

SUPPORTING STATEMENT

SUPPORTING STATEMENT FOR THE PLANNING APPLICATION OF AN AGRICULTURAL / MACHINERY STORE AT ROWAN COTTAGE, OLD CLITHEROE ROAD, DUTTON, PRESTON, PR3 2YU.

01/12/2021



This document is to be read in conjunction with all planning drawings and supporting documentation as follows:

A100 – LOCATION PLAN

A101 – EXISTING SITE PLAN

A200 – PROPOSED SITE PLAN

A201 – PROPOSED PLAN AND ELEVATIONS

LOCATION

The site is located within the Forest of Bowland's area of outstanding natural beauty therefore great consideration has been undertaken during the design process and the decision of the proposed materials in order to be sympathetic to the local vernacular.

Rowan Cottage is located at the bottom of a private track accessed to the north of Old Clitheroe Road. The site consists of a dwelling, barn & outbuildings. There is planning approval for the barn to be rebuilt and the erection of a link between the house and barn.

The proposed agricultural / machinery store will be located within the curtilage of the site to the northwest of the dwelling (see picture below & drawing A200 for proposed site plan), outside of the residential curtilage.



SITE PLANNING HISTORY

21/10/2020 – Planning Application 3/2020/0724. Proposed alterations to the approved design of the link and annex on application 3/2017/0062 as amended by 3/2017/1043. Approved with conditions.

13/11/2017 – Planning Application 3/2017/1043. Non-material amendment sought from planning permission 3/2017/0062 for alterations to the window opening in the east elevation of the link extension. Approved with conditions.

23/05/2017 – Planning Application 3/2017/0062. Extension to existing cottage, utilising the footings from an extant planning permission. Approved with conditions.

12/03/2010 – Planning Application 3/2010/0051. Replacement dwelling. Re-submission. Approved with conditions.

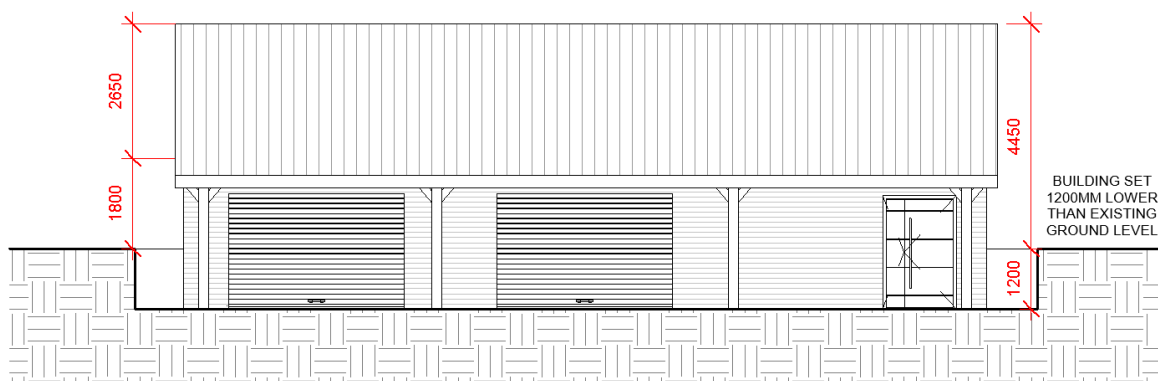
15/12/2009 – Planning Application 3/2009/0783. Demolition of existing buildings and construction of a replacement dwelling. Withdrawn.

02/03/2009 – Planning Application 3/2008/1041. Single storey extension to link house to outbuilding. Two storey porch. Reconstruction of domestic outbuilding to provide garaging and bedroom above. Approved with conditions.

17/06/2008 – Planning Application 3/2008/034. Reconstruction of domestic outbuilding to provide garaging and games room. Approved with conditions.

DESIGN

The proposed new building is to be used to store machinery. The building will have double garage doors, a pedestrian access door and an overhanging roof on the north and south elevations. The proposal is 16 metres x 8 metres and is 1.2 metres lower than the existing ground level in order to have a lower visual impact on the surroundings. (Refer to drawing A201).



④ SOUTH ELEVATION
1 : 100

MATERIALS



HORIZONTAL LARCH
CLADDING



WOODEN DOORS



STEEL BOX PROFILE
ROOFING SHEETS