

**DESIGN, ACCESS AND HERITAGE STATEMENT**  
**PROPOSED EXTENSION AND ALTERATIONS**  
**TO**  
**OLD EAVES HALL,**  
**WEST BRADFORD**



**JANUARY 2022**  
**JOB NO. 6048**  
**VERSION 1.0**

## 1.0 INTRODUCTION

This design, access and heritage statement has been prepared by Sunderland Peacock and Associates Ltd on behalf of our client Mr K Horkin, as part of a householder planning application for the proposed erection of a single storey rear extension at Old Eaves Hall, West Bradford.

It is to be read in conjunction with drawing numbers:

- 6048 – E05 Existing Plans and Elevations
- 6048 – P05 Proposed Plans and Elevations
- 6048 – Location Plan

## 2.0 SITE LOCATION AND BUILDING DESCRIPTION

Old Eaves Hall is an isolated dwelling within the Forest of Bowland Area of Outstanding Natural Beauty and is sited on the south-east and Ribble Valley facing hillside above Waddington and West Bradford. To the west along the hillside traversing road is 'Eaves House Farmhouse' (Grade II listed) and to the east is 'Eaves House Cottage and Barn adjoining to East' (Grade II listed); Old Eaves Hall is within the setting of these listed buildings.

The site is accessed up a track from Waddington Road and comprises of a two storey detached property which has 4 bedrooms, a family bathroom, reception room, living room, utility room, kitchen and home office. The site has amenity areas to the front and rear of the property with substantial tree screening to the south.



### 3.0 PROPOSAL / DESIGN

The scheme facilitates the removal of an existing timber shed and dog kennels to the rear of the property. A subservient single storey rear extension is proposed to provide the relocated open plan kitchen and dining area. The proposed extension has been designed to be subservient in design and location within the site and in relation to the existing Old Eaves Hall. The extension is located to the rear of the property which has been previously altered through application 3/2020/0386 which has included a roof lift and associated alterations. This proposal therefore will have a minimum visual impact on the existing building.

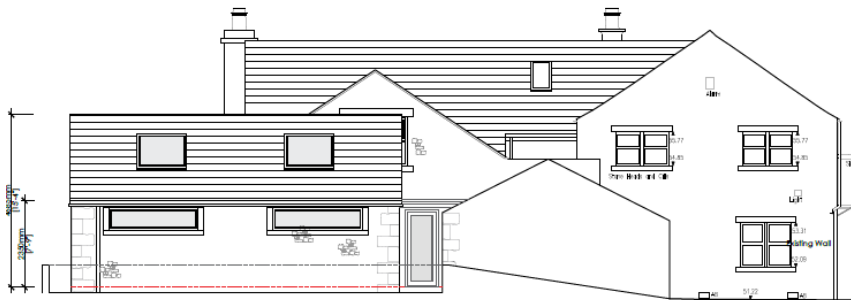
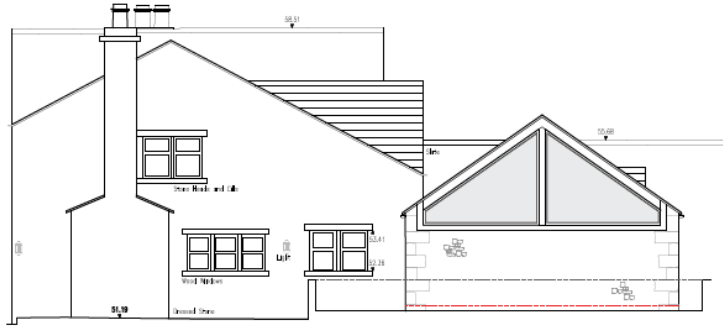
### 4.0 SCALE AND APPEARANCE

The size and scale of the proposal has been considered; it has been designed in order to be proportionate to the existing dwelling to ensure that it is subservient. It does not have any impact or negative effect on the neighbouring properties or their amenity space.

The design has taken reference from the surrounding context and material selection to create a proposal that is in keeping with the existing property and area. Planning policy guidance has been adhered to with the integration of the extension to match the existing property and ensure the general form and shape of the original dwelling is respected and reflected in the extension to ensure the character of the property is maintained. This provides a positive visual impact through the removal of the existing sheds and ensures a positive relationship between the original property and extension when viewed from the south.

A limited palette of quality materials such as UPVC / timber windows and doors, natural slate roof covering and natural random stone walls, with cut stone window and door surrounds. The design is integrated with simple and quality details to enhance the proposal.





## 5.0 HERITAGE ASSESSMENT

Within the locality of Old Eaves Hall there are two listed buildings. To the west there is 'Eaves House Farmhouse' (Grade II listed). There is also 'Eaves House Cottage' (Grade II listed) to the East. The proposed extension will have no impact on the setting or character of these buildings through scale, design and location.

## 6.0 CONCLUSION

In summary, the proposal which forms the basis of this householder planning application has been designed to provide a positive visual impact, architectural design for the site and surrounding area. The extension will provide an appealing and quality aesthetic as well as internal space whilst using materials and design principles to respect and ensure it is in keeping and harmony with the existing and surrounding properties. The proposed extension does not compromise the amenity of adjacent properties, or their gardens and would not result in a loss of light or privacy.