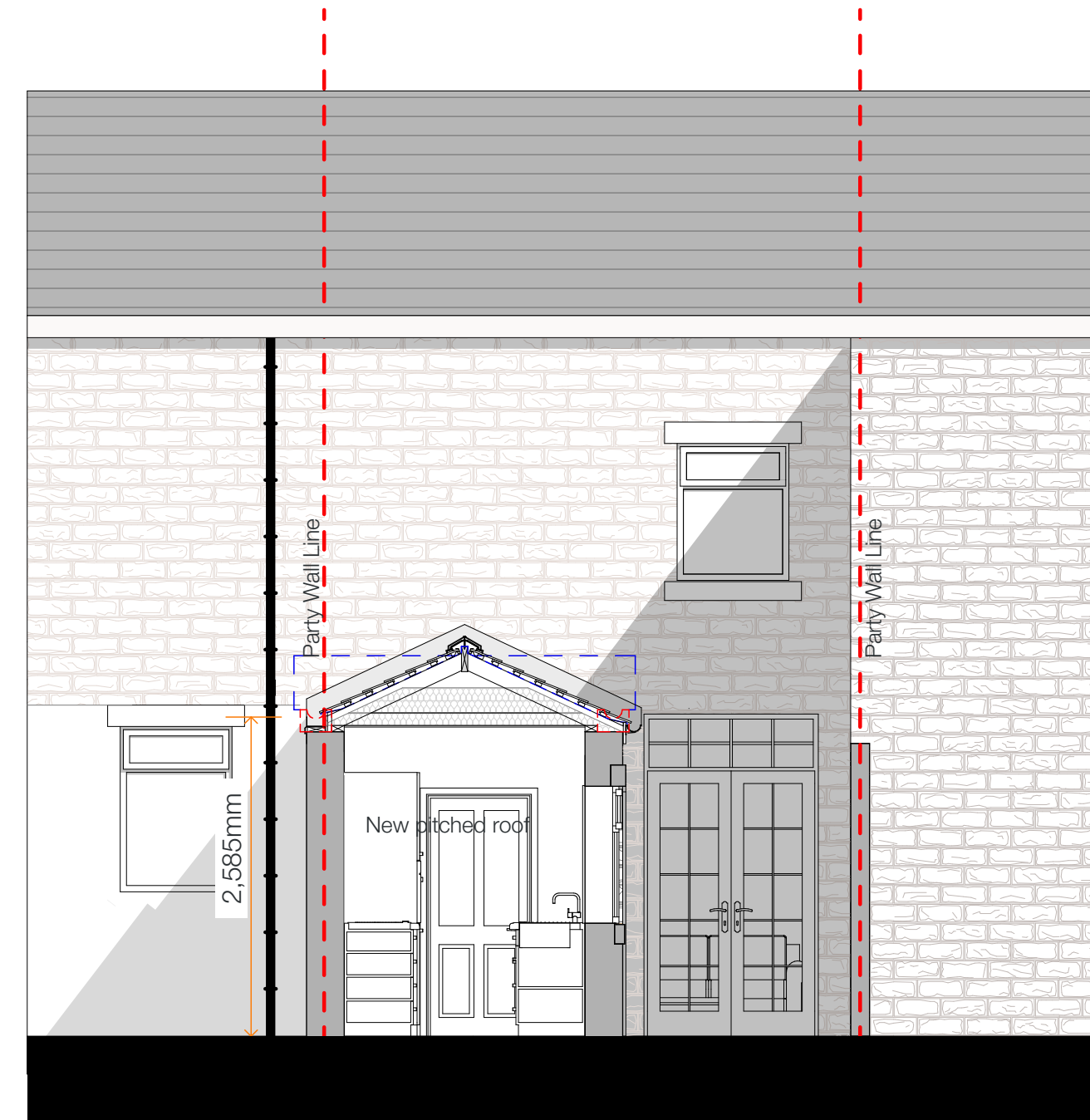
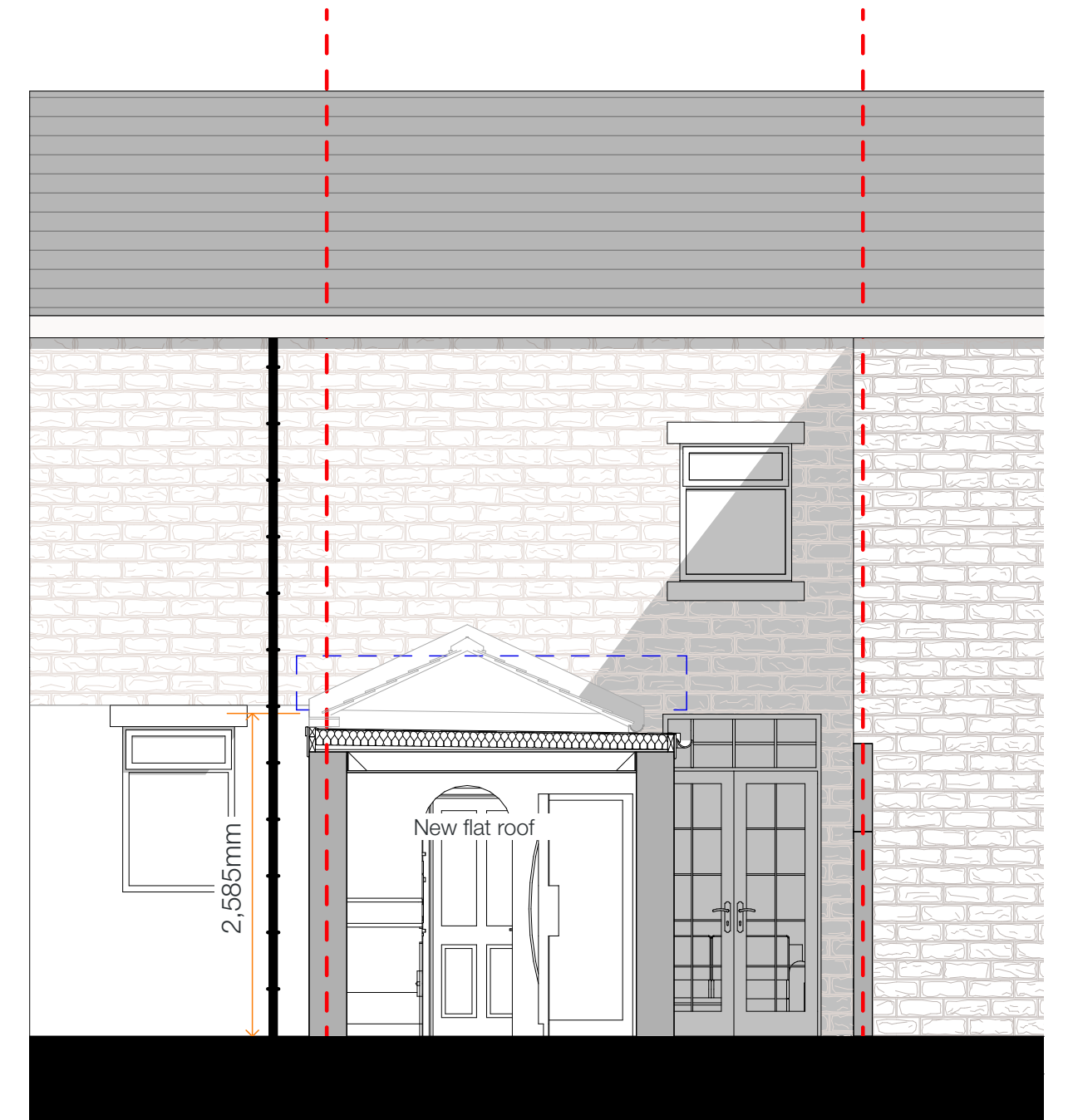




