

PLANNING STATEMENT

**For the
Removal of the Existing Garage and Conservatory
Erection of a Proposed Extension, Entrance Canopy and Annex
At Sudell House
No.75 Whalley Road
Wilpshire
Lancashire**



Date: December 2021

1.0 INTRODUCTION

- 1.1 This Planning Statement has been prepared by Ribble Valley Architecture Ltd. on the behalf of our clients Mr and Mrs Parker, it has been prepared as part of a householder planning application which seeks approval for the removal of the existing garage and conservatory and erection of a proposed single storey extension, annex and associated alterations to Sudell House, No.75 Whalley Road, Wilpshire.
- 1.2 This statement provides a description of the site and the proposed works, its compliance with the development plan and an assessment of other material considerations.

It is to be read in conjunction with the following planning drawings:

- SH – 01 Existing Plans and Elevations.
- SH – 02A Proposed Plans and Elevations.
- SH – Site Location Plan
- SH – Block Plan

2.0 THE SITE

- 2.1 The property is a detached two storey property, built of facing brickwork with a slate roof covering.
- 2.2 The property benefits from a large residential curtilage, the principle front elevation faces south east onto Whalley road. A driveway is situated to the front of the property, leading to a detached redundant garage, with garden amenity areas to the front and rear.



FIGURE 1: SITE LOCATION

3.0 PROPOSAL

- 3.1 The proposal facilitates the removal of the existing detached garage and conservatory structures.



IMAGE 1: DETACHED GARAGE



IMAGE 2: CONSERVATORY

- 3.2 The detached garage is a pre-fabricated concrete structure with a steel apex roof and a corrugated sheet roof covering.
- 3.3 The conservatory consists of facing brickwork dwarf walls with white UPVC doors, windows and roof structure.

- 3.4** A single storey pitched roof extension is proposed to replace the conservatory to accommodate an open plan kitchen/dining and snug area. The extension incorporates roof lights to ensure the area benefits from large expanses of natural light.

