

HIGHER NEWFIELD EDGE & PENTANGLE BARN.

DESIGN AND ACCESS STATEMENT.

ZMA
ZARA MOON ARCHITECTS
October 2021



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1.0 INTRODUCTION

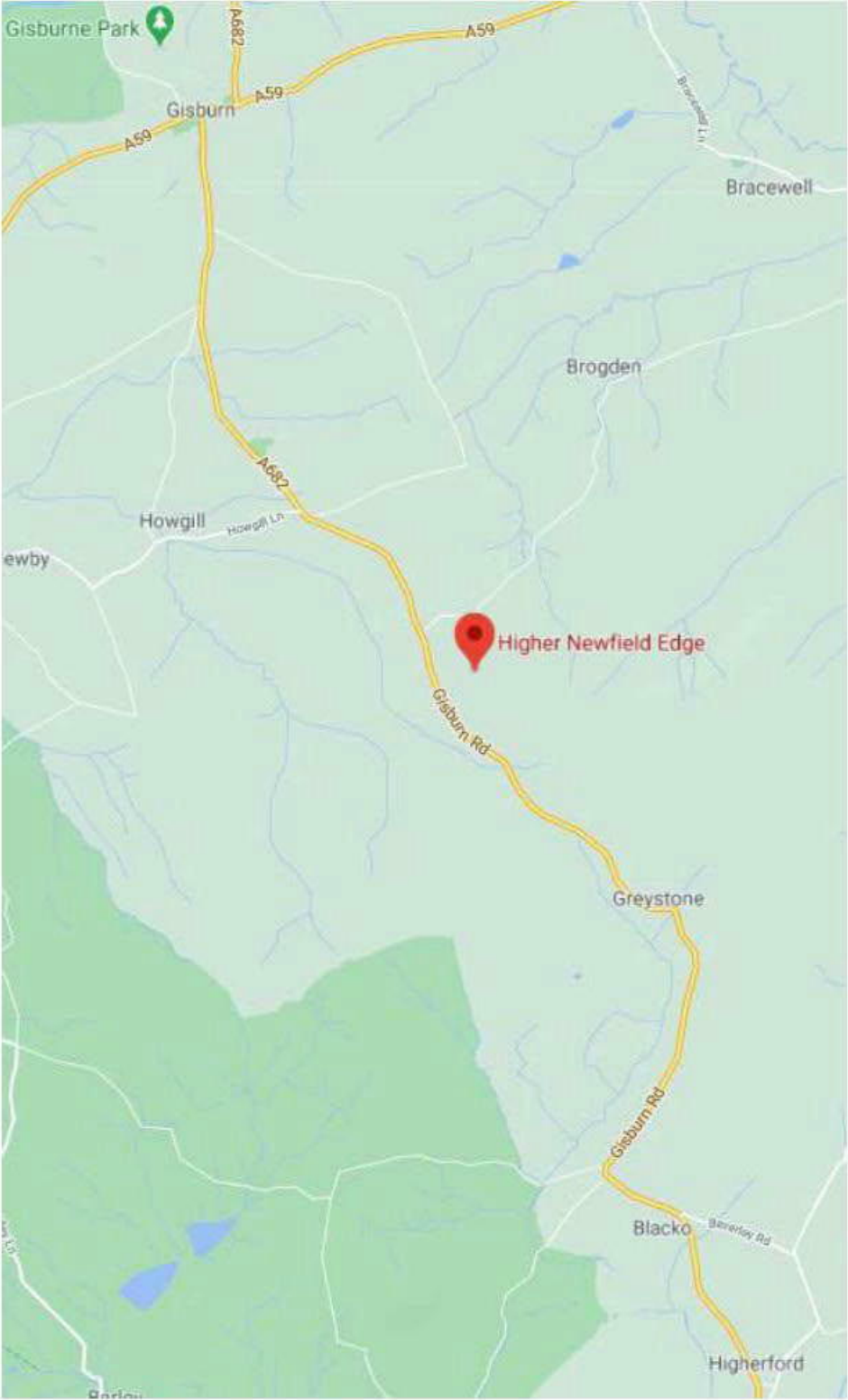
1.1 PROJECT INFORMATION

Site Location:
Higher Newfield Edge
Stocks Lane
Middop
BB7 4JN

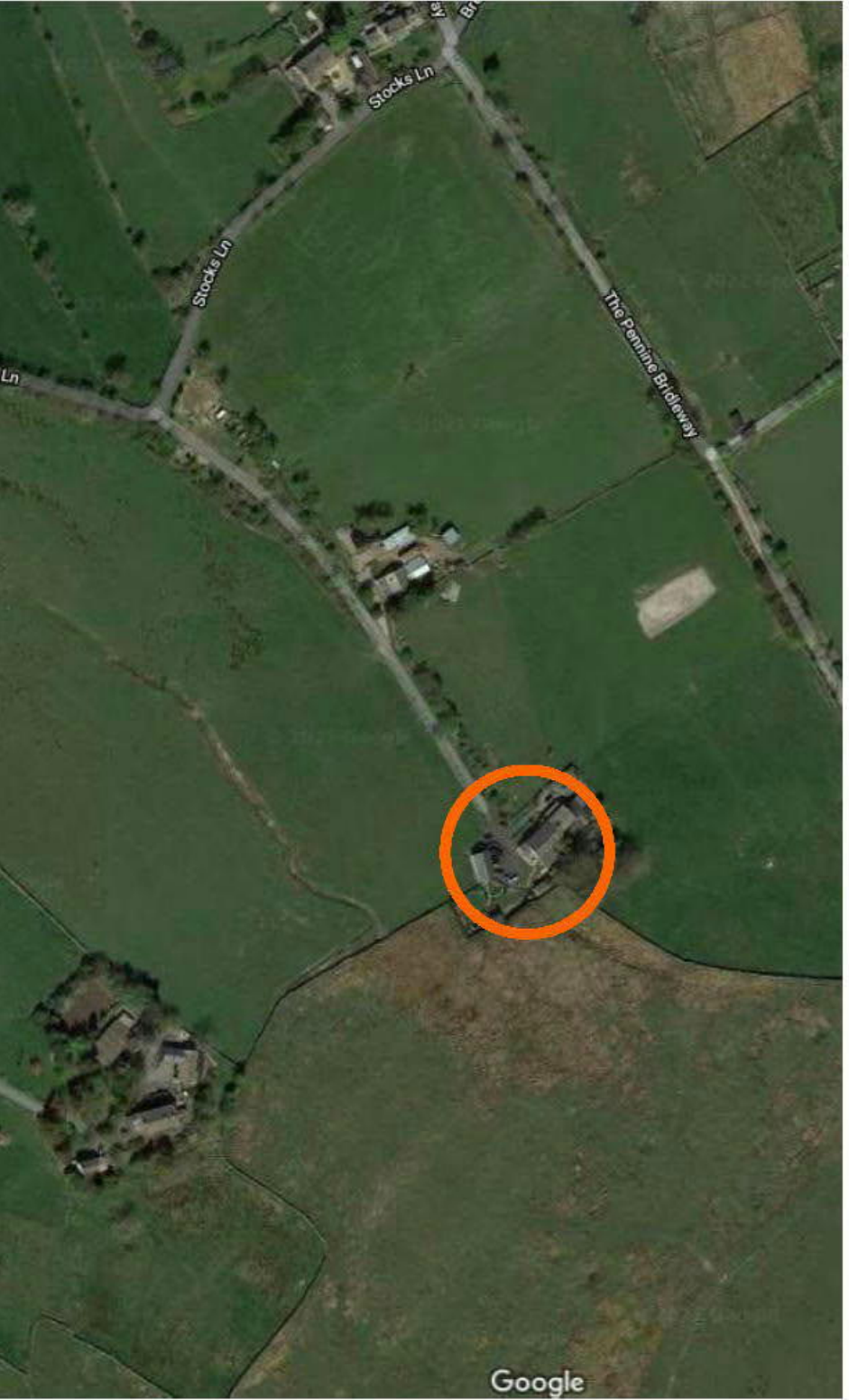
Applicant:
Justin & Louise Birchall
Higher Newfield Edge
Stocks Lane
Middop,
BB7 4JN

Agent:
Zara Moon Architects
Unit 37 Mitton Road Business Park, Mitton Road,
Whalley, Clitheroe, Lancashire, BB7 9YE

Development:
The proposal is the demolition of a 3-storey dwelling 'Higher Newfield Edge', and the demolition of the dwelling's detached triple garage, and demolition of all existing out-buildings. The proposal includes the erection of a replacement dwelling 'Higher Newfield Edge' with attached garage and part subterranean accommodation. The proposal detaches 'Higher Newfield Edge' from the attached property 'Pentangle Barn', refurbishes 'Pentangle Barn' and re-designs the associated garden areas, parking and landscaping for both properties. The proposal also includes the creation of an access lane to Pentangle Barn and the adjacent attached property New Field Edge.



Site location in context.



Site aerial.

1.2 BACKGROUND

This design and access statement has been prepared to support the full planning application on behalf of the applicants, Mr & Mrs Justin and Louise Birchall to replace their existing property which does not meet their current living requirements and to create a sustainable forever home.

Justin and Louise Birchall have lived at Higher Newfield Edge for the last 17 years



They love where they live and want to be able to remain living in their property as their forever home to enjoy with their family. They therefore require an accessible property with an internal lift and level access throughout. To achieve this, the property and site requires substantial redevelopment.

Higher Newfield Edge is 1 of 3 attached properties, Pentangle Barn is the central property and has recently been purchased by the applicants. New Field Edge is the end property which is owned by a third party.

The initial proposal for the site included reconfiguring the 2 properties Higher Newfield Edge and Pentangle Barn into 1 single dwelling. A scheme was produced which included the internal and external reconfiguration, rationalisation of any previous additions and new part subterranean accommodation. The properties both have a number of issues which would have needed to be addressed as part of the construction work which would have required all but 1 of the elevations to be re-built in

their entirety. It was therefore evident that to achieve the proposed scheme, most of the property would need to be re-built.

The proposal was submitted to RVBC to engage in the pre-application process, of which the proposed scheme was discussed along with the possibility of proposing a replacement dwelling instead, which would be designed in a similar way to the reconfiguration, referencing the character of the original building but with the benefits of being a new-build property. A number of points were discussed during the pre-application and formed the basis for the revised proposal. Please refer to the Pre-Application section of this document for further detail.

The new proposal responds to the pre-application response, and amends the original proposal to re-imagine the full site and 2 properties to create 2 exceptional family dwellings. The existing Pentangle Barn will become a semi-detached property rather than a mid-terrace, and will be reconfigured to create a 4-bedroom family home with private garden, access lane and parking area. Higher Newfield Edge will be demolished along with the existing garage and out-buildings, and will be re-built detached from Pentangle Barn central to the garden plot.

We have worked together with the applicants to create a solution which meets the applicant's extended family requirements whilst being mindful of the surrounding open countryside. The completed scheme would refurbish the existing Pentangle Barn to create a desirable rural family home, and would transform Higher Newfield Edge into a truly outstanding family dwelling, and an exceptional

example of a rural property, designed for sustainable, contemporary living.

One of the key design drivers for the project was the applicant's brief to create a highly sustainable eco-home. The applicants are passionate about living and working sustainably which they have integrated into their business systems and processes. They now wish to transfer these methods into their home.

The site has been designed to minimise energy usage by creating a sustainable forever home. Features of which include an integrated solar roof system for on-site energy generation, a MVHR sustainable heating and ventilation system, rainwater collection, battery storage, a sustainable drainage system, recycling, triple glazing, and locally sourced materials.

One of our key aims as an architecture practice is to set a precedent for designing properties in rural areas. All of our schemes are design, and context-led and we believe that we can set a benchmark for the architectural quality requirements of rural schemes.

2.0 THE SITE

2.1 SITE LOCATION AND CONTEXT

Higher Newfield Edge, Pentangle Barn and New Field Edge are 3 attached rural properties accessed by a single access lane from Stocks Lane, off Gisburn Road, Gisburn.



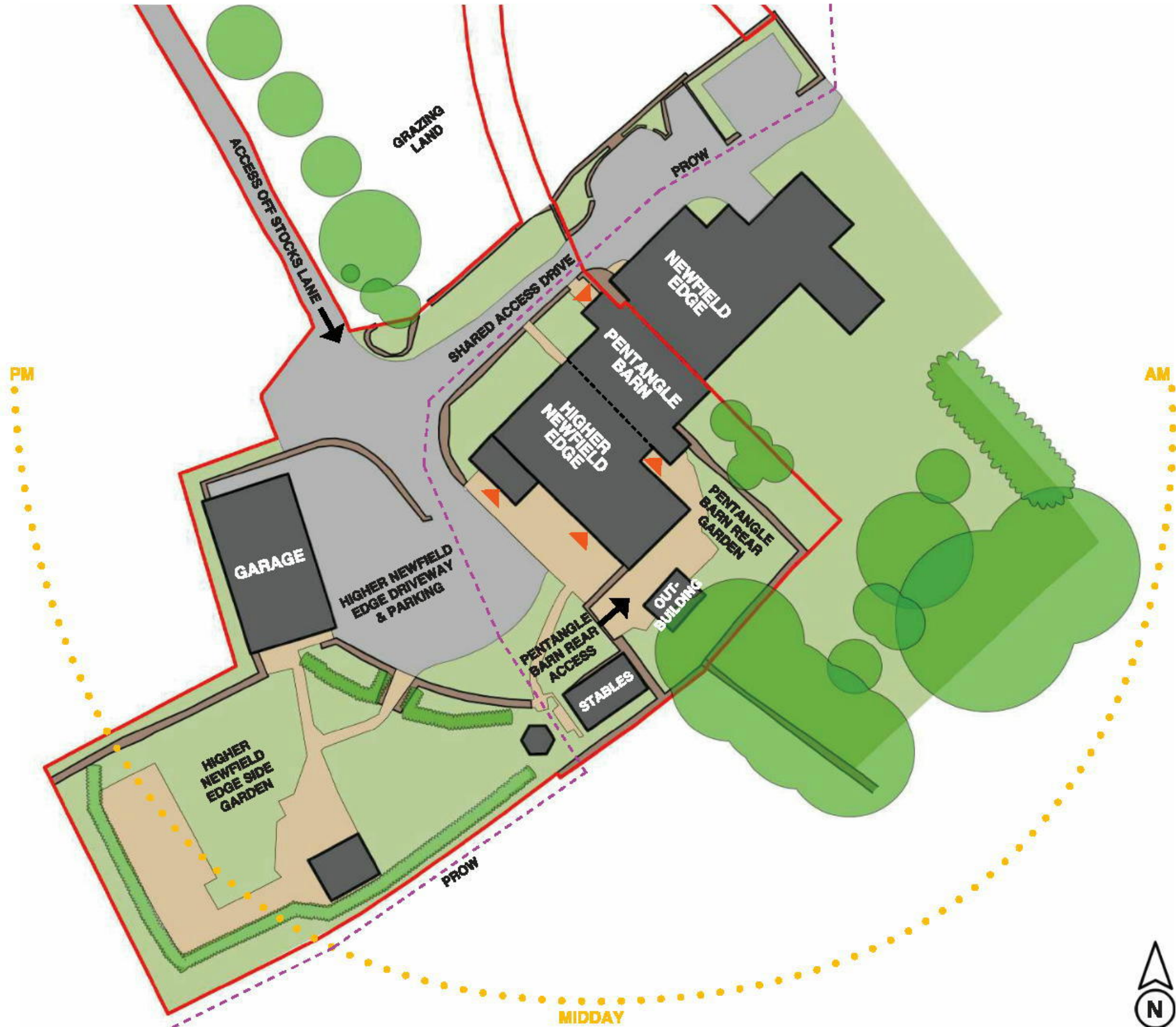
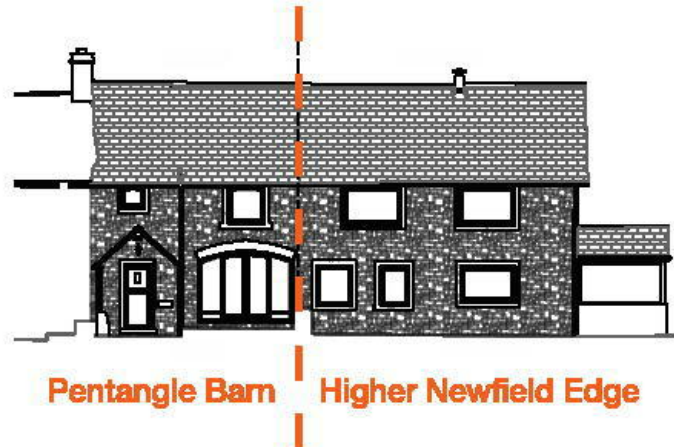
1. The site
2. Gisburn Road, towards A59
3. Gisburn Road, towards Blacko and M65
4. Brogden Lane, towards Barnoldswick
5. Stocks Lane junction with access lane
6. Higher Newfield Edge Stables
7. The Pennine Bridleway
8. Stocks House

2.2 EXISTING SITE

Both Higher Newfield Edge and Pentangle Barn currently have 3 floors of accommodation and several out-buildings. The properties consist of 2 attached dwellings; a detached triple garage; a summer house; out-building; and stables. The applicants also own neighbouring grazing land to the North-East and a stable yard accessed off the access lane to the North of the property.

