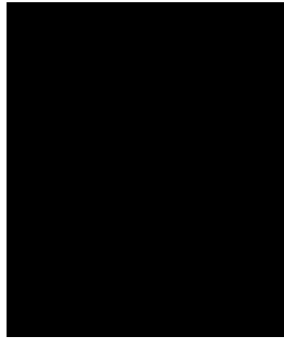


From: [REDACTED]
Sent: 14 February 2022 09:02
To: Planning
Subject: Planning Application No. 3/2021/1160
Attachments: letter of objection.doc



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Your Ref.: 3/2021/1160

Ribble Valley Borough Council

14 February 2022

Council Offices

Church Walk

Clitheroe

Lancashire

BB7 2RA

Dear Mr Dowd,

Re: Planning Application No. 3/2021/1160, Owner of 63 Berry Lane, Longridge

I refer to the above planning application.

I wrote a letter of objection that I personally hand delivered to RVBC on 7 December 2021 but note that it has not been included in the letters of objection/support include on your web site.

I attach a copy of the letter and should be grateful if you would ensure it is uploaded it to the web site.

In view of the irregularity would you please confirm to me that you have so uploaded the letter and that it will be taken into account when the application is considered.

Yours sincerely

[REDACTED]



Your Ref.: 3/2021/1160

Ribble Valley Borough Council
Council Offices
Church Walk
Clitheroe
Lancashire
BB7 2RA

7 December 2021

Dear Mr Dowd,

Re: Planning Application No. 3/2021/1160
Grid ref. 360265 437507
Owner of 63 Berry Lane, Longridge

I refer to your letter dated 25 November 2021 regarding the above planning application. This letter is a letter of objection made on the grounds set out below. There is no objection made to the proposals for the shop front, refurbishment and re-opening of the former Swifts retail outlet.

1. Before setting out the grounds of objection I first make some general points by way of background:

1.1 [REDACTED]
[REDACTED] At best
this practice is unfortunate timing given that a Planning Application is in process.

1.2 I am also aware that the [REDACTED] will be objecting as will the [REDACTED]
[REDACTED] There may be others.

1.3 The proposals appear to be so significant that they impact on the town as a whole. Consideration should perhaps be given to a much wider consultation than the listed consultees.

I now turn to the grounds for this letter of objection to the development.

2. The proposed development:

2.1 Given the size and extent of the development it seems grossly excessive both in height (the proposal is for a height at 2.5 stories) and in scale, for the area proposed.

2.2. The height of the proposed development along [REDACTED] appears to far exceed those buildings running along [REDACTED]. The height also impacts considerably the buildings along [REDACTED] behind the development, both in terms of light deprivation and dominance of the development. A great attribute to the amenity enjoyed by the retail spaces, residential areas and yards along the back of Berry Lane is the light and sunny aspect. The fronts of the properties are on the dark north side of the road and so any impact on light and sunshine from the rear of Berry Lane would have significant effect on the overall internal light of the various premises.

2.3 The consequence of height referred to in point 2.2 above [REDACTED]
[REDACTED]

(i) [REDACTED]

(ii) [REDACTED]

2.4 There have been in the past sewage blockage problems in the foul sewer that runs along the rear of the Berry Lane properties. Extensive work was carried out by United Utilities (or one of their contractors) [REDACTED]. I was informed by United Utilities employees that the sewer is old and is challenged by the existing demand. If this sewer is to be tapped into by the proposed development there will no doubt be a much greater demand on the system.

2.5 The building materials proposed for the development are not, in my opinion, consistent with the general conservation area and would set a precedent for any future development. It is doubtful that they would stand the test of time and appear to be an attempt to minimise cost.

2.6 The development which in addition to the commercial development proposes 7 residential units does not provide any parking or space for cars, additional residential car parking needs, nor for motor bikes or even bicycles. Nor does it take into account access for deliveries and despatch in a fairly constrained area.

2.7 The claim to create additional employment is minimal and does not take into account the employment that was lost with the damage to the Swift's previous retail outlet. Effectively there is no additional employment attached to the development.

Yours sincerely

[REDACTED]