

SUPPORTING STATEMENT **(Incorporating the Design & Access Statement)**

20th January 2022

Application for extension of dwelling house at Burnside, 21
Knowsley Road, Wiltshire, BB1 9PX



Prepared by MacMarshalls Rural Chartered Surveyors & Planning Consultants
on behalf of Mr D. Lewis

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1. INTRODUCTION

- 1.1. This planning statement has been prepared in support of an application for the extension of one dwelling house at Burnside, 21 Knowsley Road, Wilpshire, BB1 9PX.
- 1.2. The application seeks consent for the extension of the existing residential property which is effectively a bungalow with garage and basement at a lower level. The proposal provides for a redesign of the roof incorporating additional residential space and follows a refusal of a previous application Ref. 3/2021/0496.
- 1.3. The statement describes the objectives and development of the proposed scheme and considers both the national and local policy context against which the application should be judged. The application is for detailed planning consent.

2. THE APPLICATION SITE

- 2.1. The application site is located in the village of Wilpshire, on the south side of the village and within the urban boundary. On the adopted Ribble Valley Local Plan Proposals Map 1, Wilpshire is identified as a 'Tier 1' village. Of the 32 defined settlements within the adopted Ribble Valley Core Strategy (2014) Tier 1 villages are considered more sustainable.
- 2.2. The application site is located on the south side of Wilpshire shortly after entering the village. Bankside is situated on the west side of Knowsley Road which is the main road into the village from Blackburn. The property is in a sustainable location within 400m of Ramsgreave and Wilpshire Railway station and there are several bus stops along Whalley Road nearby. A parade of shops is situated close by along Whalley New Road with several others on Whalley Road as well as a Public House. A 24 hour petrol filling station with Spar Convenience Store and a Co-operative Food store are both located within 650m of the site.
- 2.3. When approaching the property from the village centre to the north, the road narrows for a short distance alongside the garden of the property down to a single lane with give way signs to permit only one vehicle at a time.
- 2.4. The site incorporates garden land on all sides and is laid out on an angle in relation to the road which aligns with a further small terrace of modern houses on the east side of

Knowsley Road. The west side of the property looks out over open fields and is Green Belt.

- 2.5. The topography of the site is such that the site falls to the north west side. As a result, although the property is effectively a bungalow when one approaches from the front and south, this masks the fact that the land drops away, which has permitted a double garage and basement to be incorporated into the design on the north east side.
- 2.6. There is no particular design style in the area around the site, which includes a variety of detached two storey properties, detached bungalows and terraced housing. Some of the bungalows to the south have recently been the subject of attic conversions (see planning history below) or replacement. Most of the existing properties are brick built under tiled roofs. There is also some stone and significant amounts of render in the surrounding area.
- 2.7. Burnside is unremarkable in design terms, being of red brick under a pyramid hip roof employing slates with a small more modern flat roof porch extension to the west side. The property is set down slightly below the road level.



View of the site from the front (south)

3. RELEVANT PLANNING HISTORY

- 3.1. There has been a previous planning application for extension of Burnside (Reference 3/2021/0496) that was refused on 15 July 2021. The reasons for the refusal were given as follows:

The proposal is considered to be in conflict with policies DMG1 and DMH5 of the Ribble Valley Core Strategy in as much that the proposal would be a disproportionate, over dominant, and unsympathetic addition to the original property and existing pattern of housing by virtue of its scale, design, siting and adverse impact upon visual amenity.

- 3.2. There are no other applications relating to this property.
- 3.3. A variety of applications have previously been permitted in the area, some of which are shown at *Appendix 1*. It is accepted that each application should be treated on its merits, but the history does suggest that the planning authority has been receptive to significant residential improvements and changes in the immediate locality.

4. PLANNING POLICY CONTEXT

- 4.1. Section 38(6) of the Planning and Compulsory Purchase Act 2004 states that decisions should be made in accordance with the development plan unless material considerations indicate otherwise. The Development Plan for the purposes of this application comprises the Ribble Valley Core Strategy (adopted 2014) and the National Planning Policy Framework (NPPF) (2019).
- 4.2. The Application Site is located within an existing developed area as shown on the UDP proposals map.