Pentangle Barn is the central property. The property is compact with accommodation over 3 floors in a split-level arrangement. The rear garden wraps round the rear elevation of Higher Newfield Edge and accessed through the side garden of Higher Newfield Edge.

All 3 properties are currently accessed via 1 shared access lane and there is a public footpath which passes through the garden of Higher Newfield Edge and along the shared access drive past the front of the properties and through the field to the East. The public right of way will be re-positioned as part of the proposal.



2.3 SITE CONSTRAINTS AND OPPORTUNITIES

The 2 existing properties are now in need of a full refurbishment, modernisation and complete reconfiguration to work as family homes which meets the needs of everyday living. They both suffer with damp issues, multiple changes of level internally and externally, poor quality internal spaces, poor quality light, and substantial external landscaping is required.

The 3 properties have always experienced over-looking issues between each property onto gardens which are not within their ownership, caused by the overlapping land ownership boundaries. Now that the applicant's own both Higher Newfield Edge and Pentangle Barn, the ownership and boundary positions can be rationalised and the overlooking issues can be resolved.

There is a significant change in level to the South of the site where an out-building is built into the natural change in level, with the roof level being at the same height as the upper ground level. This change in level, has prevented the usability of Pentangle Barn's garden which is now overgrown and unkempt with poor access to the upper level.

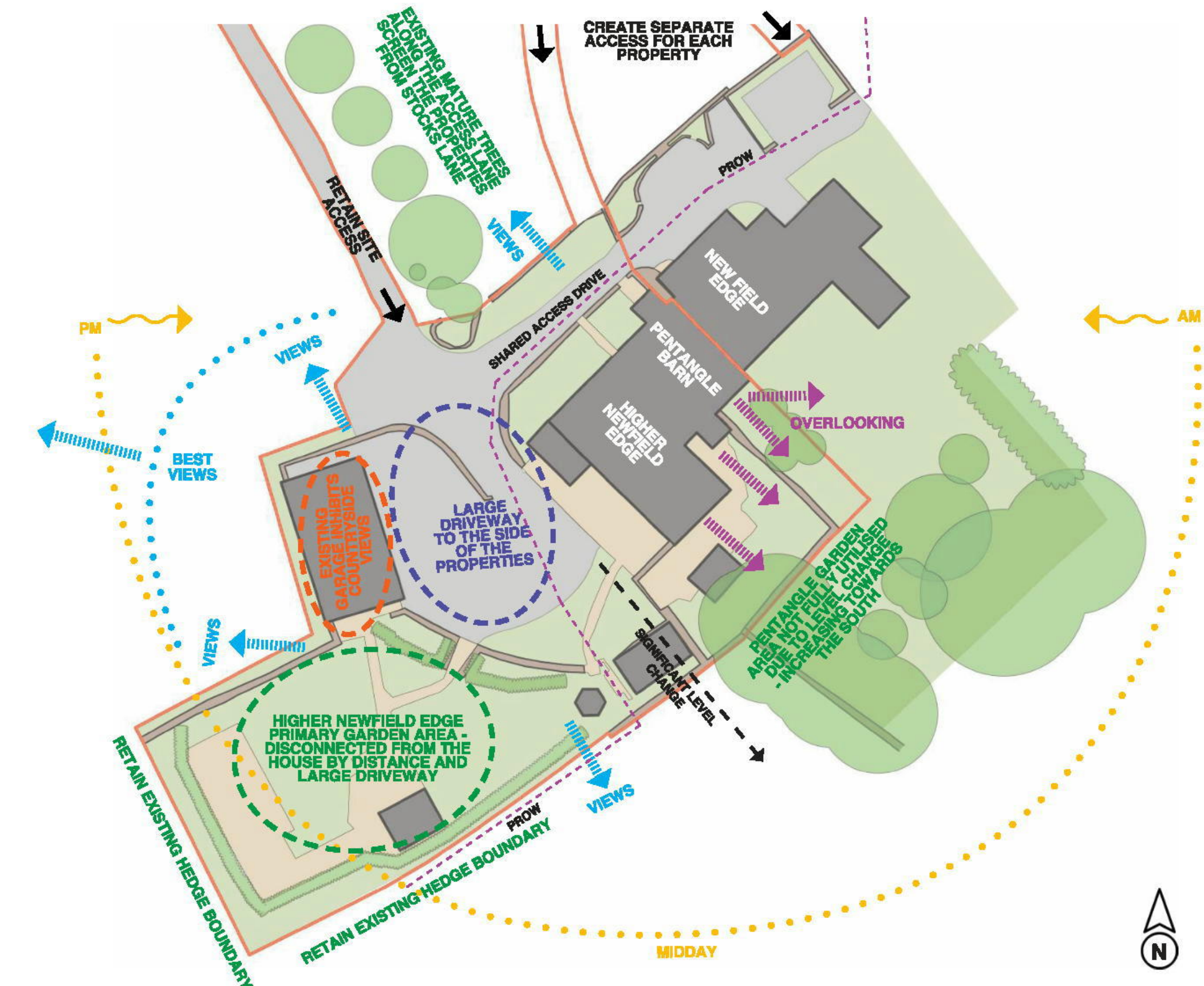
Until recently, this rear garden has been outside of the applicant's ownership and has provided a poor outlook onto an overgrown neighbour's garden. The primary amenity space for Higher Newfield Edge is to the West of the site at the higher level. Currently this garden is separated from the house by a large driveway and hard-standing area. The applicant's wish to create an improved connection between their house and their garden through the proposed scheme.

Higher Newfield Edge includes a large triple garage with loft accommodation. This garage is located at the far edge of the plot along the Western boundary. The garage is located in such a way that inhibits the countryside views, and creates a large driveway at the side of the property.

The site is surrounded by countryside views to the North, West and South. The properties are heavily screened from Stocks Lane by existing mature trees along the access lane and the natural topography of the site.

An existing public footpath passes through the site which is rarely used. It is not a popular route and only experiences 2-3 people per year. This may be due to the route being difficult to pass under-foot due to the condition of the field to the South of the site. The public footpath will be re-positioned slightly based on the new landscaping and boundary treatments between the 2 properties.

2.3 SITE CONSTRAINTS AND OPPORTUNITIES



2.4 EXISTING PHOTOGRAPHS



View from the site entrance of all 3 properties.



Western elevation of Higher Newfield Edge from the lower garden level.



Access to the rear garden of Pentangle Barn through the side garden of Higher Newfield Edge.



Triple garage and driveway of Higher Newfield Edge.



Triple garage with accommodation above.



View of Western elevation from the garden of Higher Newfield Edge.

2.4 EXISTING PHOTOGRAPHS



Rear elevation of Higher Newfield Edge and Pentangle Barn, rear garden of Pentangle Barn, with overlooking between properties and gardens.



View of the rear elevation from the upper garden level of Pentangle Barn.



Out-building built into the natural gradient of the site. Upper garden level of Higher Newfield Edge in the distance.



Rear elevation of Pentangle Barn, position of boundary wall creates overlooking into New Field Edge's garden.



Rear garden of Pentangle Barn, not used due to poor access, change in level, and overlooking from Higher Newfield Edge.

2.4 EXISTING PHOTOGRAPHS



Out-building built into the natural gradient of the site with roof level at the upper garden level.



Existing structures (out-building, stables and summer house) to be demolished.



Existing structures (out-building and stables) to be demolished.



Public footpath to the South-West of the site travelling North-Eastwards. The site is heavily screened by the existing mature hedge.



Public footpath which passes through the site across the driveway and side garden of Higher Newfield Edge.



Public bridleway to the distant South-East of the site travelling North-Westwards. The site is heavily screened by the existing trees and natural topography.

2.5 EXISTING BUILDING ANALYSIS - HIGHER NEWFIELD EDGE

Higher Newfield Edge is a previously converted barn with accommodation over 3 floors. The ground floor layout includes a kitchen, utility room, dining room, living room, office, summer room, and WC.

The first floor layout includes a master bedroom with ensuite, a family bathroom, dressing room and bedroom. The second floor layout contains a snug living space.

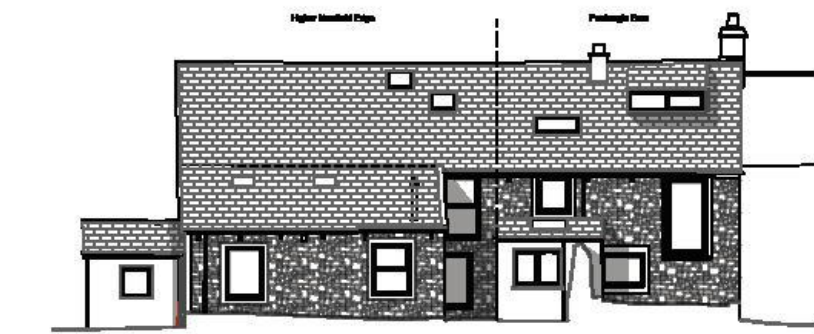
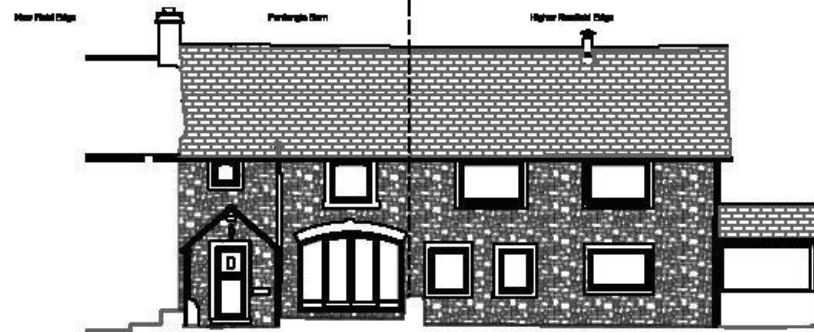
Having lived in the property for the last 17 years, the applicants have slowly tried to adapt the property to accommodate their living requirements. However the property would now need to be substantially re-built to meet their needs and address the building defects.

The property has experienced a severe damp issue which the applicant's have tried to address over the years without success. This is now highly visible internally to all elevations and impacts on the enjoyment of the property. To address the damp issue the applicant's have been advised that the elevations need to be re-built from the ground up.

The property has been affected by structural cracks to lintels and stonework which needs addressing. To address this issue the elevations would need to be re-built in sections.

The property has the following issues which need addressing to work for the applicants:

- They wish to stay living in their family home if their health deteriorates or if their mobility changes. They therefore require level access throughout and onto external spaces with an internal lift.
- The property has no formal front door, and instead the side entrance which enters directly into the kitchen is used.
- The applicant's regularly have 3 generations of their family staying in their home which require a level of independence and privacy.
- The house is disconnected from their garden which is separated by a driveway. This is unsafe for their young grandchildren and creates a poor aspect from their property.
- The house has a poor connection to the external spaces both physically and visually.
- The house has not been designed to work as a whole and has been adapted over time.
- There are many spaces which are too small.
- There are many room-within-room instances.
- The master bedroom is too small with a second bedroom being used as a dressing room.
- There is no entrance hallway with WC or coat and boot store.



2.6 EXISTING BUILDING ANALYSIS - PENTANGLE BARN

Pentangle Barn is also a previously converted barn with accommodation over 3 floors. The ground floor layout includes a porch entrance, an open plan kitchen dining living space and a utility room. The first floor layout includes 2 bedrooms and a family bathroom. The second floor includes a 3rd bedroom.

The property has a split-level arrangement with part of the ground floor being raised half-a-storey higher than ground level. The split level arrangement creates an unconventional first and second floor plan which does not utilise the space efficiently.

