

PLANNING STATEMENT

**For
The Proposed Extension and Alterations
To
No. 3 Commons Lane
Balderstone
Lancashire**



Date: November 2021

1.0 INTRODUCTION

- 1.1** This Planning Statement has been prepared by Ribble Valley Architecture Ltd. on the behalf of our clients Mr and Mrs Evans, it has been prepared as part of a householder planning application which seeks approval for the proposed extension and alterations to No.3 Commons Lane, Balderstone.
- 1.2** This statement provides a description of the site and the proposed works, its compliance with the development plan and an assessment of other material considerations.

It is to be read in conjunction with the following planning drawings and documentation:

- CL - 01 Existing Plans and Elevations.
- CL - 02A Proposed Plans and Elevations.
- CL - 03 Existing and Proposed Site Plans.
- CL – Site Location Plan
- CL – Block Plan

2.0 THE SITE

- 2.1** The property is a semi - detached dwelling built of facing brickwork.
- 2.2** The property is located along Commons Lane which is accessed from Higher Commons Lane.

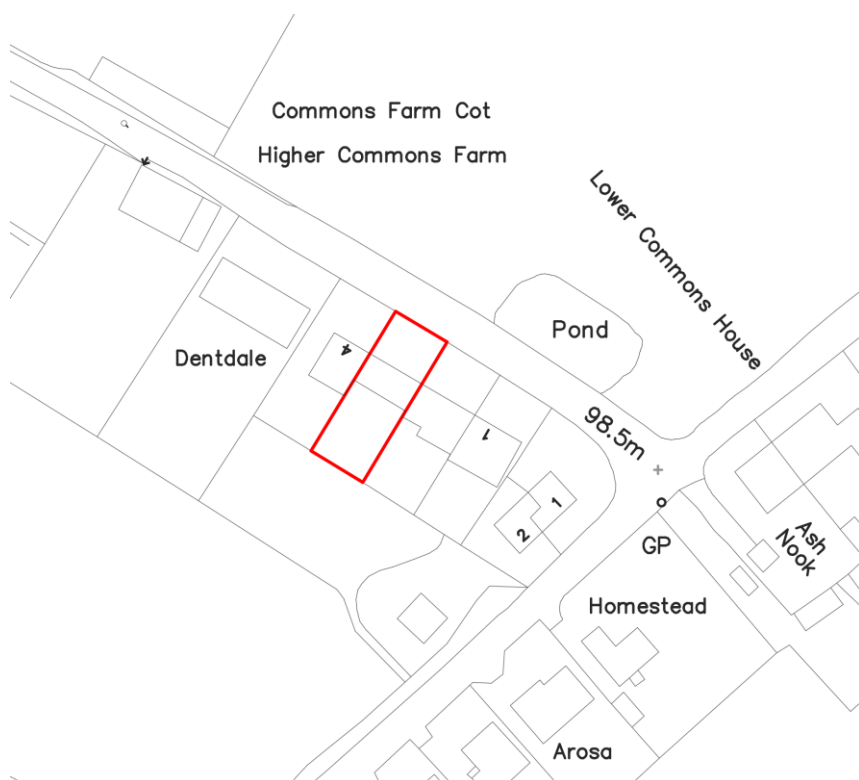


FIGURE 1: SITE LOCATION

3.0 PROPOSAL

- 3.1** The dwelling comprises of a two storey property, with the principle front elevation facing North East onto Commons Lane. A driveway is located to the front of the property and garden amenity areas are located to the front and rear.
- 3.2** The scheme facilitates the removal of a lean to structure to the rear of the property.
- 3.3** The proposal comprises of a two storey extension with a single storey element to the rear of the property to facilitate an enlarged open plan kitchen/dining area, utility and cloak room at ground floor level, at first floor level a master bedroom and En-suite is proposed and a home office/playroom created in the loft conversion.