4.3. NPPF

- The National Planning Policy Framework sets out the Government's planning policies for England and how these should be applied. The NPPF is a material consideration in planning decisions and at the heart of the Framework is a presumption in favour of sustainable development. Also, it states that the

purpose of the planning system is to contribute to the achievement of sustainable development (paragraph 6).

4.4. **Ribble Valley Core Strategy 2014**

- The Core Strategy forms the central document of the Local Development Framework (LDF), establishing the vision, underlying objectives and key principles that will guide the development of the area to 2028.
- The following policies are relevant to the application
 - Key Statement DS1 – Development Strategy
 - Key Statement DS2 – Presumption in Favour of Sustainable Development
 - Key Statement EN1 – Green Belt
 - Policy DMG1 – General Considerations
 - Policy DMG2 – Strategic Considerations
 - Policy DMG3 – Transport and Mobility
 - Policy DMH5 - Residential and Curtilage Extensions
- Key Statement DS1 seeks to focus development in the principal settlements and Tier 1 villages such as Wilpshire.
- Key Statement DS2 - (Presumption in favour of sustainable development) – states that the Council will take a positive approach working proactively with applicants jointly to find solutions which means that proposals can be approved wherever possible, and secure development that improves the economic, social and environmental conditions of the area.
- Key Statement EN1 - (Green Belt). States that the Council will seek to safeguard the surrounding countryside from inappropriate encroachment.
- Policy DMG1 (General Considerations) – sets out various criteria to be considered in assessing planning applications, including a high standard of building design, proposed development being sympathetic to existing land uses, highway safety and not adversely affecting the amenities of the area.
- Policy DMG2 (Strategic Considerations) – expects development to be in accordance with the Development Strategy and that development proposals in defined settlements should consolidate, expand or round-off development so that it is closely related to the main built up areas, ensuring this is appropriate to the scale of, and in keeping with, the existing settlement.

- Policy DMG3 - (Transport and mobility). The availability and adequacy of public transport and associated infrastructure will be considered in making decisions in planning applications.
- Policy DMH5 – (Residential and Curtilage Extensions). Proposals to extend or alter existing residential properties must accord with Policy DMG1 and any relevant designations within which the site is located.

5. THE PROPOSED DEVELOPMENT & DESIGN - Planning appraisal

5.1. The application is for detailed consent.

5.2. Paragraph 145, part C of the NPPF states that:

‘A local planning authority should regard the construction of new buildings as inappropriate in the Green Belt. Exceptions to this are the extension or alteration of a building provided that it does not result in disproportionate additions over and above the size of the original building.’

5.3. There are no specific definitions either within the NPPF framework or the RVBC Core strategy as to what constitutes ‘disproportionate additions’. An assessment on the increased footprint and volume that the development would create is generally accepted as a basis, although there remains a subjective element in such an analysis.

5.4. The footprint of the new building (154m²) is not substantially increased from the existing building (124m²), being an increase of 24% or thereabouts. In order to achieve a good internal arrangement and living space, the first floor is however enlarged such that the cubic volume is increased. It is noted however that various other properties in the area have either been permitted significant enlargements or have undertaken them under Permitted Development rights. Although they do not apply to Burnside due solely to the age of the property, recent amendments to the Town and Country Planning (Permitted Development and Miscellaneous Amendments) (England) (Coronavirus) Regulations 2020 (SI 2020 No. 632) have given the ability to add additional storeys in the airspace to many homes by one or two additional storeys which shows that government is sympathetic to such extensions.