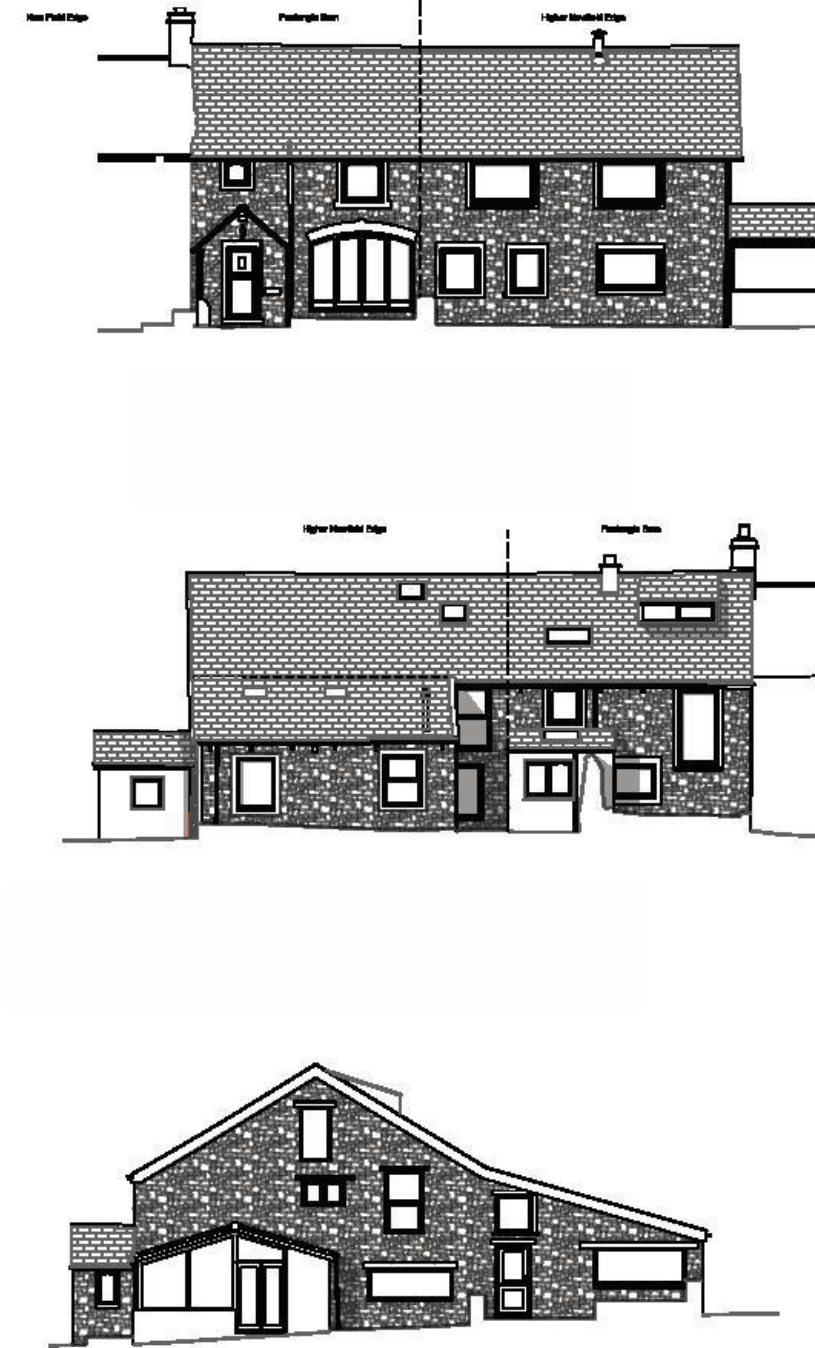
The property has experienced a number of domestic additions such as a front dual-pitched porch entrance; a second floor flat-roof dormer extension; and a single-storey lean-to rear extension.

The property has the following issues which need addressing to work as a family home:

- The previous extensions are overly domestic and do not suit the character of the converted barn.
- The existing boundaries of the property need re-positioning to the rear to prevent overlooking to the neighbour's property.
- The rear garden requires re-landscaping to create a usable rear garden.
- Currently the property is accessed via the shared access drive, which is also used by New Field Edge. This restricts the available space for parking vehicles with only 1 parking space to the front.
- The split-level internal arrangement does not work or

utilise the space efficiently.

- The bedrooms are small and compromised.
- There is no ground floor WC or storage spaces.
- There is no bathroom or shower room on the second floor. Therefore to access a bathroom from the second floor, you would need to travel down a set of stairs.
- There is no direct access to garden spaces from the primary living spaces.
- There is a poor connection to the garden both physically and visually.

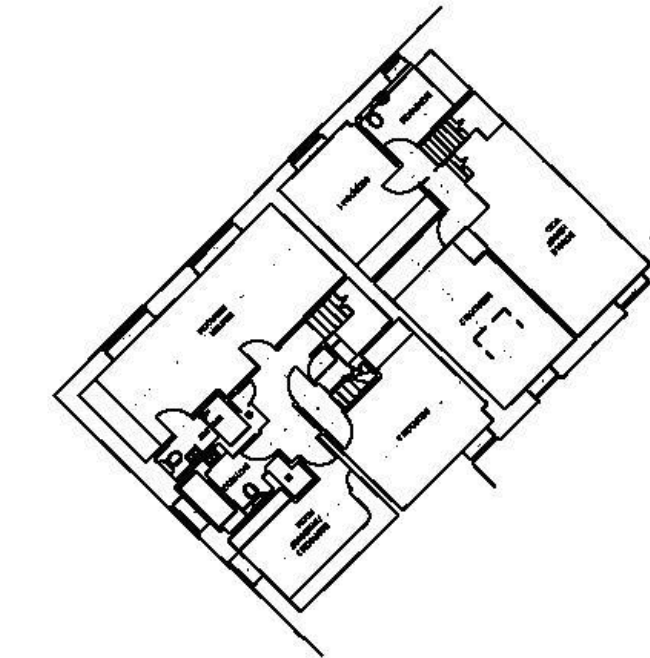


2.7 EXISTING BUILDING ANALYSIS

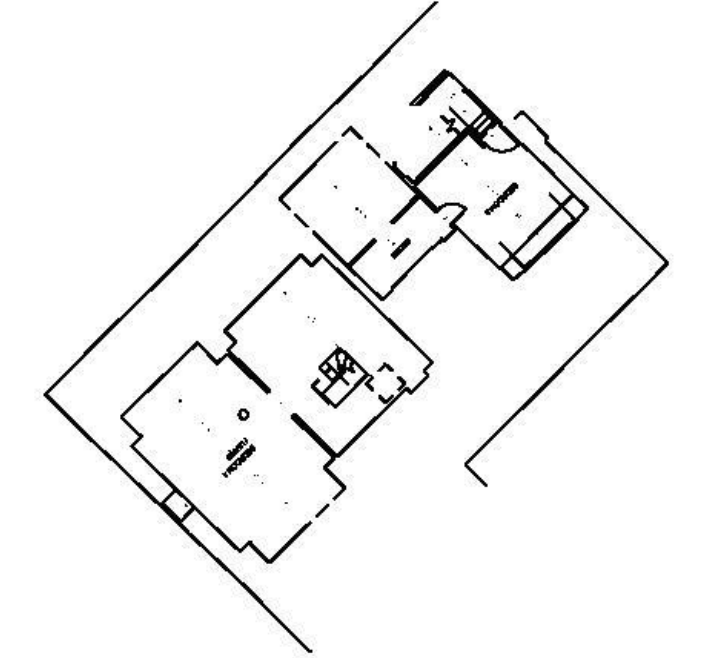
EXISTING GROUND FLOOR PLAN



EXISTING FIRST FLOOR PLAN



EXISTING SECOND FLOOR PLAN



2.8 CONTEXT

The surrounding area of Gisburn consists of rural clusters of properties of varying scales and materials. This area of Gisburn provides spectacular views across Lancashire and the Ribble Valley and is a popular locations for outdoor walking.

The properties consist of farmhouses, barns, cottages, and more contemporary developments. In recent years the area has experienced small scale domestic developments of local properties including replacement dwellings, and revitalising vacant sites which have added to the desirability of the area.

Recent developments have incorporated contemporary elements such as feature glazing, paired with traditional materials, common within the rural setting. This has created a number of high-quality properties which blend contemporary with rural and complementary materials.



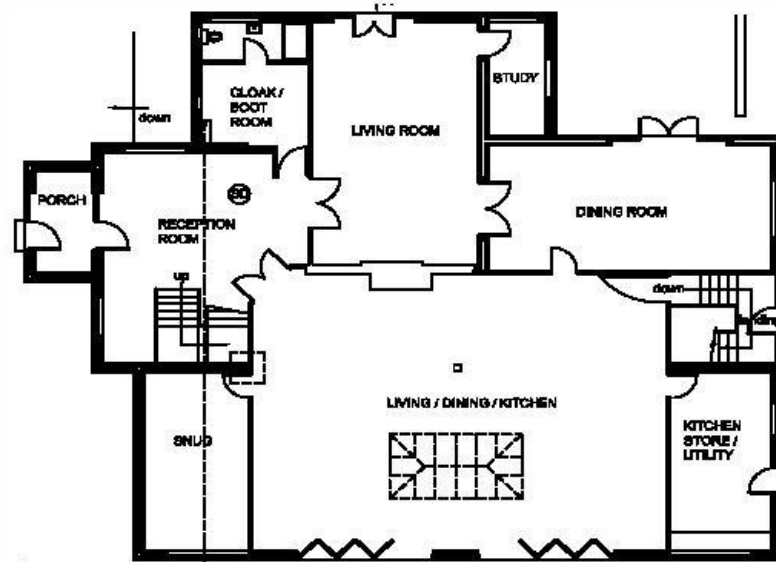
2.9 LOCAL PLANNING HISTORY

There have been numerous local planning applications that have been submitted and approved over the years, for replacement dwellings. The following applications are examples of the applications approved and developed in the area.

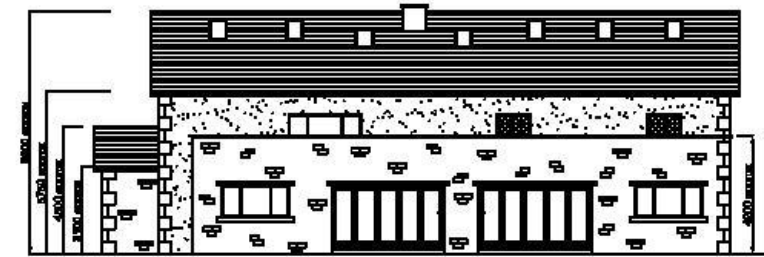
3/2020/0087

Stocks House, Stocks Lane, Rimington, Clitheroe, BB7 4JN

- Date: 13/02/2020
- Proposal: Proposed replacement dwelling and replacement garage and associate works
- 171% increase from the existing dwelling.
- Decision: Approved (18/03/2020)
- Policies: In Open Countryside



Proposed site plan of approved planning 3/2020/0087.

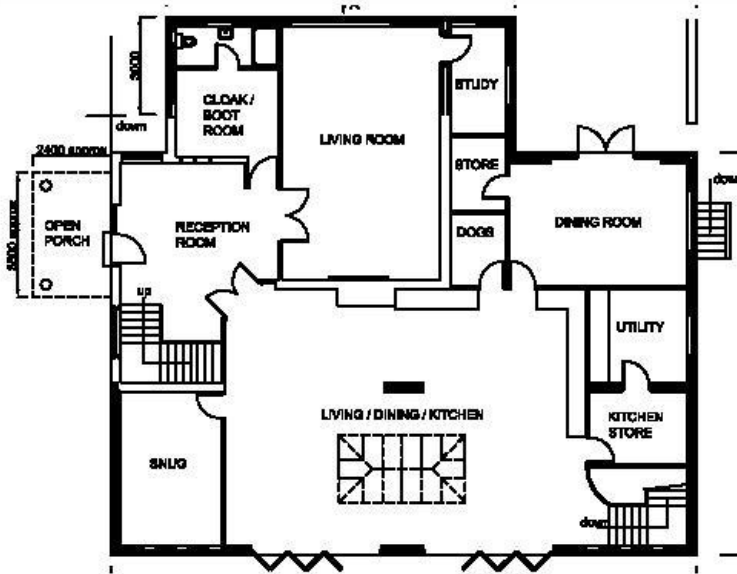


Proposed elevations of approved planning 3/2020/0087.

3/2019/0452

Stocks House, Stocks Lane, Rimington, Clitheroe, BB7 4JN

- Date: 07/06/2019
- Proposal: Proposed two storey extension to side and additional basement area; two storey and single storey extensions to rear; extension and alterations to front elevation; porch to side elevation; replacement garage with annex accommodation above.
- Decision: Approved (18/07/2019)
- 95% increase in size.
- Policies: In Open Countryside



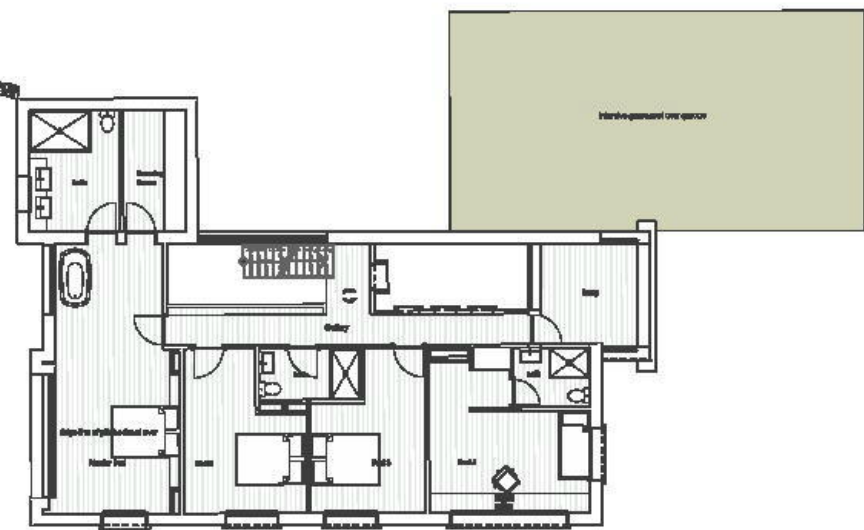
Proposed site plan of approved planning 3/2019/0452.

2.9 LOCAL PLANNING HISTORY

- 3/2016/0973**
Bambers Bungalow, Smalden Lane, Lane Ends, Bolton-by-Bowland, Clitheroe, BB7 4PH
- Date: 25/10/2016
 - Proposal: Demolition of existing dwelling and erection of replacement dwelling (re-submission of application no. 3/2009/0172)
 - Decision: Approved (01/05/2009)
 - Ridge height 3m higher than existing bungalow.
 - Policies: AONB



Proposed site plan of approved planning 3/2016/0973.

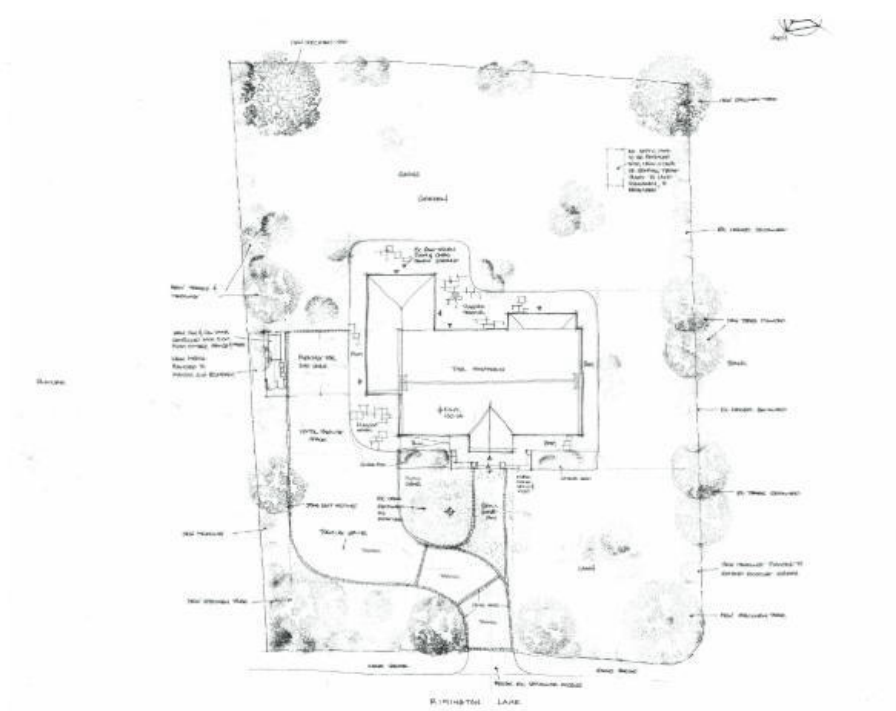


Proposed floor plans of approved planning application 3/2016/0973.