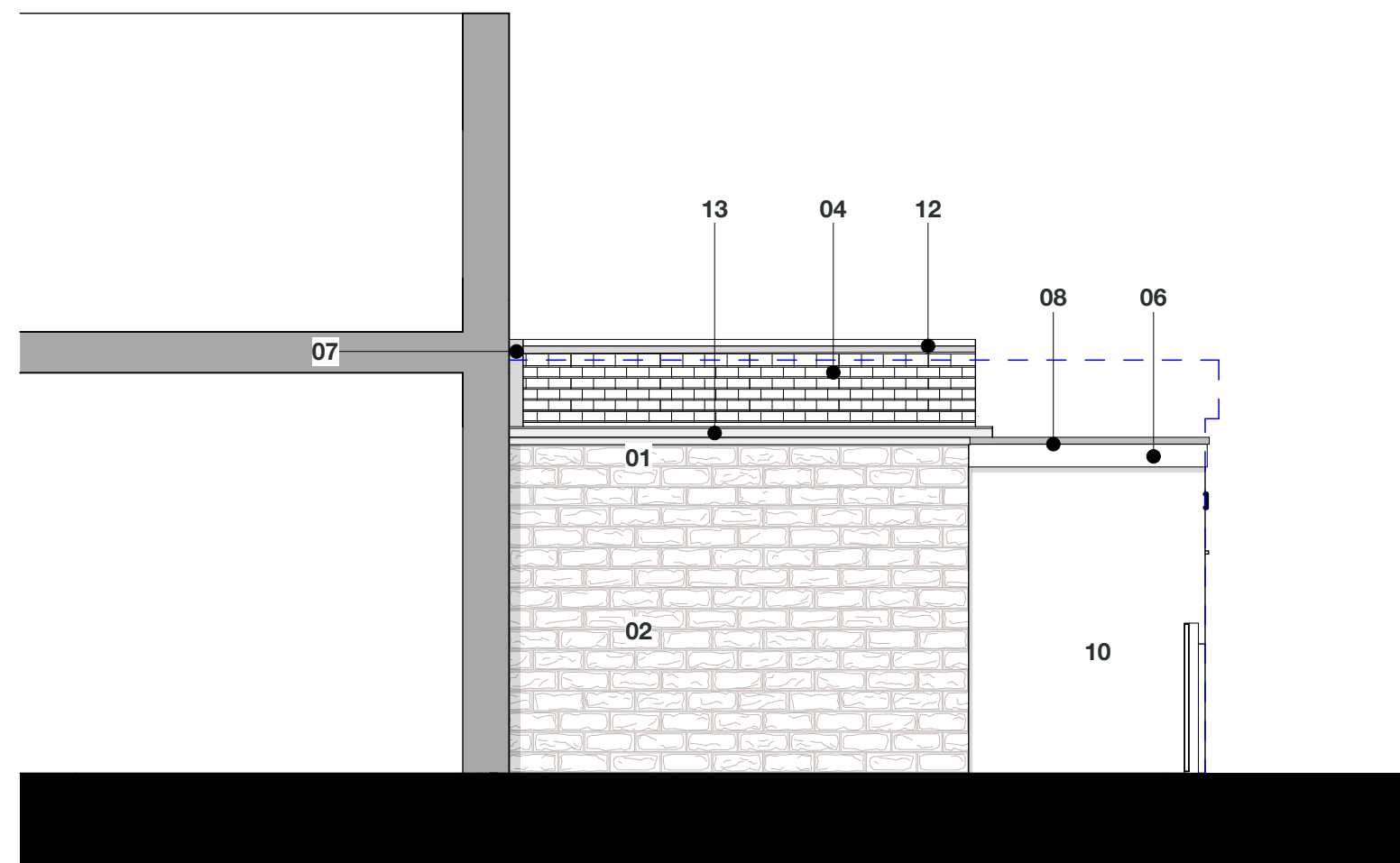
Section A-A
Proposed Building Long Section