5.5. It is noted that in respect of application 3/2021/0496 it was not considered that the cumulative impacts of the proposed works would in any way constrain the existing

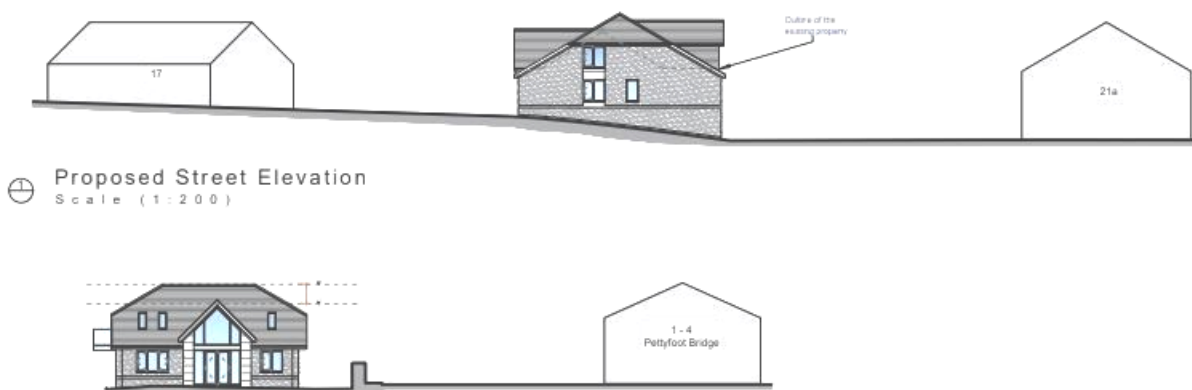
openness of the surrounding Green Belt area. In respect of the revised plans this should still be the case. The proposed extension has been extensively professionally redesigned to take account of the concerns previously raised in application Ref. 3/2021/0496, such that it is now more balanced, blending more sympathetically with the existing streetscape.

5.6. Residential amenity

- The proposal would incorporate several new windows, although the orientation of the first floor and the primary windows have been redesigned to improve the scheme such that there are no dormer windows on the side elevations and just two to the rear.
- The proposed rear first floor windows have been reduced in size but increased in number. These face towards No. 21a Knowsley Road, which contains windows on its South-eastern elevation but as previously noted, this property is located approximately 20 metres away and the new windows should not compromise the privacy of the neighbouring residents.
- The windows on the property's north-eastern side elevation which face towards the first floor windows of residential properties on Pettyfoot Bridge are reduced in size and number with only a single window with obscured glass in this facade. Given that these properties are also located approximately 20 metres away the single bathroom window would not compromise existing privacy levels.
- On the property's north-eastern side elevation which is not visible from anywhere other than from the adjoining open fields, a single large window is provided to take advantage of the views towards the open fields which form part of the adjoining Green Belt.
- The proposed roof ridge is reduced by approximately 0.6 metres from the previous application which will further reduce any limited overshadowing within the neighbouring property's rear curtilage. The modest increase in height of approximately one metre is shown in the proposed street elevation for information. Given that the nearest properties to the proposal site are located 20 metres away it is not anticipated that the proposed works would have any adverse impact upon natural light or outlook for any neighbouring residents.

5.7. Visual Amenity:

- The planning authority have previously accepted that throughout the wider area there is a variety of house types/designs which reflect the different periods that dwellings have been constructed in Wiltshire. More specifically Knowsley Road has been an area that has experienced this. A review of planning applications in the area has shown significant extensions to a number of properties both in plan and increases in ridge heights (see Appendix 1).
- The increase in the roof gable height is reduced by 37.5% in comparison with the previous application to one metre. In addition, the dormers on the side elevations have been removed. The street elevation below shows that the proposed roofline is in accordance with nearby properties and is not discordant in the street scene.



- In the property's front South east facing elevation the overly vertical and strident glazing has been completely redesigned to provide an attractive glazed entrance set down below the roof ridge which is more in proportion to the form of the building. The extent of the first floor glazing in the South-western side elevation has also been reduced substantially and in any event the windows on this elevation are not visible from any other neighbouring property.
- The photographs below taken from Google street scene in June 2021, show that whereas the property is clearly viewable from Knowsley Road, for a significant part of the year the large trees in the area soften the impact of the property.



