

PLANNING STATEMENT

For
The Proposed Extensions and Alterations
To
No. 8 Whittam Road
Whalley
Lancashire



Date: October 2021

1.0 INTRODUCTION

- 1.1** This Planning Statement has been prepared by Ribble Valley Architecture Ltd. on the behalf of our clients Mr and Mrs Wallace, it has been prepared as part of a householder planning application which seeks approval for the proposed extensions and alterations to No.8 Whittam Road, Whalley.
- 1.2** This statement provides a description of the site and the proposed works, its compliance with the development plan and an assessment of other material considerations.

It is to be read in conjunction with the following planning drawings and documentation:

- WR – 01A Existing Plans and Elevations.
- WR – 02A Proposed Plans and Elevations.
- WR – Site Location Plan
- WR – Block Plan

2.0 THE SITE

- 2.1** The property is a semi - detached dwelling built of facing brickwork and render with a slate roof covering.
- 2.2** The property is located along Whittam Road which is accessed from Mitton Road, it is within walking distance of Whalley village Centre.



FIGURE 1: SITE LOCATION

3.0 PROPOSAL

- 3.1** The dwelling comprises of a semi - detached two storey property, with the principle front elevation facing South onto Whittam Road. A driveway is located to the front of the property and a detached garage is situated to the rear of the site, with garden amenity areas to the front and rear.
- 3.2** The scheme facilitates the removal of a lean to structure to the rear of the property.
- 3.3** The proposal comprises of a two storey side and rear extension with a single storey element to the rear of the property to facilitate an enlarged open plan kitchen/dining and snug area, utility/boot room and WC at ground floor level, an enlarged bathroom, additional bedroom and En-suite at first floor level.



FIGURE 2: PROPOSED GROUND AND FIRST FLOOR PLANS

- 3.4** The extensions are proposed to be constructed from facing brickwork and render with a slate roof covering to match the existing. Rooflights have been included in the design to ensure the area benefits from large expanses of natural light.