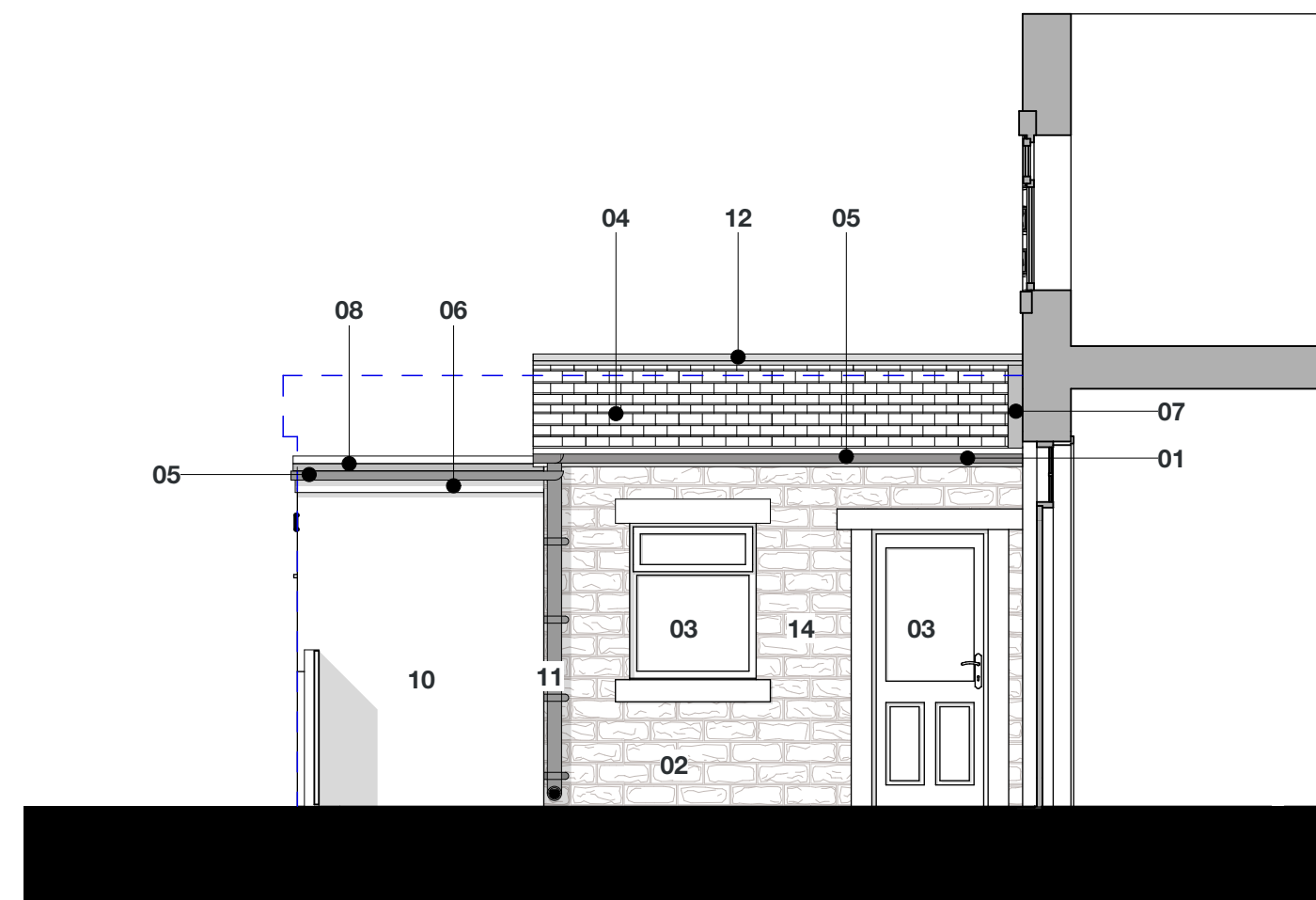
Section B-B
Proposed Building Short Section