View from North & South June 2021 (copyright: Google)



- Policy DMG1 of the Ribble Valley Core Strategy states that all development must 'be sympathetic to existing and proposed land uses in terms of its size, intensity and nature as well as scale, massing and style' and 'not adversely affect the amenities of the surrounding area'. The street scene extract from the plans above show that the proposed house will be in sympathy and appropriate to the surrounding area.

5.8. Landscape/Ecology:

- A bat survey conducted at the proposal site on 18/5/21 is still relevant and found no evidence of any bat related activity. The applicant is prepared to agree planning conditions in the event of any future planning consents being granted to ensure the protection of nesting birds.

5.9. It is envisaged that materials will reflect those of the adjoining dwellings in the area with render under a tiled roof to give a contemporary feel with design details that add interest.

6. ACCESS AND HIGHWAYS

- 6.1. The property is well placed in relation to the main public transport corridors. There are bus stops on Knowsley Road with regular services connecting the site to Clitheroe or Blackburn. Knowsley Road also carries service number 25 which connects to Clitheroe and Blackburn.
- 6.2. Knowsley Road is well located for the shops and service in the town. Provision for both cycles and cars are already provided for within the site in accordance with standards laid out in the Local plan and these will remain as part of the proposed development. The property's rear curtilage would still provide sufficient off-street parking for several vehicles and as such, the proposed works would not result in any adverse impact upon highway safety.

7. CONCLUSION

- 7.1. Section 38(b) of the Planning & Compulsory Purchase Act 2004 requires that where in making any determination under the Planning Acts, regard is to be had to the development plan,

‘the determination must be made in accordance with the plans unless material considerations dictate otherwise.’

- 7.2. The proposal does not raise any concerns with regards to residential amenity in as much that the proposed works would not lead to any significant loss of privacy, natural light or outlook for any of the neighbouring residents.
- 7.3. In relation to visual amenity the proposal has been completely professionally redesigned to incorporate the views of the planning authority to reduce the visual impact of the proposed works and to provide for a more balanced and appropriate building for the setting to improve the visual amenity of the locality.
- 7.4. The proposed development does comply with relevant development plan policies as well as the NPPF and is a form of sustainable development. There being no material considerations which would dictate otherwise, we respectfully request that planning permission be granted.

Produced by:

MacMarshalls Rural Chartered Surveyors & Planning Consultants

Hamill House

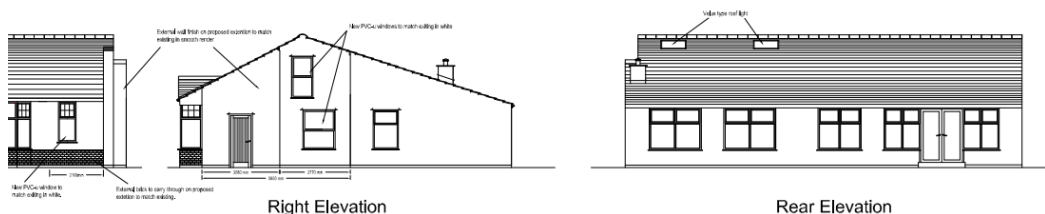
112-116 Chorley New Road

Bolton

BL1 4DH

Appendix 1 - Planning Consents in the Area that are worth consideration when assessing them against the current proposal

- 17 Knowsley Road - 3/2020/0382 - Two storey extension to side



Proposed Elevations (1:100)

- 15 Knowsley Road - 3/2010/0079/P - Proposed demolition of the existing bungalow and replacement with a detached dormer bungalow. The new build which was approved was 1 metre higher at the ridge than the existing bungalow, which was only 5.5m in height (Burnside is circa 5.9 metres in height).