Proposed elevations and visual of approved planning application 3/2016/0973.

2.9 LOCAL PLANNING HISTORY

- 3/2013/0795**
The Hawthorns Rimington Lane, Rimington, BB7 4DP
- Date: 31/10/2013
 - Proposal: Renewal of planning permission (application no. 3/2010/0521) for the erection of a replacement dwelling
 - Decision: Approved (20/12/2013)
 - Ridge height 3.6m higher than existing bungalow.
 - Policies: In Open Countryside



Proposed site plan of approved planning 3/2013/0795.

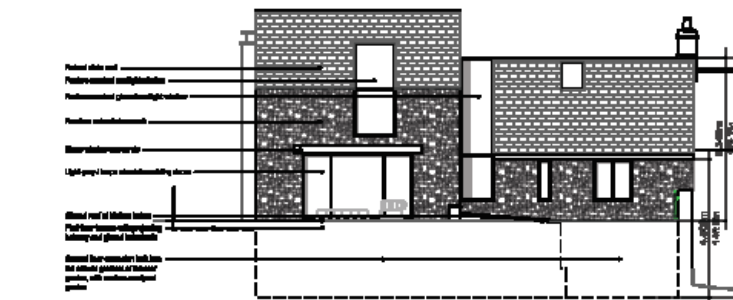
Proposed elevations of approved planning application 3/2013/0795.

3.0 PRE-APPLICATION

3.1 PRE-APPLICATION SUBMISSION

The following scheme was submitted to engage with the pre-application service. The proposal included the reconfiguration and extension of the 2 existing properties to function as 1 single dwelling.

The proposal included the demolition of the existing out-building and stable; the demolition of existing porches to the front and rear, and demolition of the existing attached summer room. The proposal included a single-storey part subterranean rear extension; reconfiguration of the existing elevations; and a part 2-storey rear extension which included a raised roof profile to the extension. The proposal also included the creation of a private lane to access the adjacent property New Field Edge.



3.2 PRE-APPLICATION RESPONSE

The following scheme was submitted to engage with the pre-application service. The proposal included the reconfiguration and extension of the 2 existing properties to function as 1 single dwelling.

The proposal included the demolition of the existing out-building and stable; the demolition of existing porches to the front and rear, and demolition of the existing attached summer room. The proposal included a single-storey part subterranean rear extension; reconfiguration of the existing elevations; and a part 2-storey rear extension which included a raised roof profile to the extension. The proposal also included the creation of a private lane to access the adjacent property New Field Edge.

A pre-application meeting between Zara Moon and Laura Eastwood was held at the property where the proposals were discussed including the alternative option of demolishing the existing property and proposing a replacement dwelling. To summarise, the response included the following:

- It is evident that the properties have undergone some significant physical alterations over the years, and it now bears little resemblance to its rural origins. A heritage statement needs to be submitted to demonstrate the existing buildings have undergone so many alterations that it has no heritage value as a barn conversion worthy of retention, and to justify the case for demolition.
A heritage statement has been submitted as part of this application, please refer to separate section within this document.

- Any replacement dwelling needs to respect the scale and form of the existing.
- The property is located at an elevated position visible in long distance views so whilst modern aspects of the design would be acceptable, that traditional form and building materials are used.
A detailed analysis of distance visibility and massing study was undertaken to minimise the visual impact from distance viewpoints. Please refer to separate section in this document.
- There is no objection in principle to the new access lane subject to being finished in a natural surface.
The new access lane will follow the natural topography of the land and be finished in a natural material.
- Concerns with regards to staggering the roof and the dominant appearance of the higher section and glazing to the gable end.
The existing roof level will be as existing for Pentangle Barn. The staggered roof detail has now been omitted from the proposal.
- Mindful of the amount of existing additions to the dwelling in particular the triple garage and the cumulative built form in the open countryside.
The full site has now been redesigned by demolishing all existing structures in association with Higher Newfield Edge, and the volume redistributed into 1 coherent high-quality property. The garage, services, and leisure accommodation is now subterranean and hidden from view.
- A replacement dwelling would give more freedom in terms of design as you would not be constrained by the existing structure.

- The three properties are viewed as one continuous structure and the refurbishments remain within the existing height parameters and retain the linear form of the existing properties.
New Field Edge and the attached Pentangle Barn are currently visible from distance viewpoints. Their linear form and their relationship as farmhouse and barn conversion have been retained. The demolition of Higher Newfield Edge does not affect this linear continuous structure. Higher Newfield Edge has been relocated and is now hidden from Stocks Lane in its entirety.
- We require details of how the severance from the main property would be treated.
The applicant's now propose to retain Pentangle Barn and refurbish internally and externally. The severance will therefore be between Pentangle Barn and Higher Newfield Edge as part of the demolition process. The applicant's can therefore be in control of this process and will be able to complete as part of the improvements to Pentangle Barn. The new gable of Pentangle Barn will be finished in natural stone to match the existing properties.
- Any replacement dwelling is of a similar scale to the existing.

During the pre-application discussion, the planning officer requested a heritage statement to be submitted to justify the demolition of Higher Newfield Edge. Please refer to separate Heritage Statement for further details.

4.0 SITE STRATEGY

4.1 SITE STRATEGY - DISTANCE VIEWPOINTS

The starting point for re-designing the site was to evaluate the distance viewpoints to ensure that the linear form of New Field Edge and Pentangle Barn would remain legible and be the key characteristic for the original properties. It was also important that the absence of Higher Newfield Edge would also not create an impact on the existing view and there would not be a noticeable difference.

We assessed the various options to site the replacement dwelling to not detract from New Field Edge and the attached Pentangle Barn. It was concluded that the replacement dwelling should be sited to have no visibility from Stocks Lane. New Field Edge and Pentangle Barn would then continue to be read as a farmhouse and attached barn with the barn being the subservient structure. The linear form and the traditional character would be retained and any new structures can be hidden from view.



Existing view from Stocks Lane.



View from Stocks Lane with Higher Newfield Edge removed.

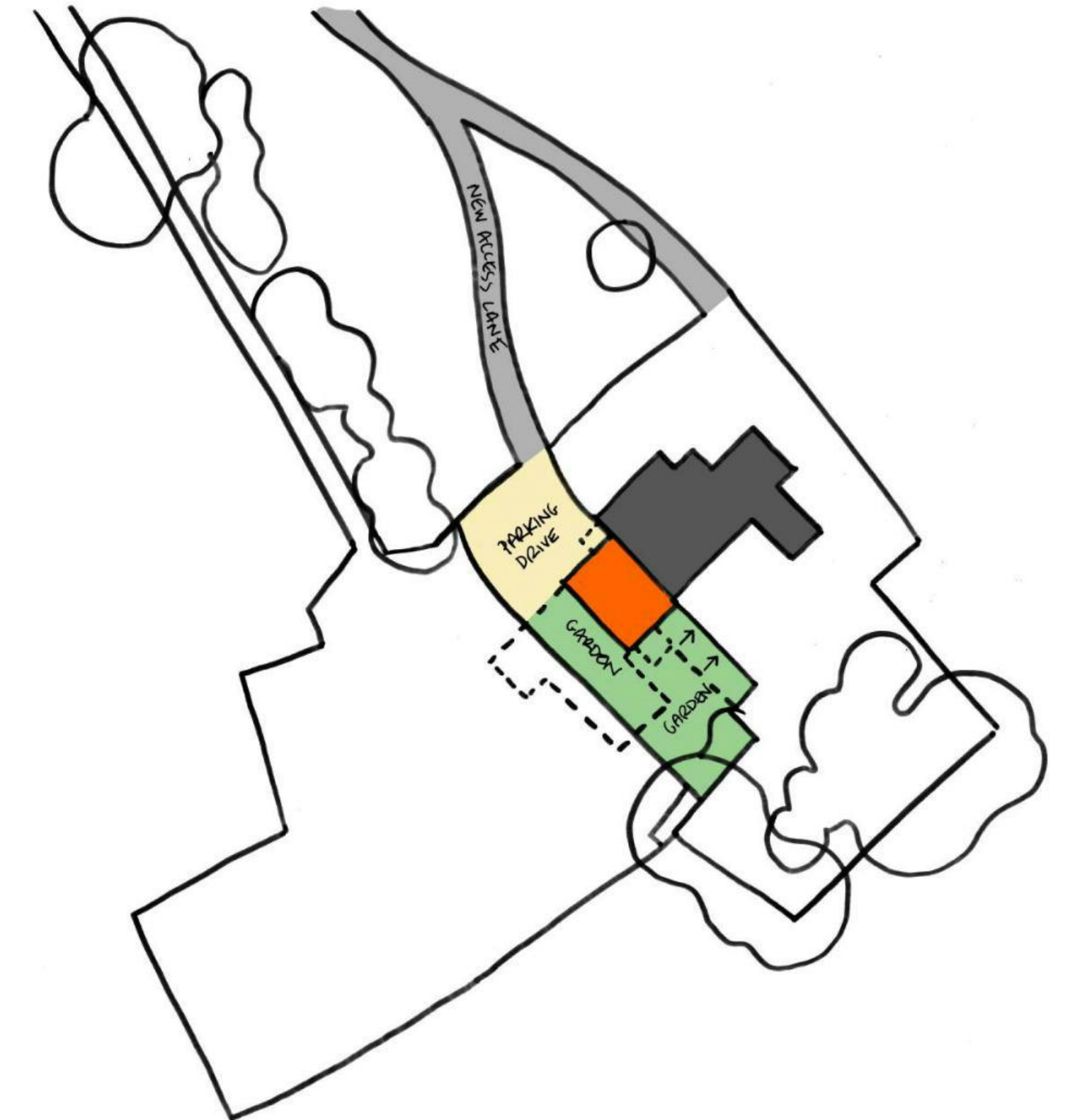
4.2 SITE STRATEGY - PENTANGLE BARN

Pentangle Barn will now be retained and improved as part of the proposal. The property has been redesigned internally and externally with its own designated garden, driveway and parking area. The new access lane for New Field Edge will also be used for Pentangle Barn with the access lane splitting to the North of the properties.

A section of the rear garden which was previously in the ownership of New Field Edge has been purchased by the applicant's so that the garden boundaries can be re-aligned to omit the overlooking issues.

The previous extensions to Pentangle Barn will be removed, and the original footprint of the barn will remain. The gable wall which will now be exposed during the demolition of Higher Newfield Edge will be re-built in natural random stonework to match the barn.

The domestic curtilage for Pentangle Barn will now incorporate a front, rear and side garden with driveway to accommodate 3 parking spaces.



4.3 SITE STRATEGY - HIGHER NEWFIELD EDGE

1. The existing dwelling, garage, out-building, stable, and summer house will be demolished, and the existing volume will be redistributed into 1 high-quality dwelling. By combining the volume into 1 building with part subterranean accommodation, the overall spread of built form across the site will be reduced.