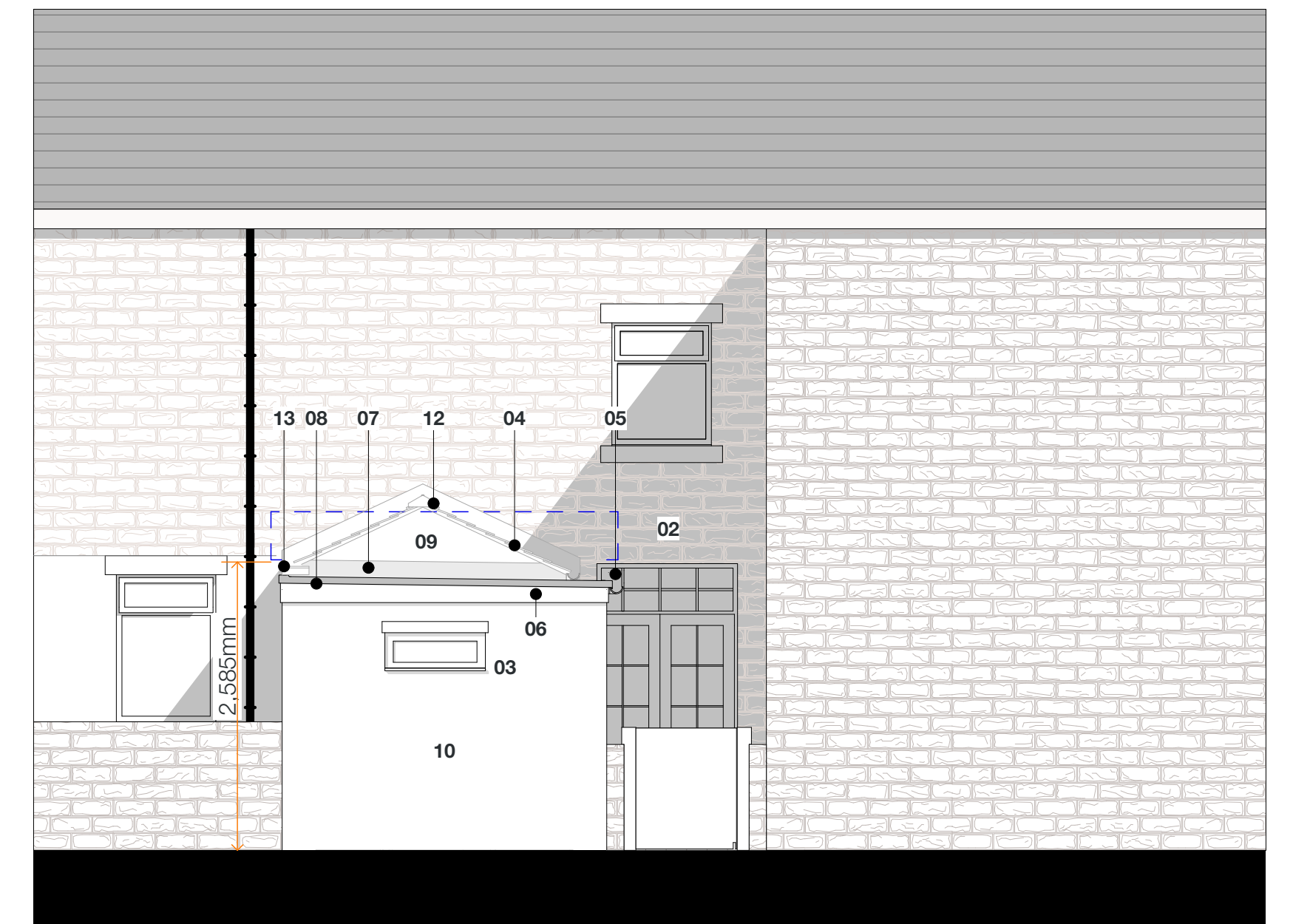
Section C-C
Proposed Building Short Section