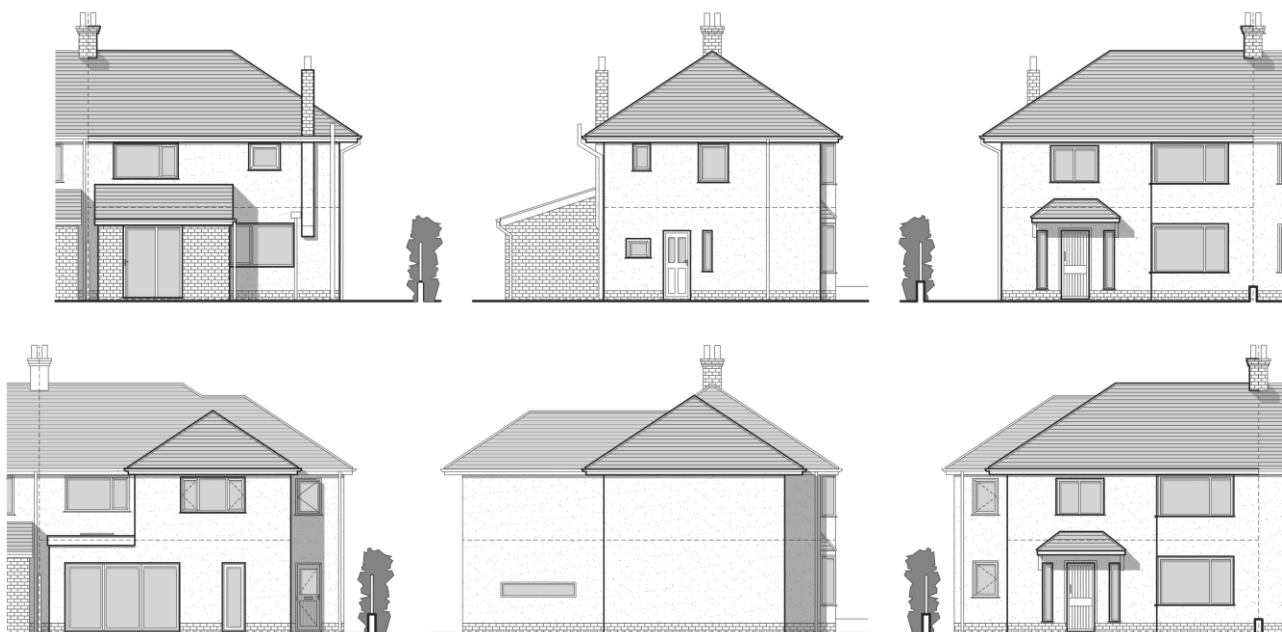


FIGURE 3: EXISTING AND PROPOSED ELEVATIONS

- 3.5** The design has taken reference from the surrounding context including the hipped roofs and material selection to create a proposal that is in keeping with the existing property and area. planning policy guidance advises to repeat the existing hipped roof feature maintaining the existing angle of the roof profile to the extensions to ensure the general form and shape of the original dwelling is respected and reflected to ensure the character of the property is maintained, providing a positive visual impact and ensuring a positive relationship between the original property and extensions when viewed from the street scene. In addition, the ridge line of the extensions are lower than that of the existing roof ridge line ensuring the extensions blend in with the existing property, in turn the same eaves and verge detailing of the extensions reflect that of the existing property.
- 3.6** A limited palette of quality materials such as Upvc anthracite grey coloured windows/door frames, natural slate, facing brickwork and a rendered finish throughout to match the existing property, integrated with simple and quality detailing are used to enhance the positive visual impact of the design.
- 3.7** A horizontal slot window has been incorporated into the West elevation. The boundary with the neighbouring property is well screened with an existing row of conifers and this will ensure the privacy of the neighbouring property is achieved and will ensure overlooking of neighbouring garden area is avoided

4.0 PLANNING HISTORY

4.1 Previous planning application submitted for No.8 Whittam Road.

- 3/2021/0217. Proposed double storey rear and side extension with garage conversion, new canopy to entrance door and new widened driveway to front garden. Refused 12.08.2021.

The application was refused as stated in the decision notice due to the following:

“The proposed first floor wrap-around extension has a harmful impact upon the character and appearance of the area because of its undue prominence and incongruous and conspicuous form. This is contrary to Ribble Valley Core Strategy Policy DMG1 and DMH5”.