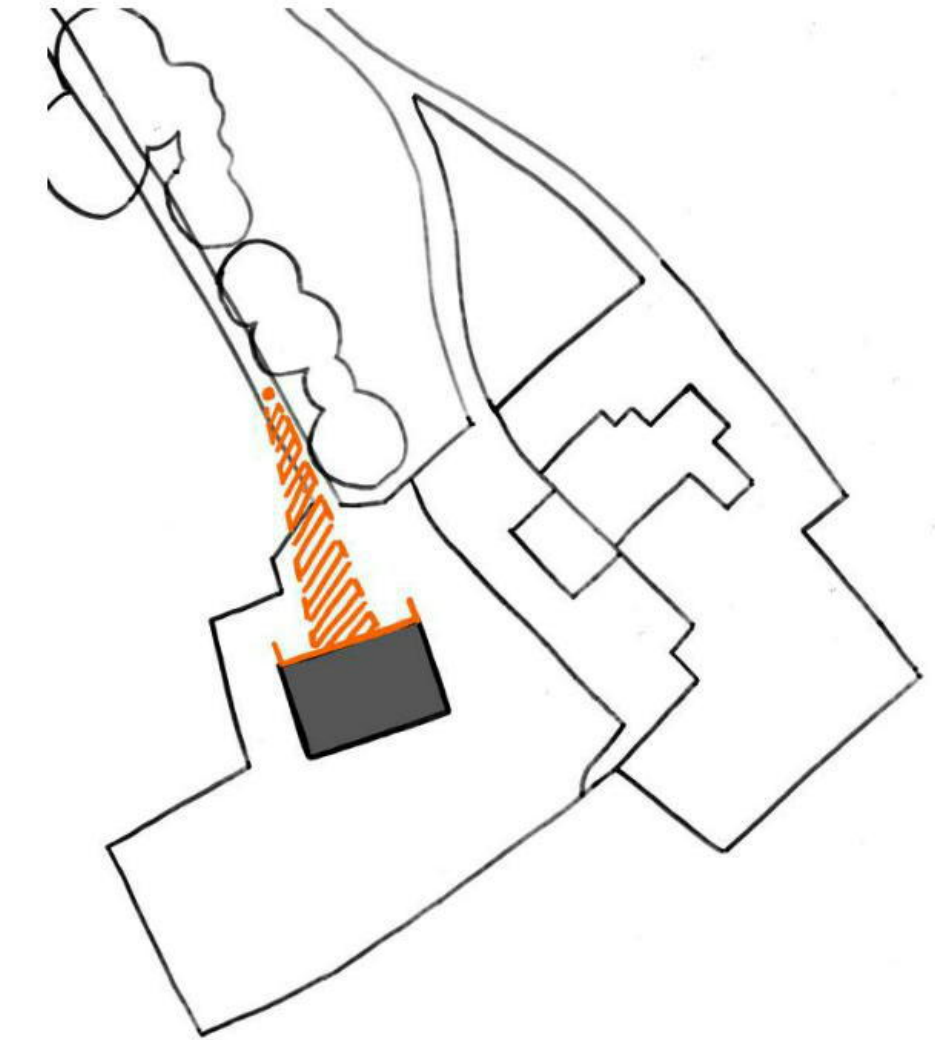
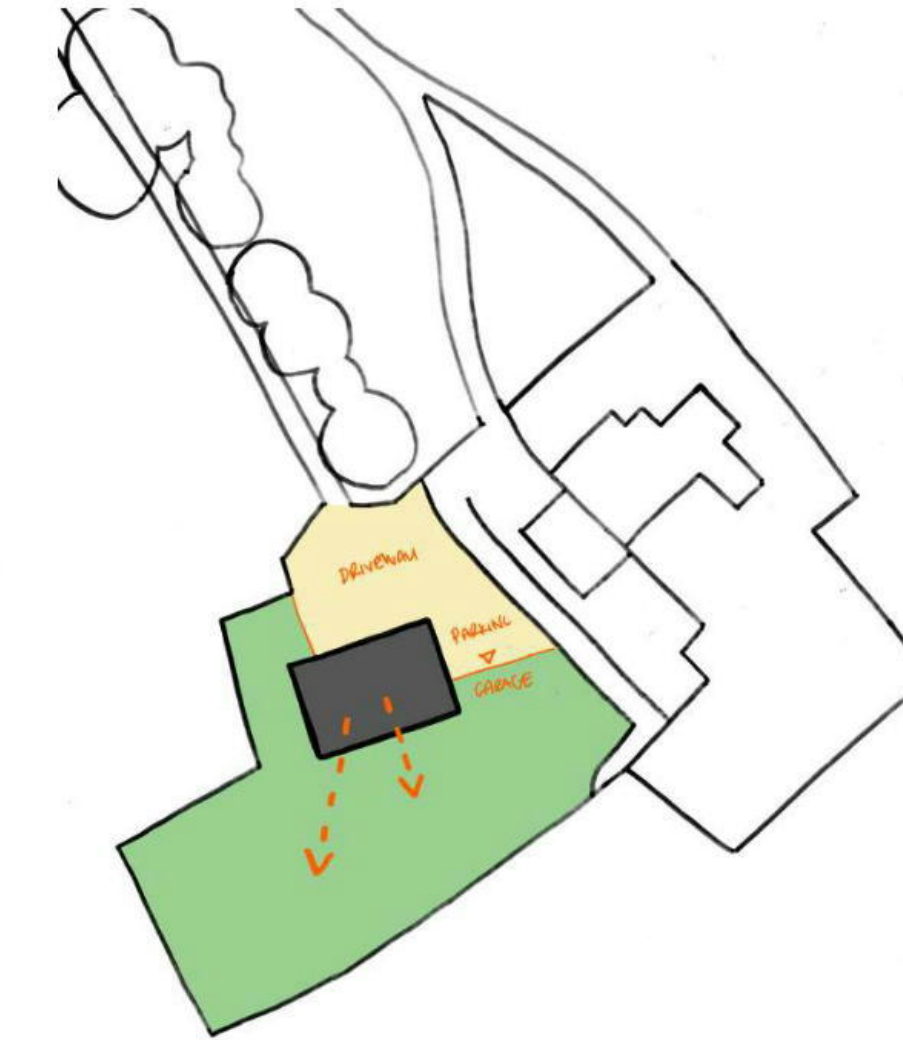
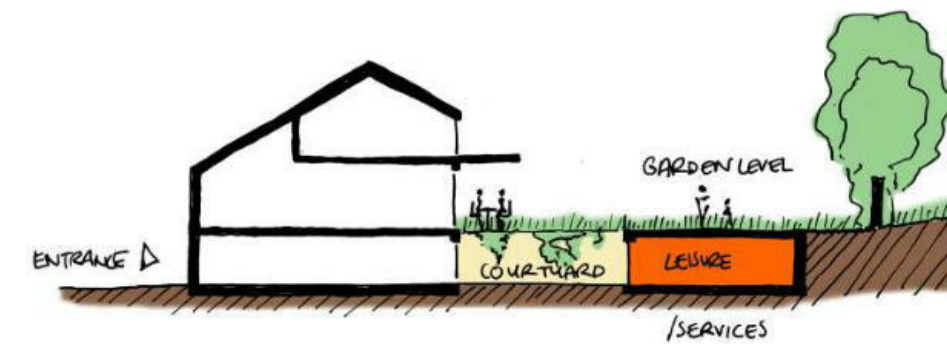
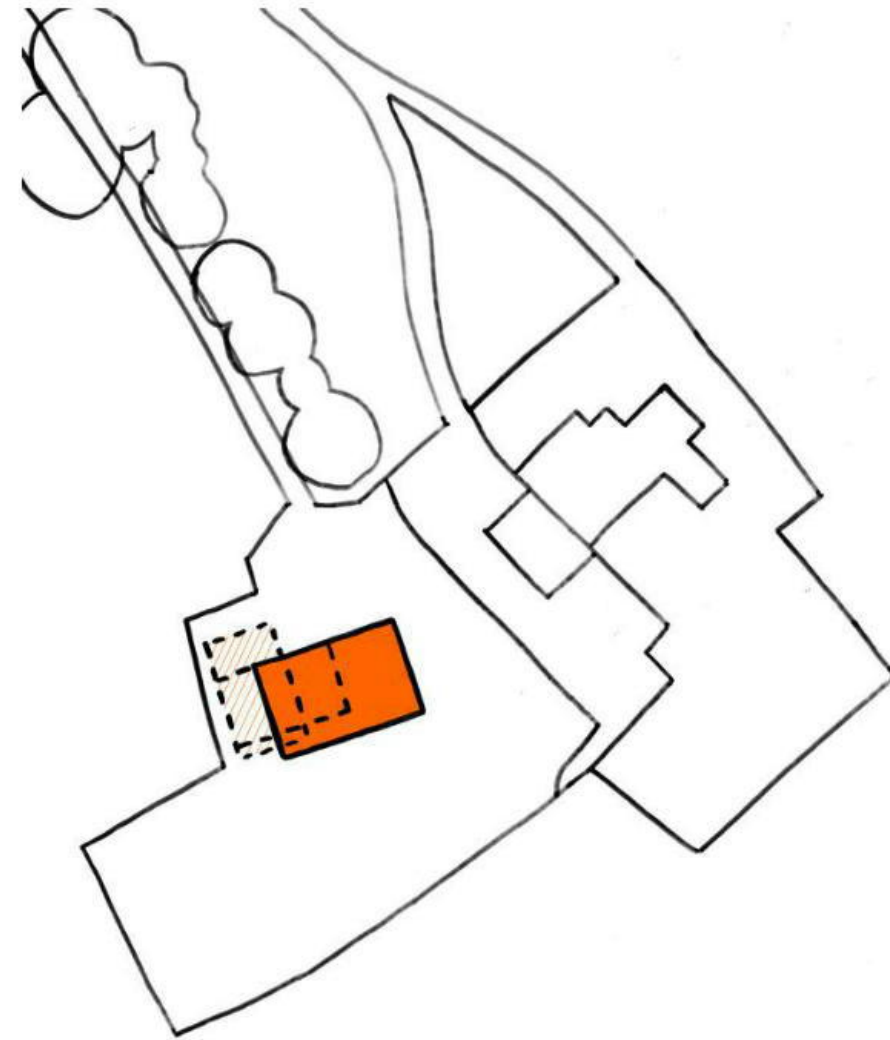
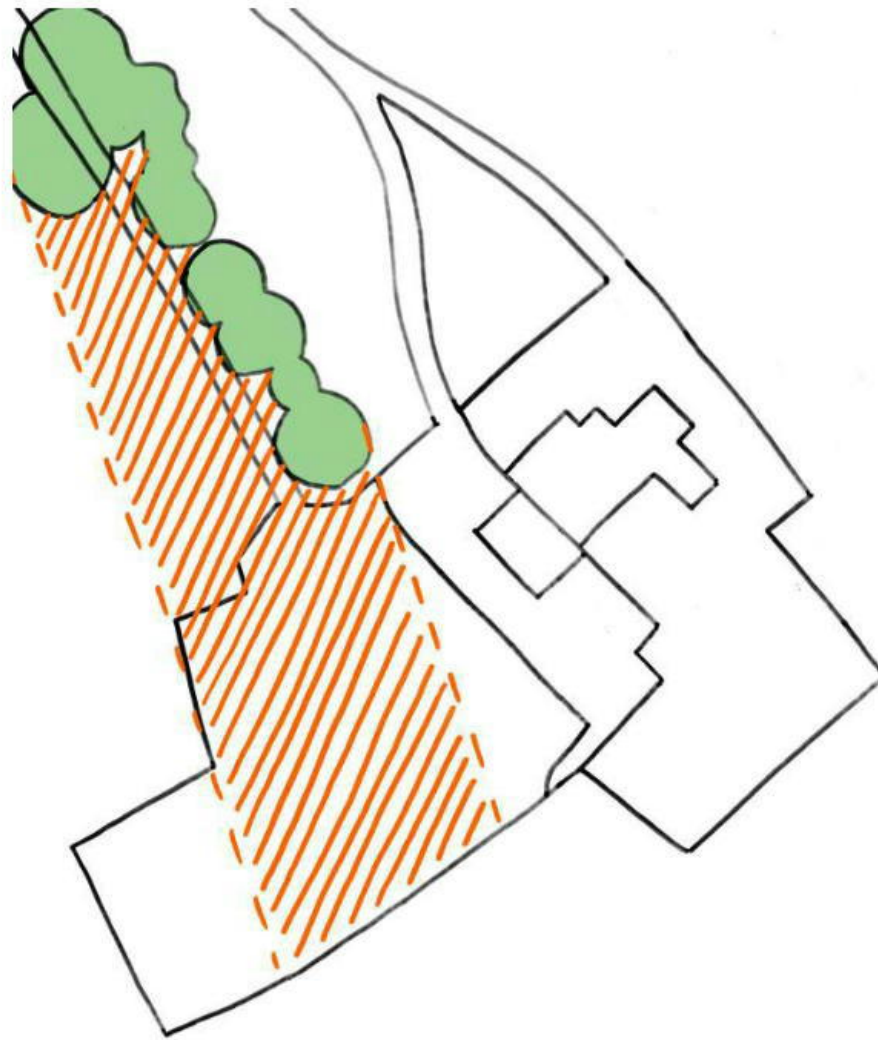
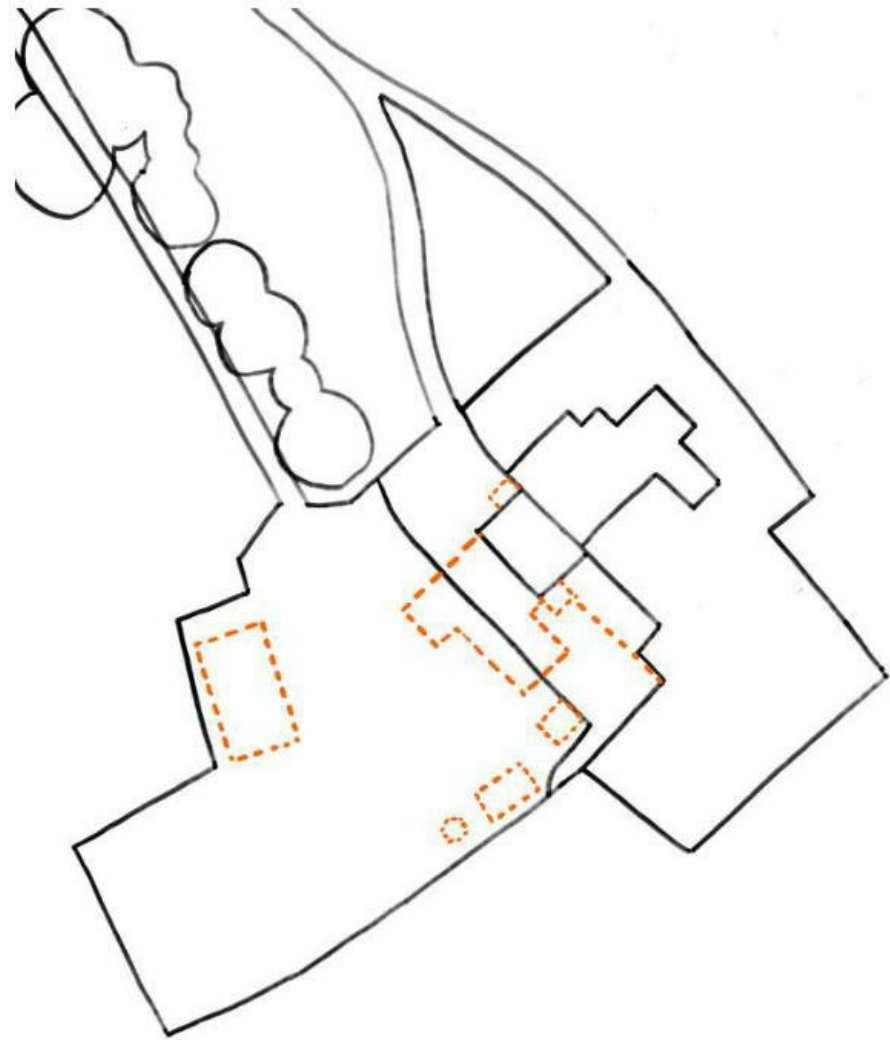
2. To ensure the replacement dwelling will not be read in conjunction with the linear form of the adjacent properties, the property has been moved away from the adjacent properties sitting central to the plot with an improved connection between the garden. The siting of the replacement dwelling has been positioned to hide the property from Stocks Lane behind the existing trees.

3. The proposed dwelling will be rotated clock-wise and be orientated at the same angle as the existing garage and the large agricultural building which once sat to the West of the property. By changing the orientation will further screen the proposed dwelling from Stocks Lane, and will respond to the historic structures which once stood on the site.

4. The previous design incorporated subterranean accommodation built into the natural slope of the site. This concept has been carried forward into this proposal by relocating the garage, services and leisure spaces behind the property, hidden from view and built into the ground. These spaces will have a flat green roof at the same level as the existing garden level at first floor level. The property therefore appears modest in size from the rear with the lower level completely hidden.

5. The driveway will now be located to the front of the property with parking to the side between the 2 properties with access to the garage behind. The primary amenity space of the existing property was at the higher garden level separated by a large driveway. The proposal now brings the property closer to the garden and links the house directly at the upper level. At the lower level there is a small patio terrace to the side, and a hidden courtyard garden.

6. The new orientation of the property now addresses the entrance lane with the property entrance located within view when entering the site.