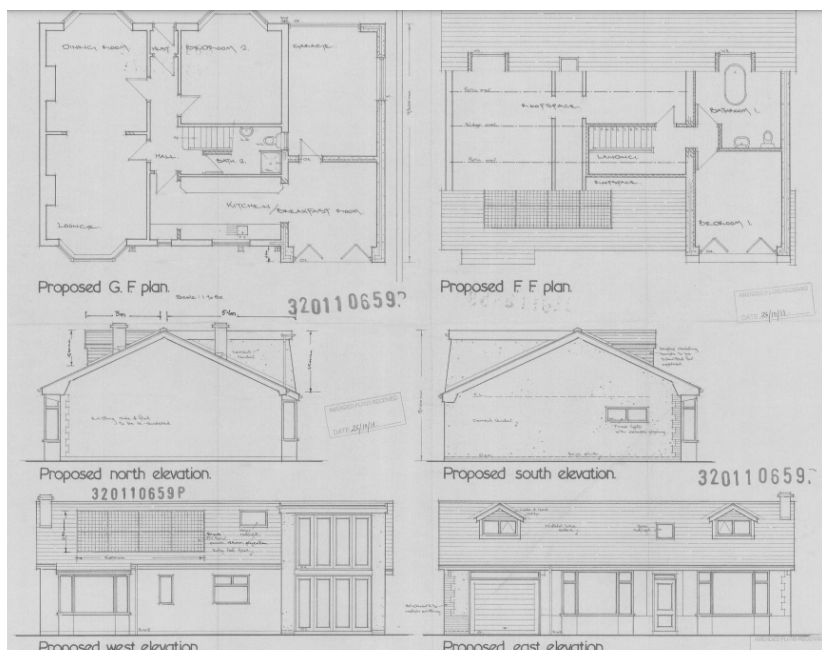


- 15 Knowsley Road - 3/2008/0368 - Proposed extension and loft conversion including dormers to front and rooflights to rear. Consent was granted to raise

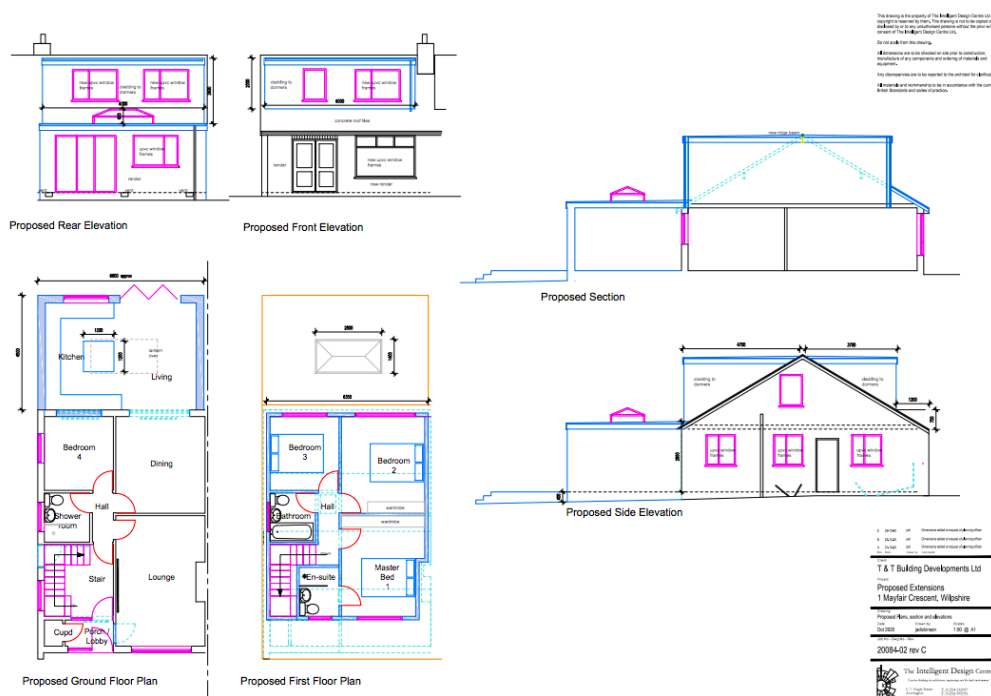
the roof height of the existing property by 0.9m, to construct a side extension and to extend the full length of the property by approx. 2.6m. Permission was also granted for two dormers to the front elevation both with approx. dimensions of 1.8m x 3.4m x 2m in height with a pitched roof.