Elevation E-01
Proposed Party Wall Elevation

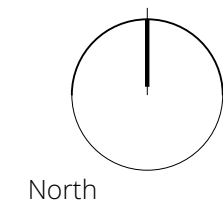


Elevation E-02
Proposed Courtyard Elevation



Elevation E-03
Proposed Rear Elevation

- | | | | | | | | | | | | |
|----|---|----|--|----|---|----|--|----|---|----|--|
| 01 | Original stone gutter to be removed | 04 | New pitched roof finished in slate roof tiles to match roof to main building | 07 | Code 4 lead flashing to junction between pitched roof and external wall | 10 | Outrigger to be re-rendered in through colour off-white render to match existing | 13 | Original stone gutter to be replaced for new profiled aluminium gutter fixed to top of existing walls laid to falls. Falls to be to rear boundary of property and discharge onto new flat roof to allow all drainage to remain in-curtlage. Colour matched aluminium flashing to top of existing walls to conceal gutter fixing | 14 | Original cast iron downpipe associated with stone gutter to be taken out and external walls made good. |
| 02 | Existing stone external walls | 05 | New black UPVC gutter to match adjacent properties | 08 | Proposed flat roof finished in single ply roof membrane, laid to falls | 11 | Black UPVC rainwater pipe to match adjacent properties | | | | |
| 03 | Existing doors / windows to be retained | 06 | Black wood grain effect UPVC fascia board to new gutter | 09 | Gable pike finished in through-colour render to match original | 12 | Proprietary stone ventilated ridge tile to match roof slates | | | | |



--- Denotes extent of existing flat roof

Rev	Date	Description	Drawn
D	25/06/2021	Original stone gutter to be removed and replaced for new aluminium gutter	BB
C	08/06/2021	Party wall gutter changed to new aluminium gutter, discharging onto flat roof	BB
B	04/06/2021	Party wall gutter design amended, Existing concealed stone gutter to be retained and upgraded	BB
A	07/12/2020	Proposed dimensions updated @ request of planning	BB

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1:50
First Issue Date
08/04/2020
RIBA Stage - Drawing Status
[3] - Planning
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BB
Check
BY