5.0 DESIGN HIGHER NEWFIELD EDGE

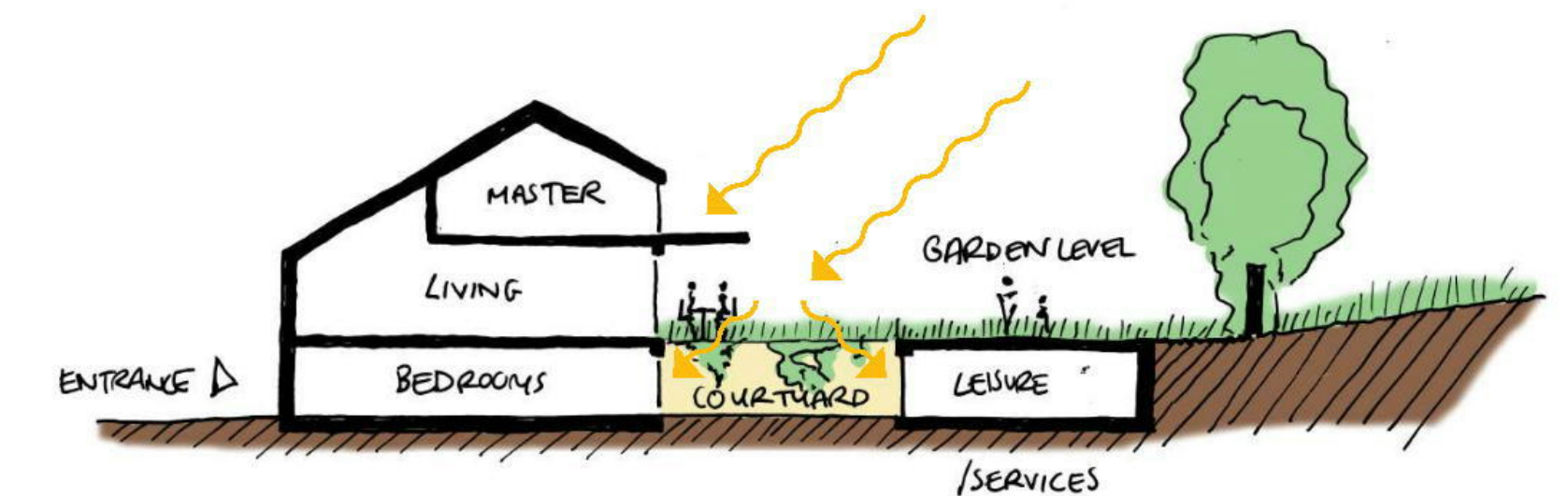
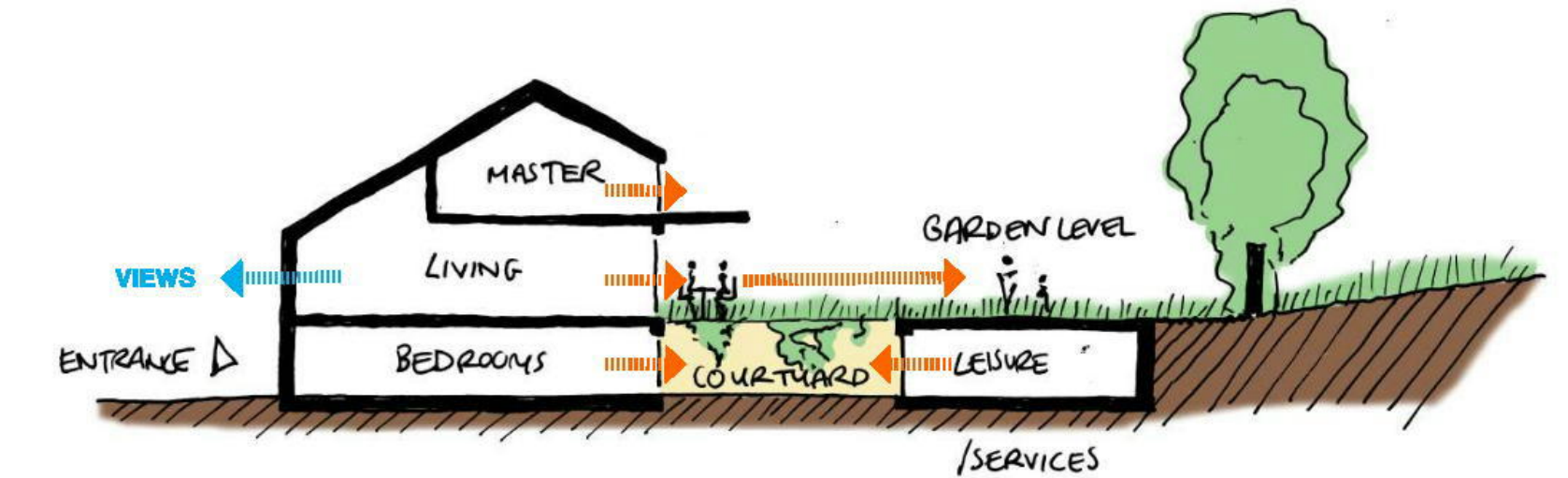
5.1 PROPOSED BUILDING STRATEGY

As the existing garden is located at first floor level, the property has been designed as an 'upside-down house' with the living accommodation located at first floor level with direct access to the garden at the rear.

The ground floor includes the bedrooms, secondary living accommodation, leisure and the garage and service spaces.

Due to the existing gradient of the site, the rear of the ground floor level is built into the change in level. Therefore to ensure natural light is achieved to the rear of the ground floor level, a hidden external courtyard has been incorporated central to the plan.

The second floor includes the master bedroom suite.



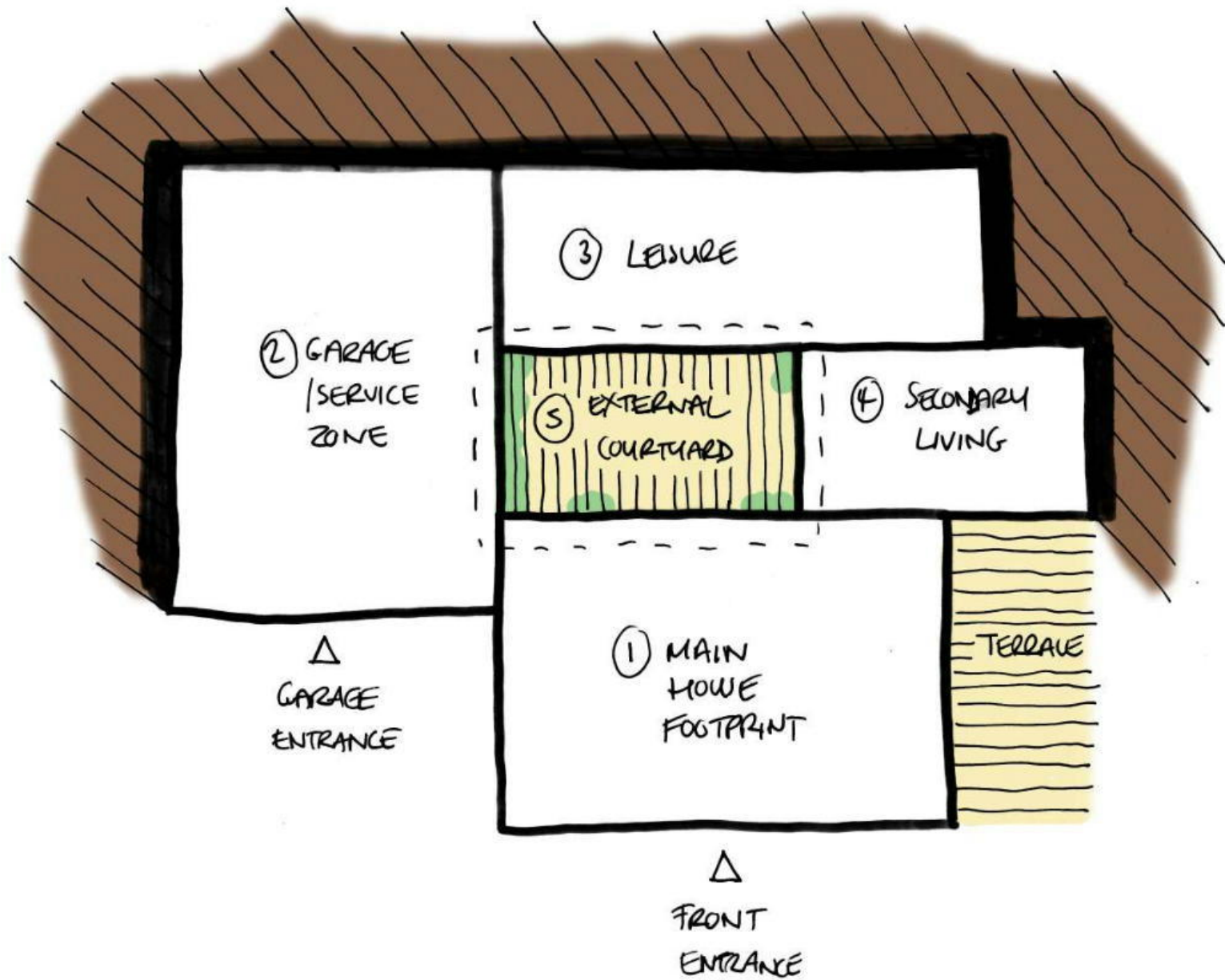
5.2 PROPOSED GROUND FLOOR ZONING

The ground floor layout has been designed as 5 zones:

1. The main house footprint
2. The garage and service zone
3. The leisure zone
4. The secondary living zone
5. The external courtyard

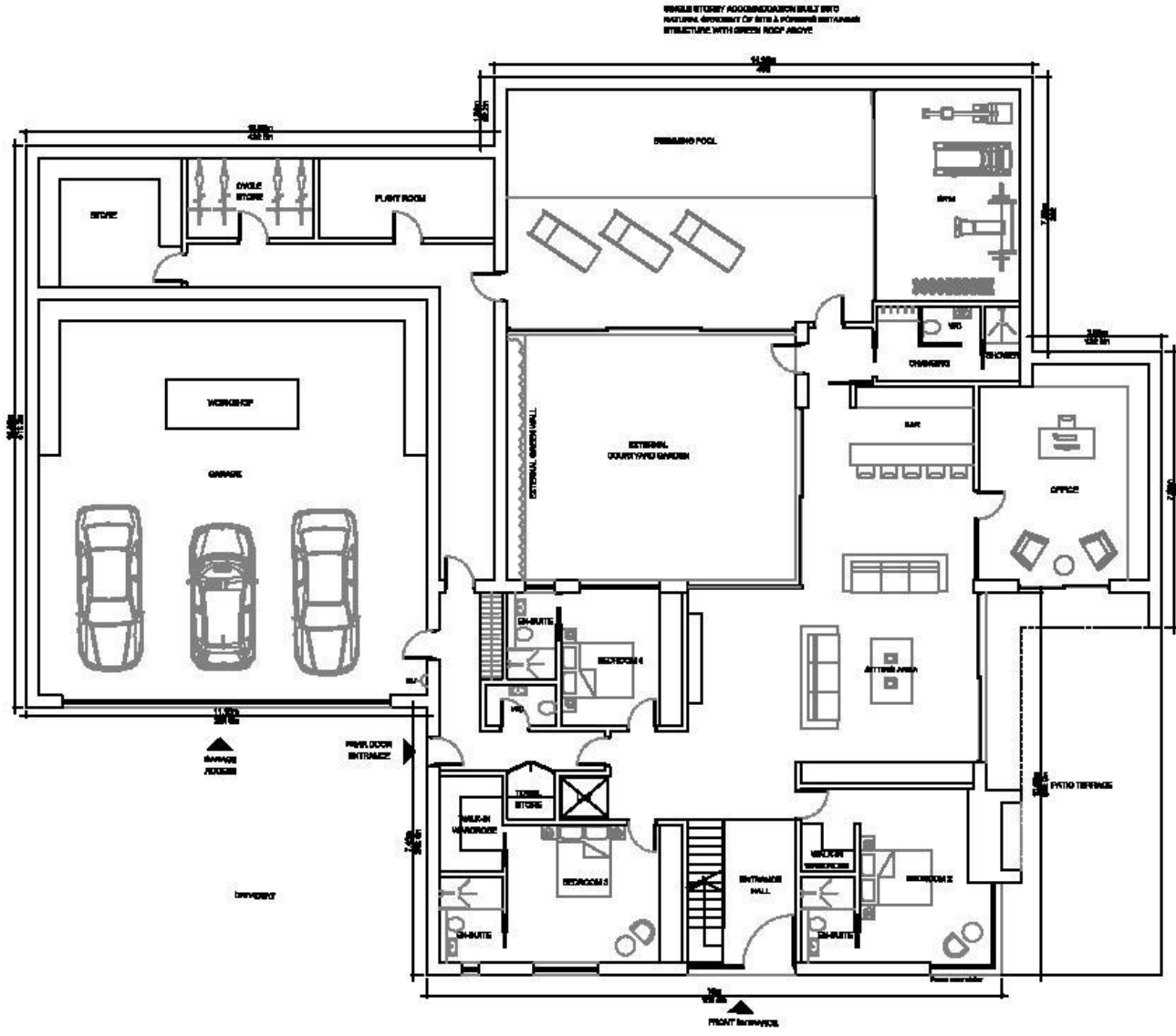
The layout has been arranged to wrap around an external hidden courtyard which allows light to enter the ground floor whilst incorporating subterranean accommodation.

The ground floor layout includes an entrance hall; 3 bedrooms with ensuites, an office; second living space; a coat and boot store; WC; garage; storage room; cycle store; plant room; gym; pool; and access to the lift.



PROPOSED GROUND FLOOR ZONING

5.3 PROPOSED GROUND FLOOR LAYOUT



PROPOSED GROUND FLOOR PLAN

5.4 PROPOSED FIRST & SECOND FLOOR

Proposed First Floor Layout

The first floor layout has been designed as 2 zones:

1. An open-plan kitchen dining living space.
2. A service zone

The layout has been arranged to maximise natural light, views of the surrounding countryside and direct access to the first floor level garden. To achieve this the open plan kitchen dining living space is arranged in an L-shape along the South and West elevations with feature glazing and openings to frame key views.

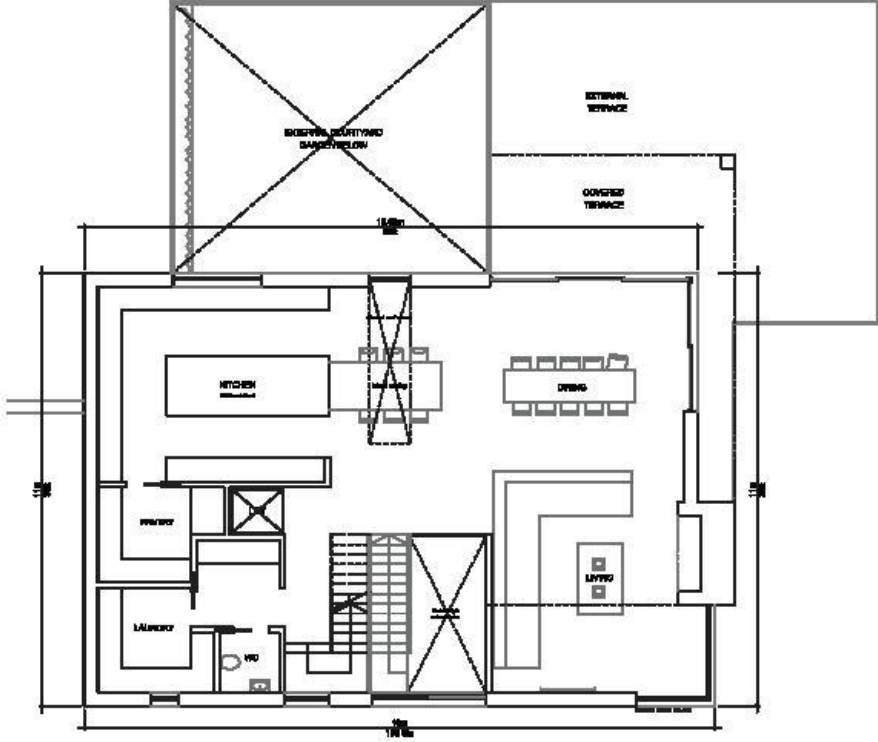
The service zone is located to the North of the plan with direct access from the stairwell, and the kitchen.

The first floor layout includes a double height stairwell; an open plan kitchen dining living space; a pantry; laundry; WC; store and access to the lift.