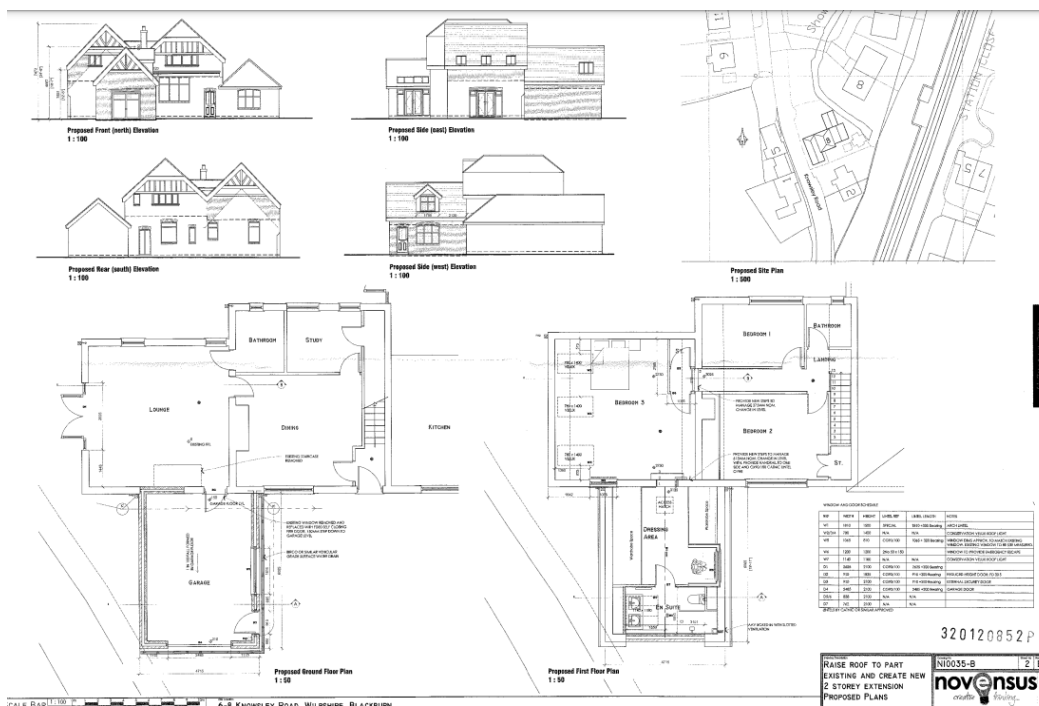
- 11 Knowsley Road - 3/2011/0659 - Proposed side extension, dormers to front and rear elevations, PV solar panels and roof lights to front and rear. The proposal was a significant extension in size which was considered to create no significant detrimental impact on nearby residential amenity nor an adverse visual impact. Also note the full length of glazing on the elevation shown.



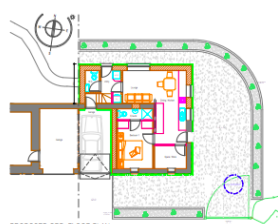
- 1 Mayfair Crescent - 3/2020/0883 - Proposed front and rear dormer extensions and single storey rear extension. Substantial increase in both plan and cubic volume.



- 3/2012/0852 - 6 - 8 Knowsley Road Wilpshire Lancashire BB1 9PX. Resubmission of above deleting overlooking window and replacing with roof lights was approved with a ridge height 7.5M.



- 3/2018/0053 - Conversion and extension of existing attached outbuilding to one new dwelling The application site occupies a visually isolated position on raised land outside of the defined settlement boundary of Wilpshire and thus is within the open countryside. The application seeks consent to convert the existing single storey stone barn into a single residential dwelling. The application proposes a single storey flat roof extension at the rear with a sedum roof and externally the building would be clad in insulation with a rendered finish.



PROPOSED GND. FLOOR PLAN



PROPOSED LOFT PLAN



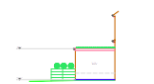
PROPOSED FRONT ELEVATION



PROPOSED SIDE ELEVATION



PROPOSED REAR ELEVATION



PROPOSED REAR RETURN ELEVATION