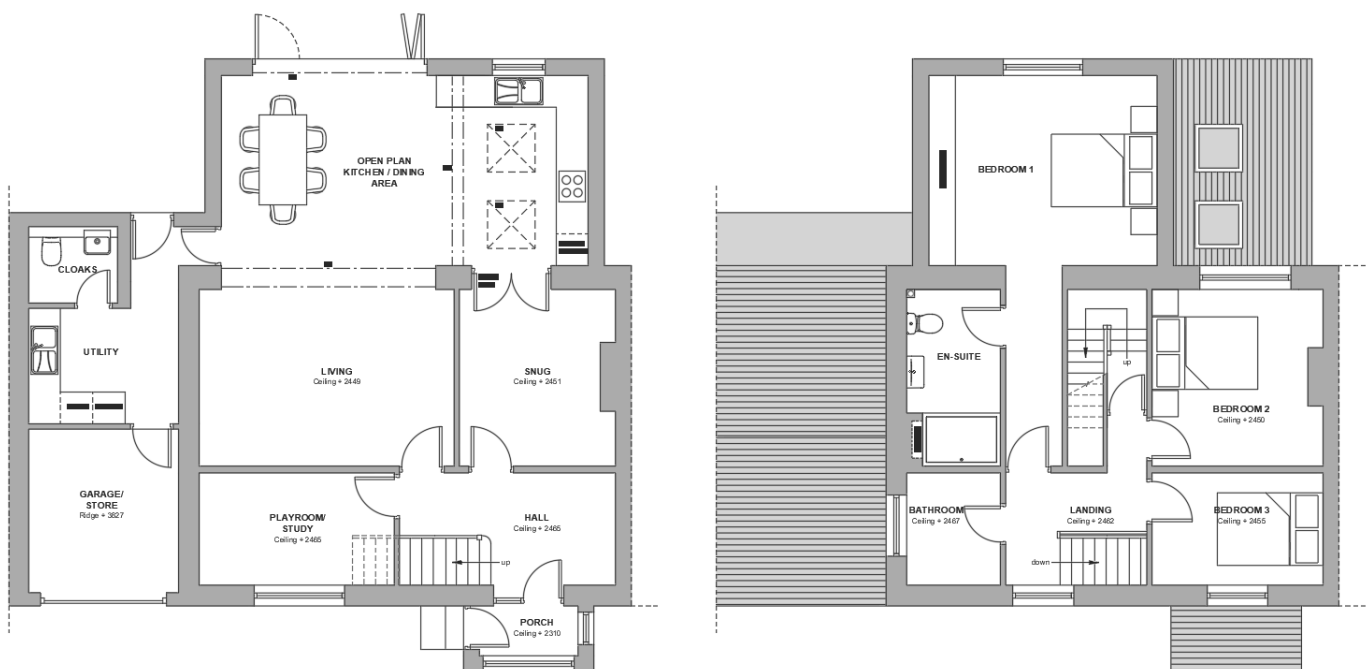


FIGURE 2: PROPOSED GROUND AND FIRST FLOOR PLANS

- 3.4** The extension is proposed to be constructed from masonry with a rendered finish and a concrete tile roof covering. Rooflights have been included in the design to ensure the area benefits from large expanses of natural light.



FIGURE 3: EXISTING AND PROPOSED ELEVATIONS

- 3.5** The design has taken reference from the surrounding context to create a proposal that is in keeping with the existing property and area.
- 3.6** A limited palette of quality materials such as Upvc windows and a rendered finish throughout, integrated with simple and quality detailing are used to enhance the positive visual impact of the design.
- 3.7** The proposed two storey rear extension and single storey element have been designed to reflect that of the neighbouring extension to No. 4 Commons Lane.
- 3.8** The volume of the proposed rear dormer is 6.4m³. The dormer has been designed in accordance with the householder permitted development rights as set out in the Town and Country Planning (General Permitted Development) (England) Order 2015.

4.0 PLANNING HISTORY

- 4.1** The council's online planning register indicates there is no record of any previous planning history for No.3 Commons Lane.
- 4.2** Recent planning history to dwellings in close proximity
- 3/2016/0550. Proposed two storey extension and associated internal alterations. No.4 Commons Lane. Approved 27.10.2016

5.0 DEVELOPMENT PLAN POLICY

- 5.1** Section 38(6) of the Planning and Compulsory Purchase Act 2004 states that decisions should be made in accordance with the development plan unless material considerations indicate otherwise. The Development Plan for the purposes of this application comprises the Ribble Valley Core Strategy (adopted 2014) and the National Planning Policy Framework (NPPF) (2021).
- 5.2** The following policies are of relevance to the proposal:
- Policy DMG1: General Considerations
- Policy DMH5: Residential and curtilage extension

6.0 EVALUATION

- 6.1** The main factors to be considered are:
- Visual amenity/external appearance
 - Impact upon residential amenity
- 6.2 VISUAL APPEARANCE**
- The proposed extension will not be visible when viewed along Commons Lane. The extension will be visible when viewed from Higher Commons Lane. The design and material selection will ensure that the proposal contributes positively to the street scene and is in keeping with the extension approved for No. 4 Commons Lane. The proposal complies with the requirements of policy DMH5 and DMG1.
- 6.3 IMPACT UPON RESIDENTIAL AMENITY**
- The proposal does not compromise the amenity of adjacent properties and would not result in a loss of light. The proposal complies with the requirements of policies DMG1 and DMH5 in this respect.
- 6.4 HIGHWAYS AND PARKING**
- The proposals facilitates the required number of vehicular parking spaces for a 3 bedroom property. The proposal will not have a negative impact to the local highway.

7.0 CONCLUSION

- 7.1** In summary the proposal which forms the basis of this householder planning application has been designed to subtly provide a positive visual impact, for the site and will complement the existing street scene. The proposal does not compromise the amenity of adjacent properties and would not result in a loss of light. The site is within a residential area in which a number of similar sized extensions have been approved in close proximity. The proposal fully accords with the policies of the Core Strategy and the National Planning Policy Framework.