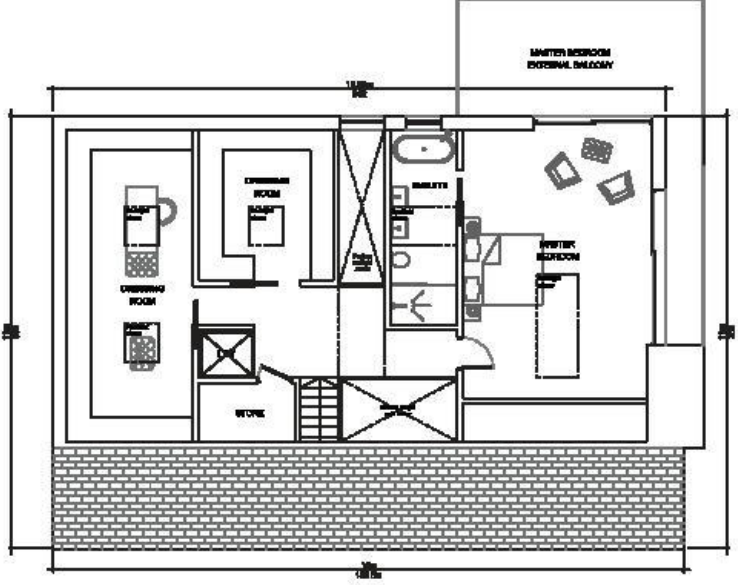
Proposed Second Floor Layout

The second floor layout is the master suite level and includes a master bedroom, ensuite, his-and-hers dressing rooms, a store room and access to the lift.

The layout has been arranged to maximise the views across to Pendle Hill and the Ribble Valley from the bedroom and includes an external balcony.



PROPOSED FIRST FLOOR PLAN



PROPOSED SECOND FLOOR PLAN

5.5 MATERIALS & FEATURES

The dwelling has been designed as a contemporary response to a rural setting. Utilising a material palette which includes commonly used natural materials found in the open countryside, and materials which sit well within a naturally landscaped setting.

A natural material palette has been created which compliments the countryside setting with natural stonework, timber cladding, natural grey roof slates, and natural landscaping.

The chosen materiality creates a contemporary rural property which complements the natural green and auburn tones of the existing landscape quality of the site.

The adjacent precedent images show examples of designs which incorporate similar design features or materiality to our proposal within a rural setting.



5.6 VISUAL APPEARANCE

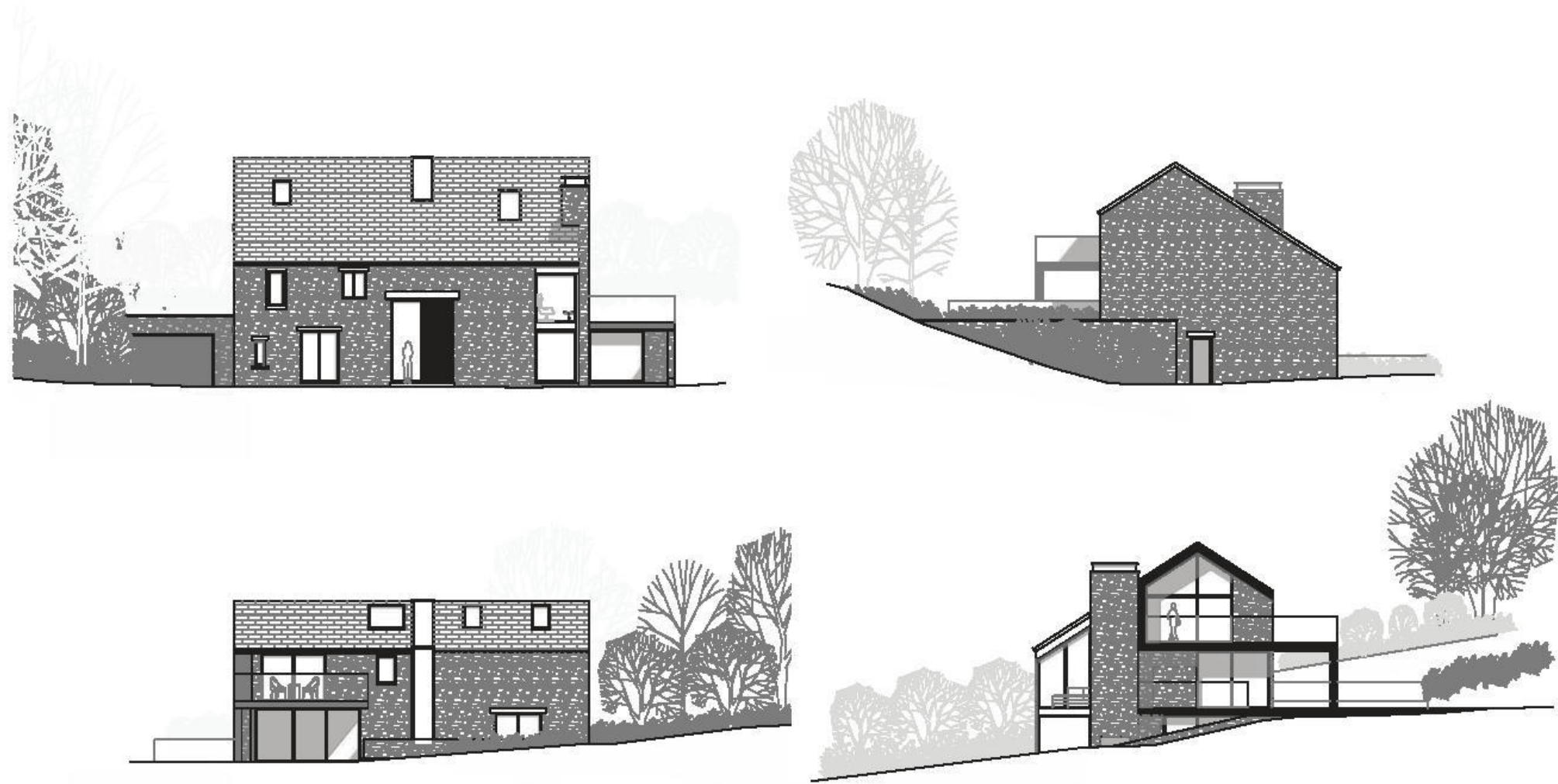
The proposed design submitted at pre-application stage was an adaptation of the existing properties. The design continued the same proportions, asymmetrical gable and random fenestration, whilst rationalising and re-designing the elevations. The proposal referenced the agricultural heritage whilst modernising the internal and external aesthetic.

The proposed replacement dwelling brings forward the same design strategies and overall aesthetic, whilst removing the constraints of being attached to the adjacent property.

The staggered roof has been removed from the proposal so the ridge-line can continue at the same level. The extent of visible glazing to the Western gable has been reduced due to the siting of the building which screens the lower level within the natural gradient of the site.

The proposal design therefore has a reduced appearance of scale due to the partly hidden ground floor level; building the property into the natural slope of the site; and the removal of the large triple garage which dominated the front aspect.

The front elevation has been designed as a contemporary take on a converted barn referencing the history of the site, whilst including contemporary openings focussed to the Western gable and rear elevation. The design includes a large 'barn door' style front entrance, a glazed vertical slot which cuts through the full building, and a wrap-around timber overhang which creates a mix of external spaces at each level of the property.



6.0 DESIGN PENTANGLE BARN

6.1 PROPOSED BUILDING STRATEGY - PENTANGLE BARN

The property has been redesigned internally and externally with its own designated garden, driveway and parking area.

The rear garden boundaries will be rationalised and re-aligned to omit the overlooking issues.

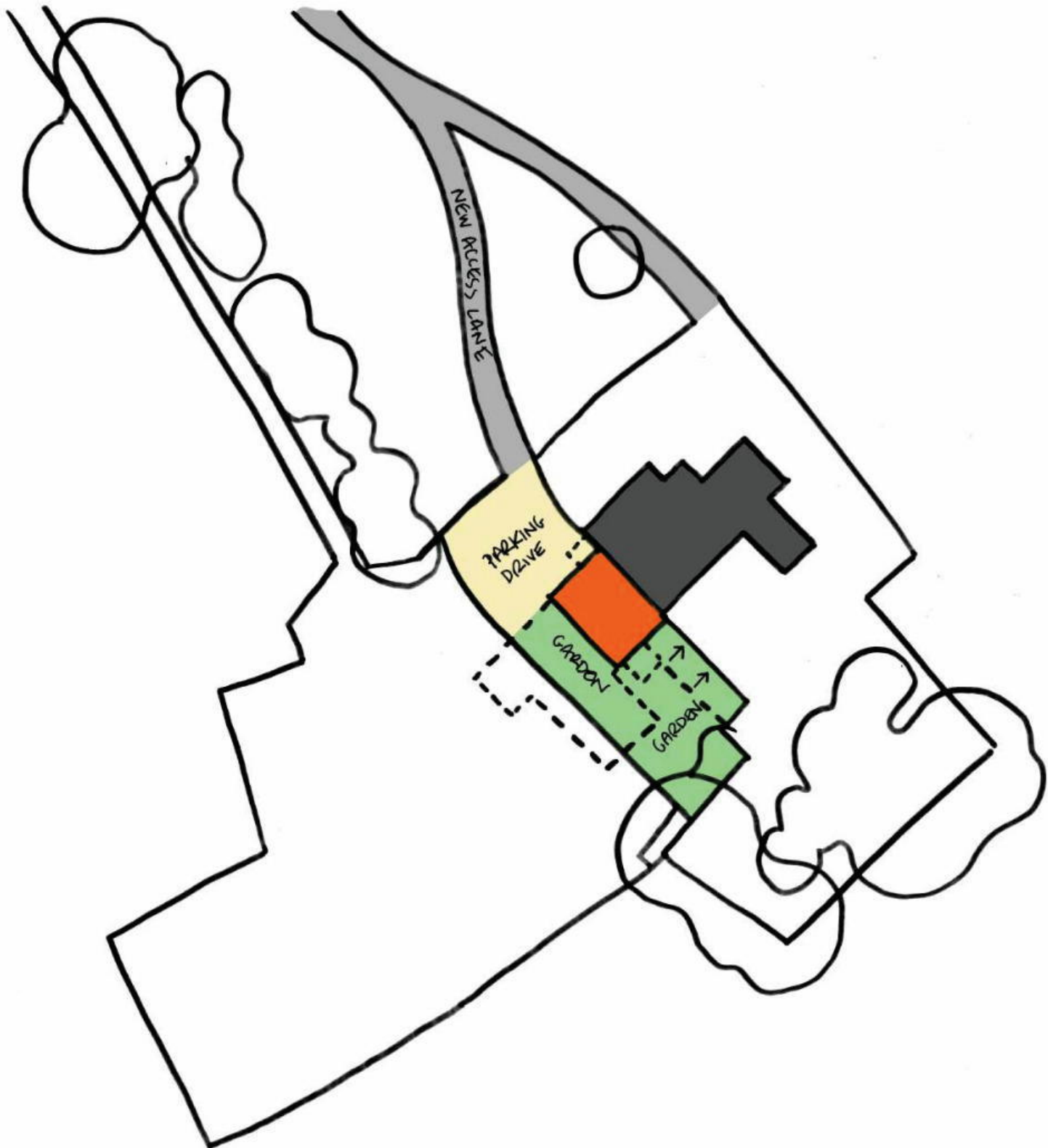
The previous extensions to Pentangle Barn were domestic in character and did not respond to the agricultural heritage of the property. The existing porch, lean-to extension and roof dormer extensions will be removed leaving the original footprint of the barn.

The gable wall which will be exposed during the demolition of Higher Newfield Edge will be re-built in natural random stonework to match the barn.

The domestic curtilage for Pentangle Barn will now incorporate a front, rear and side garden with driveway to accommodate 3 parking spaces.

The internal layout has been rationalised removing the split-level arrangement by levelling the ground floor plan. By re-designing the internal layout efficiently allows 4 bedrooms to be incorporated over 3 floors of accommodation.

Changes to the elevations have been minimised with no new openings to the front elevation. A feature corner window has been included to the rear elevation, and a contemporary box projection to the roof provides the required head-height for second floor accommodation.

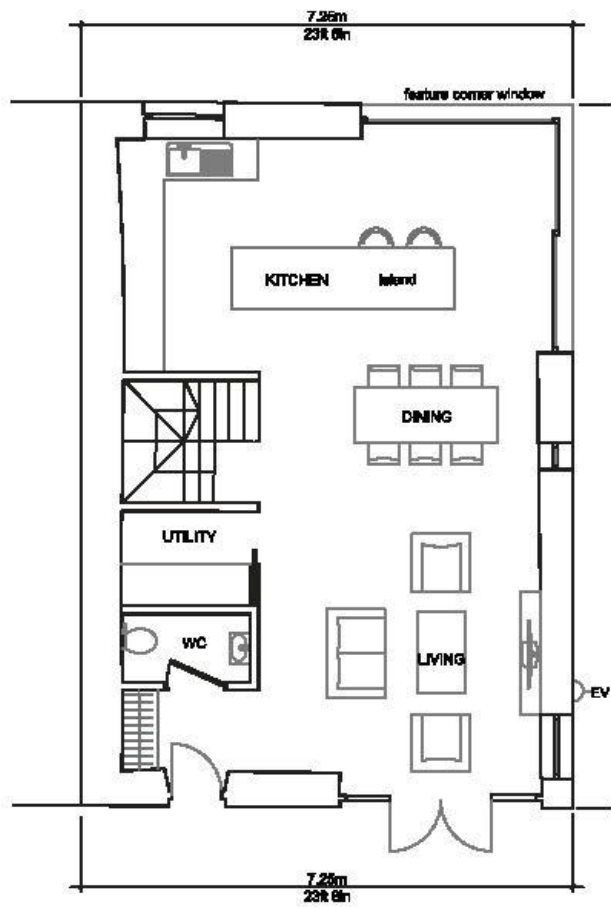


6.2 PROPOSED FLOOR PLANS

PROPOSED GROUND FLOOR LAYOUT

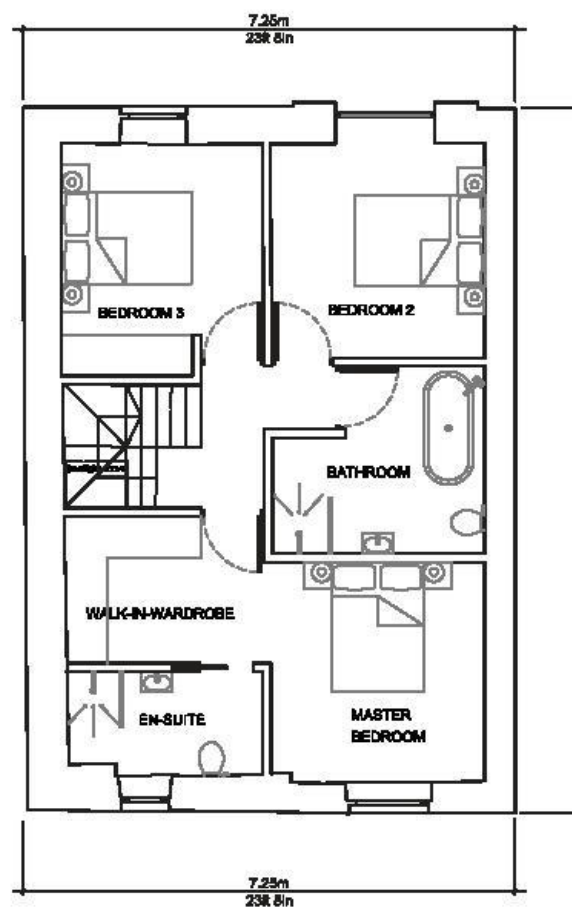
The ground floor layout includes an open plan kitchen dining living space; a coat and boot store; WC; and utility.