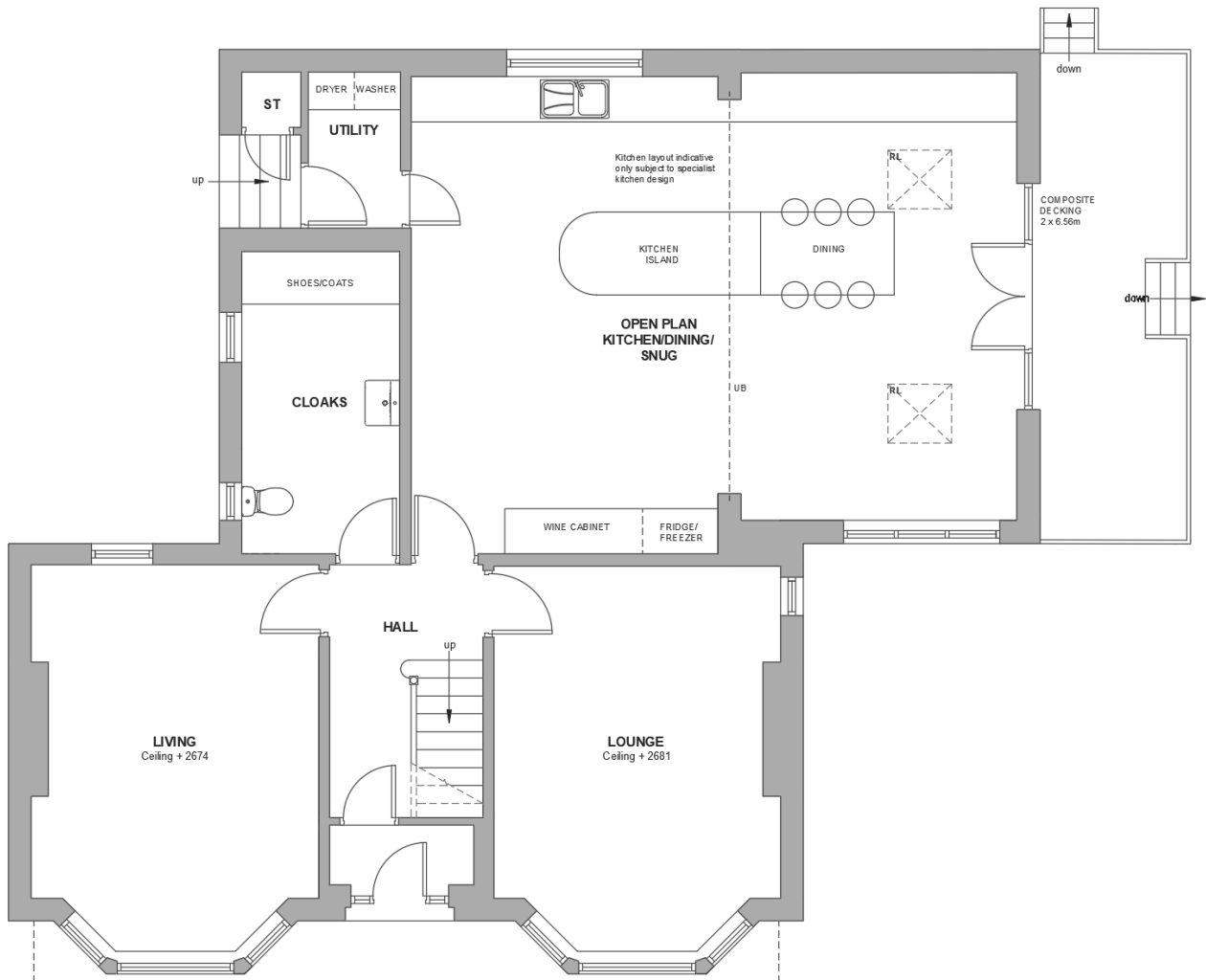


FIGURE 2: PROPOSED GROUND FLOOR PLAN

- 3.5** A residential annex is proposed to be situated in place of the removed redundant garage structure. The annex will be ancillary to the main property and will not be used as a separate dwelling or holiday accommodation.
- 3.6** The residential annex will be modest in size with only a minimal size increase of that of the removed garage structure. The annex will facilitate an open plan living area that will incorporate a small kitchenette and dining area, 1no. bedroom, shower room and a home office area. The shower room window will be obscure glazed.

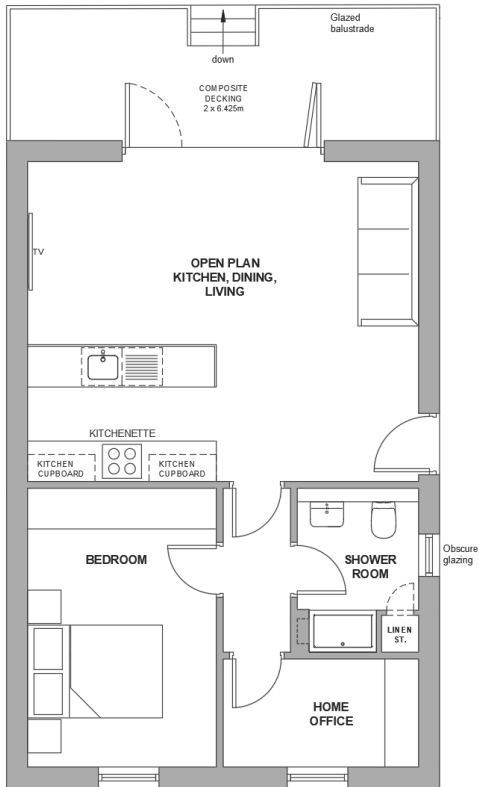


FIGURE 3: PROPOSED ANNEX FLOOR PLAN

3.7 A pitched roof canopy is proposed to the front of the property to improve the aesthetics and to add visual interest to the principle elevation.



FIGURE 4: EXISTING AND PROPOSED ELEVATIONS

- 3.8** The design has taken reference from the surrounding context including the pitched roofs and material selection to create a proposal that is in keeping with the existing property and area to provide a positive visual impact and ensuring a positive relationship with the original property when viewed from the street scene. The same eaves and verge detailing of the proposals reflect that of the existing property.
- 3.9** A limited palette of quality materials such as aluminium grey windows/door frames and facing brickwork to match the existing property, integrated with simple and quality detailing are used to enhance the positive visual impact of the design.

4.0 PLANNING HISTORY

- 4.1** Previous planning applications submitted for Sudell House, No.75 Whalley Road, Wilpshire.
- 3/1991/0051. Proposed bedroom extension. Approved 28.03.1991
 - 3/1998/0650. Erection of a UPVC conservatory. Approved 27.10.1998

5.0 DEVELOPMENT PLAN POLICY

- 5.1** Section 38(6) of the Planning and Compulsory Purchase Act 2004 states that decisions should be made in accordance with the development plan unless material considerations indicate otherwise. The Development Plan for the purposes of this application comprises the Ribble Valley Core Strategy (adopted 2014) and the National Planning Policy Framework (NPPF) (2021).
- 5.2** The following policies are of relevance to the proposal:
Policy DMG1: General Considerations
Policy DMH5: Residential and curtilage extension

6.0 EVALUATION

- 6.1** The main factors to be considered are:
- Visual amenity/external appearance
 - Impact upon residential amenity

6.2 VISUAL APPEARANCE

The annex and part of the extension will be visible from the street scene when approaching the property along Whalley road. The design and material selection will ensure that the proposal

contributes positively to the street scene and character of the area. The proposal complies with the requirements of policy DMH5 and DMG1.

6.3 IMPACT UPON RESIDENTIAL AMENITY

The proposal does not compromise the amenity of adjacent properties and would not result in a loss of light. The proposal complies with the requirements of policies DMG1 and DMH5 in this respect.

6.4 HIGHWAYS AND PARKING

The existing driveway and hardstanding area to the front of the property provides extensive areas for vehicular parking spaces and a suitable turning area to enter and leave the site in forward facing gear. The site provides adequate off-street parking required for the property and annex.

The proposal will not have a negative impact to the local highway.

7.0 CONCLUSION

- 7.1** In summary the proposal which forms the basis of this householder planning application has been designed to subtly provide a positive visual impact, for the site and will complement the existing street scene. The proposal does not compromise the amenity of adjacent properties and would not result in a loss of light. The proposal fully accords with the policies of the Core Strategy and the National Planning Policy Framework.