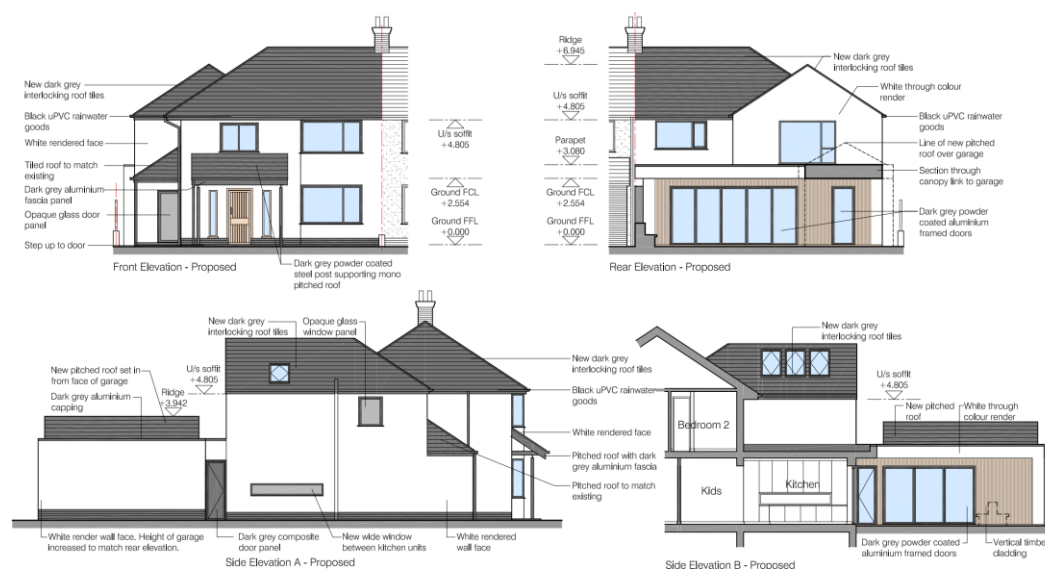


FIGURE 4: PLANNING APPLICATION NO. • 3/2021/0217

4.2 Recent planning history to dwellings in close proximity

- 3/2020/1029. Proposed re-construction of fire damaged dwelling, conversion of garage into dining area. No.1 Whittam Road. Approved 29.01.2021
- 3/2013/0196. Proposed demolition of the existing rear conservatory and the erection of a single storey rear extension. Alterations to the internal layout of the garage/utility room to form a spare room, W.C., utility and workshop/store. A new pitched roof will be extended over the rear end of the existing garage/utility and the wall/roof brought up to current regulations. No.12 Whittam Road. Approved 17.04.2013.
- 3/2009/0143. Proposed single storey extension. No.18 Whittam Road. Approved 9.04.2009
- 3/2019/0228. Proposed single storey extension to front and side. Two-storey extension to side and rear. Demolition of existing garage. No.86 Mitton Road. Approved 15.05.2019.
- 3/2017/0479. First floor extension over existing single storey pitched roof extension to create two storey extension to rear. No.84 Mitton Road. Approved 21.07.2017
- 3/2010/0882. Two-storey side extension, single storey rear extension and alterations. No.70 Mitton Road. Approved 11.05.2011

- 4.3** The planning history to properties located in close proximity to No.8 Whittam Road indicate a number of properties that have had two storey rear and side extensions approved in recent times. Attention is drawn to planning application No. 3/2019/0228 located adjacent to No.8 Whittam Road that has received approval in recent times for a proposed single storey front and side extension and two storey side and rear extension.



FIGURE 5: PLANNING APPLICATION NO. 3/2019/0228

5.0 DEVELOPMENT PLAN POLICY

- 5.1** Section 38(6) of the Planning and Compulsory Purchase Act 2004 states that decisions should be made in accordance with the development plan unless material considerations indicate otherwise. The Development Plan for the purposes of this application comprises the Ribble Valley Core Strategy (adopted 2014) and the National Planning Policy Framework (NPPF) (2021).
- 5.2** The following policies are of relevance to the proposal:
- Policy DMG1: General Considerations
 - Policy DMH5: Residential and curtilage extension

6.0 EVALUATION

6.1 The main factors to be considered are:

- Visual amenity/external appearance
- Impact upon residential amenity

6.2 VISUAL APPEARANCE

Part of the extension will be visible from the street scene when approaching the property along Whittam road. The design and material selection will ensure that the proposal contributes positively to the street scene and character of the area. The proposal complies with the requirements of policy DMH5 and DMG1.

6.3 IMPACT UPON RESIDENTIAL AMENITY

The proposal does not compromise the amenity of adjacent properties and would not result in a loss of light. The proposal complies with the requirements of policies DMG1 and DMH5 in this respect.

6.4 HIGHWAYS AND PARKING

The proposal facilitates the required number of vehicular parking spaces for a 4 bedroom property. The proposal will not have a negative impact to the local highway.

7.0 CONCLUSION

7.1 In summary the proposal which forms the basis of this householder planning application has been designed to subtly provide a positive visual impact, for the site and will complement the existing street scene. The proposal does not compromise the amenity of adjacent properties and would not result in a loss of light. The site is within an established residential area in which a number of similar sized extensions have been approved in close proximity. The proposal fully accords with the policies of the Core Strategy and the National Planning Policy Framework.