The stairs have been located central to the plan along the party wall to maximise natural light and the open plan living spaces.



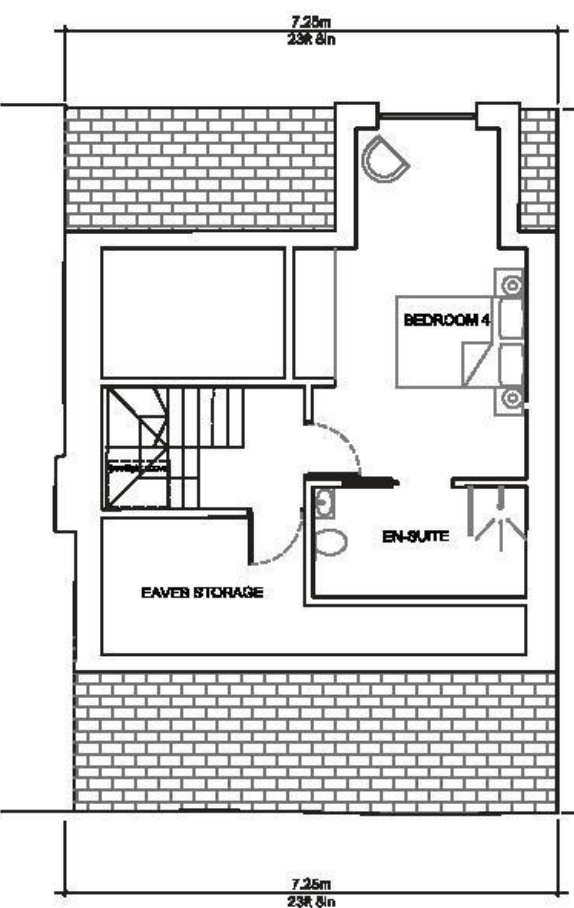
PROPOSED FIRST FLOOR LAYOUT

The first floor layout includes a master bedroom with ensuite and walk-in-wardrobe; 2 bedrooms and a family bathroom.



PROPOSED SECOND FLOOR LAYOUT

The second floor layout includes a 4th bedroom with an ensuite and eaves storage accessed from the landing.



6.3 VISUAL APPEARANCE

Despite there being no 'original' openings remaining on Pentangle Barn, and even the 'barn door' to the front elevation is a false later addition, the property still remains agricultural in character.

Without prior knowledge of the history of the 3 properties you would presume that Pentangle Barn was the original barn, with Higher Newfield Edge being the main farmhouse. It is therefore important that as this property is the only section of the barn to still have a barn aesthetic, the character of the barn is retained where possible.

All existing openings to the front elevation will remain, and will be replaced with aluminium light grey/taupe window and door frames. The front door will be a solid timber door.

2 slim windows have been included to the gable elevation at ground floor level which are random in size and position. A feature corner window has been included to the ground floor Southern corner, and a and a contemporary box projection to the roof provides the required head-height for second floor accommodation.



6.4 MATERIALS & FEATURES

The contemporary features have been focussed to the rear elevation, and have been designed to complement the agricultural heritage. The existing stonework will be cleaned and matched, with stone window surrounds in various configurations.

The adjacent precedent images show examples of designs which incorporate similar design features or materiality to our proposal within a rural setting.



7.0 DESIGN THE SITE

7.1 ACCESS, PARKING & REFUSE

The existing access lane from Stocks Lane will be retained and utilised.

The existing route will terminate at Higher Newfield Edge and become the private access for the applicant's home. A new access lane will be created through the field to the North providing access to both New Field Edge and Pentangle Barn. The new access lane will follow the natural topography of the land and be finished in a natural material.

3 parking spaces are located to the front of Pentangle the property, with cycle storage within the rear garden and an electric vehicle charging point adjacent to the driveway.

2 parking spaces have been shown to the side of Higher Newfield Edge along with 3 spaces within the attached garage. However there is also parking to front of the property if required. An electric vehicle charging point has been located within the garage, and a separate internal cycle store has been positioned off the service corridor behind the garage.

There is adequate space for each property to turn and exit the site in forward gear.

Bin storage for the applicant's and neighbouring property is located at the junction where the private access lane meets Stocks Lane. The bin storage for this site will also be located in this position.

7.2 MASSING & VOLUME

The proposal utilises the volume of the permanent structures to re-distribute into one compact, high-quality designed, coherent property therefore reducing the overall sprawl of built form and impact on the openness.

To the rear and side of the property accommodation is built into the natural gradient of the site with a flat green roof above at the garden level. Therefore the garage, services and leisure spaces are located behind the property, hidden from view and built into the ground. The property therefore appears modest in size from the rear with the lower level completely hidden.

Total volume of all existing permanent buildings = **1668m³**
Total visible volume of all proposed buildings = **1874m³**
Total volume of the hidden subterranean accommodation = **635m³**

The proposal increases the visible volume of the site by 12%.

Total GF footprint of the existing buildings = **371m²**
Total GF footprint of the proposed buildings = **626m²**

The proposal increases the overall site-wide ground floor footprint by 70%. Please note that this includes the subterranean accommodation which has no visible impact.

The proposed development is in-line with policy guidance and will have a reduced impact on the greenbelt for the following reasons:

- The proposal is less than 30% greater in visible

volume and than the existing, which is in-line with policy guidance for replacement dwellings in the open countryside;

- The site has an established residential curtilage which will not be affected. There will therefore be no further encroachment into the open countryside;
- The proposal replaces an existing dwelling which is no longer meeting the client's needs with a high quality, sustainable, contemporary, home which accommodates the needs of the applicants;
- The existing site is heavily screened and is not visible from the access lane, or Stocks Lane. There would be no visual impact due to the existing mature hedging and trees.

7.3 SUSTAINABILITY

One of the key design drivers for the project was the applicant's brief to create a highly sustainable eco-home. The applicants are passionate about living and working sustainably which they have integrated into their business systems and processes. They now wish to transfer these methods into their home.

The site has been designed to minimise energy usage by creating a sustainable forever home. Features of which include an integrated solar roof system for on-site energy generation, a MVHR sustainable heating and ventilation system, rainwater collection, battery storage, a sustainable drainage system, recycling, triple glazing, and locally sourced materials,

The property has therefore been designed to minimise energy usage with a reduced carbon footprint. We will achieve this firstly by sustainable design, (siting, thermal mass, sustainable heating and ventilation systems), and secondly by a fabric first approach (high levels of insulation, prevention of thermal bridging, achieving high levels of air-tightness).

7.4 BIODIVERSITY

A detailed landscaping proposal will be provided which specifies the hard and soft landscaping including plant species which have been specifically selected based on their biodiversity properties.

The existing mature trees and hedgerows will be retained and enhanced with additional planting. The extent of hard-landscaping will be reduced in comparison to the existing site, with the inclusion of a large green roof. A tree-lined buffer will be included between the 3 properties, with bird and bat boxes included across the site.

As the applicants own the surrounding agricultural land to the North-East there is also an opportunity to create a wildflower meadow to the North of the properties, and further planting along the access lane.



8.0 VISUAL IMPACT

8.1 VISIBILITY

The adjacent photos demonstrate the visibility of the site from distance viewpoints is heavily restricted due to the existing tree coverage along the access lane, within the adjacent fields and along the site boundaries.

By removing the existing house, triple garage, stable, and out-building these structures will no longer be visible.

The proposed dwelling will be sited more central to the site hidden behind the existing matures trees, with a hidden subterranean section and green roof, and the natural stone and timber cladding will blend with the natural landscaping further reducing visibility.

The proposed scheme further reduces visibility by:

- Including additional planting between the party boundaries of each property, which also improves the outlook from the neighbouring property;
- Siting the proposed property centralised to the site, and orientated clock-wise to screen the property behind the existing high level trees;
- Removing all out-building structures and re-distributing the volume into one single storey, compact, high quality scheme;
- Incorporating a subterranean level to the rear with sunken hidden courtyard which is hidden from the front elevation, and all neighbouring gardens, properties and public viewpoints.



Existing view from Stocks Lane



Proposed view from Stocks Lane

8.2 PUBLIC FOOTPATHS

The proposed siting of the replacement dwelling is not visible from both Stocks Lane or the access lane. And has limited visibility from the public footpath to the West or the South due to the existing high level hedgerow boundary.

A key distance viewpoint is along the public footpath to the West of the site when travelling Eastwards. The existing site is screened by a high level mature hedge. A small section of the existing roof is visible from this viewpoint and could be further screened with additional planting.

Another key distance viewpoint is at the junction between Stocks Lane and the access lane of which the property is not visible.



Public footpath to the South-West of the site travelling North-Eastwards. The site is heavily screened by the existing mature hedge.



Public footpath which passes through the site across the driveway and side garden of Higher Newfield Edge.



View at the junction between Stocks Lane and the access lane showing the site is not visible.

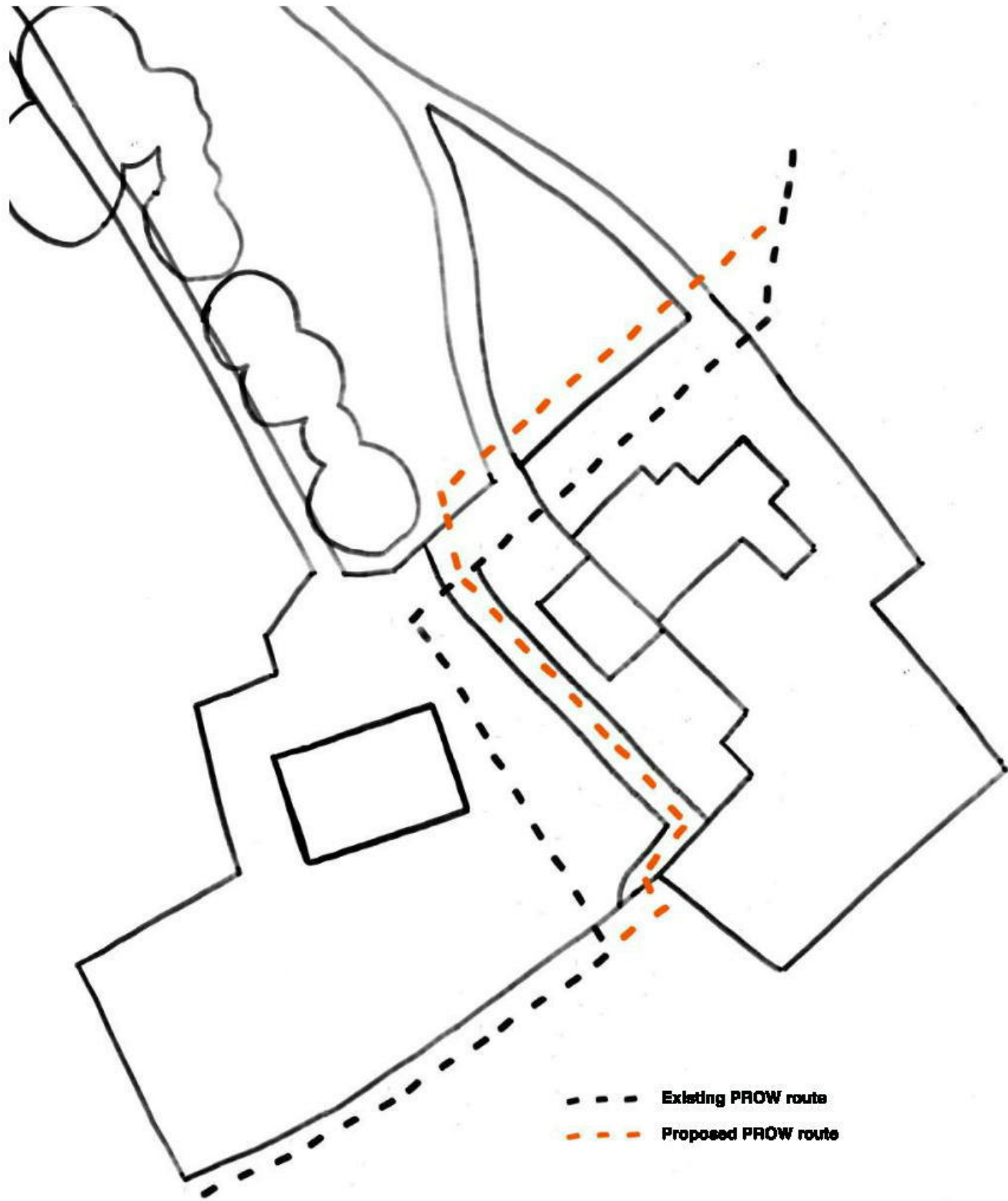
8.3 PUBLIC FOOTPATH RE-LOCATION

An existing public footpath passes through the site which is rarely used. It is not a popular route and only experiences 2-3 people per year. This may be due to the route being difficult to pass under-foot due to the condition of the field to the South of the site.

The public footpath is located to the South of the Southern boundary, passes over the stone boundary wall, through the driveway of Higher Newfield Edge, and along the front of the 3 properties. At present the route is not defined and passes through the centre of the domestic curtilage of Higher Newfield Edge.

This public footpath currently experiences close-up views of each properties and their immediate vicinities. This will remain the case for the replacement dwelling but instead of passing through the centre of their domestic garden and driveway, the route will be re-located between the boundaries of the 2 properties.

The repositioned route will be defined and re-landscaped with a tree-lined buffer. The proposal will therefore improve the privacy of the properties and create a clearly identifiable route.



9.0 CONCLUSION

9.1 CONCLUSION

This design and access statement has been prepared to support the full planning application on behalf of the applicants, Mr & Mrs Justin and Louise Birchall to replace their existing property which does not meet their current living requirements and to create a sustainable forever home.

Justin and Louise Birchall have lived at Higher Newfield Edge for the last 17 years [REDACTED] [REDACTED] They love where they live and want to be able to remain living in their property as their forever home to enjoy with their family. They therefore require an accessible property with an internal lift and level access throughout. To achieve this, the property and site requires substantial redevelopment.

We have worked together with the applicants to create a solution which meets the applicant's extended family requirements whilst being mindful of the surrounding open countryside. One of the key design drivers for the project was the applicant's brief to create a highly sustainable home, the site has therefore been designed to minimise energy usage by creating their forever home.

The proposal re-imagines the full site and 2 properties to create 2 exceptional family dwellings. The existing Pentangle Barn will become a semi-detached property rather than a mid-terrace, and will be reconfigured to create a 4-bedroom family home with private garden, access lane and parking area. Higher Newfield Edge will be demolished along with the existing garage and out-buildings, and will be re-built detached from Pentangle Barn central to the garden plot.

The proposed scheme improves the site from an architectural, ecological and sustainability aspect. The existing structures across the site appear tired, untidy, are no longer working for the family, and do not add to the character of the open countryside setting.

The replacement dwelling proposal uses traditional, rural materials and re-distributes the existing volume and footprint on the site to create 1 coherent, high-quality replacement dwelling.

The completed scheme would refurbish the existing Pentangle Barn to create a desirable rural family home, and would transform Higher Newfield Edge into a truly outstanding family dwelling, and an exceptional example of a rural property, designed for sustainable, contemporary living.

We welcome your comments and input on the scheme. Please contact the agent to discuss in further detail.



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