

Part P
All electrical work required to meet the requirements of Part P (electrical safety) will be designed, installed, inspected and tested by a person competent to do so. Prior to completion the L.A. must be satisfied that either:-
An electrical installation certificate issued under a Competent Person Scheme has been issued, or
Appropriate certificates and forms defined in BS 7671 (as amended) have been submitted that confirm that the work has been inspected and tested by a competent person. A competent person will have a sound knowledge and experience relevant to the nature of the work undertaken and to the technical standards set down in BS 7671, be fully versed in the inspection and testing procedures contained in the regulations and employ adequate testing equipment.

Smoke alarms are required to be fixed at ground and first floor levels and interconnected. The alarm must be wired to the main supply and connected to its own fused spur, alternatively the alarm may be connected to an intruder alarm if the system is specifically designed for this purpose. A smoke detector will cover an area of 7.5m radius and a heat detector 5.3m radius, they should be fitted in accordance with BS 5839 sitting sensors within bedrooms, circulation area, head of stairways, lounge/dining rooms and roof voids. Alarms within roof voids should be fitted with a remote LED.

MAIN ROOF CONSTRUCTION
Marley Modern concrete interlocking roof tiles (smooth face) laid at a pitch of 25 degrees on standard roof trusses at 600mm centres with rarking felt laid over rafters to BS 747. Trusses to be fixed to 100 x 75mm s/w wallplate and strapped to block work with Catic type L 30 x 5mm vertical m/s straps at least one meter in length at 2 meter centres. Roof trusses are to be provided with 100 x 25mm diagonal wind bracing at 45 degrees to the 100 x 25mm longitudinal wind bracing. Roof space to be ventilated along eaves with Marley over fascia strip ventilators ref. 22400. Manufacturer's specification should be complied with at all times.

SUSPENDED TIMBER FLOOR CONSTRUCTION
Floor to be constructed of 25mm thick T&G floor boards with a density of 15kg/m² on 220 x 50mm ganged s/w floor joists (grade S/C3) at 400mm centres. Joists spanning onto party wall are to be fixed with Catic joist hangers built into brickwork. Ceiling to be 12mm plasterboard nailed to underside of joists with plaster skim finish. Lateral support to be provided at 2m centres with galv-voided m/s straps type L 30 x 5mm extended across 3 joists. Catic m/s herring bone strutting ref. HRB6, is to be provided along mid-span of floor joist, last joist to be packed off the brick/blockwork.

TOP WATER DRAINAGE
All top water drainage are to be 100mm underground PVC-U or Superseal with flexible joints piping to be laid at a minimum fall of 1:40. Drains passing under the building are to be protected by surrounded with 100mm (min) granular material and where passing through a wall a suitably sized lintel is to be provided over the opening ensuring that a 50mm space is maintained around the pipe. Openings must be masked to prevent fill. All underground drainage to comply with BS 8301 (1985), new gullies to be provided with rodding access, separate drainage systems are to be combined at the last manhole depending on existing drainage systems.

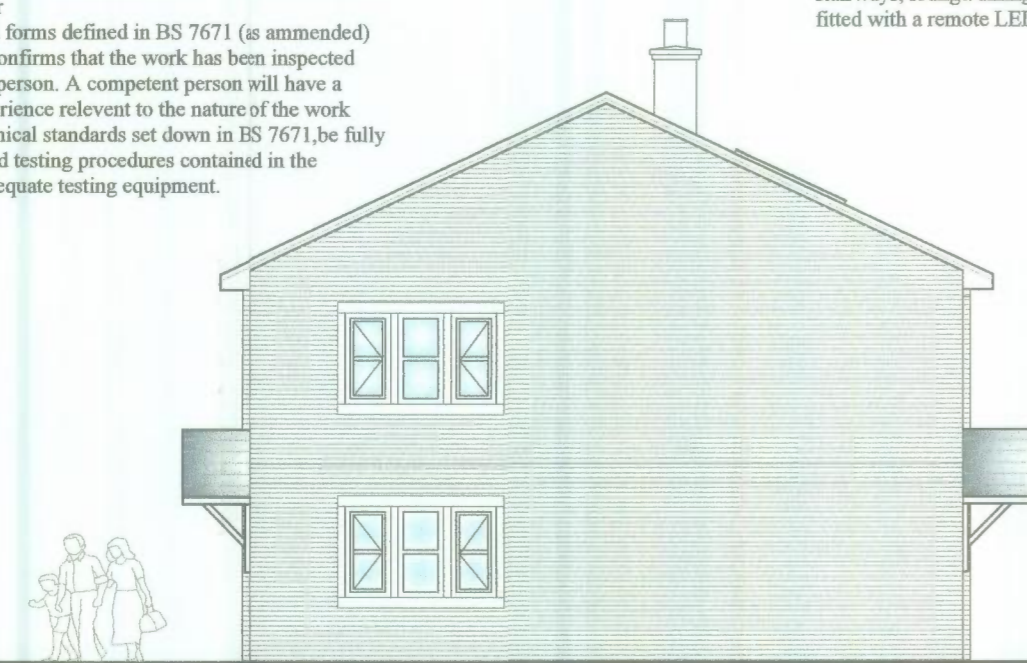
WASTE PIPES
All waste pipes are to be a minimum of 38mm dia. to wash hand basins and sinks, pipes are to be fitted with 75mm deep seal traps or anti-vac traps if connected directly to a soil and vent pipe. 40mm waste pipes are to be provided to both and showers. Soil and vent pipes are to be 100mm dia and terminated 1m above any opening windows adjacent to the stack, a suitable bird cage is to be fitted to the top of the stack. Alternatively an air admittance valve may be used above the last stack connection. All installations are to comply with the Approved Document Part H and BS 5572 (1978).

INTERNAL PARTITIONING
All non-load bearing partitions are to be constructed of 100 x 50mm s/w studding at 450mm centres on 100 x 75mm sole plate fixed to the floor. Partition to be insulated with Rockwool bats for sound insulation and covered with 12.5mm thick plasterboard with a density of 18kg/m² and skim to both sides.

GROUND FLOOR CONSTRUCTION (SOLID)
New ground floor to be construction, clean stone well compacted to form levels with sand bedding, 120g gauge polythene DPM to be turned up at the edges and linked in to the DPC. Landscape Kooltherm K3 board 150mm thick with a top layer of 1000 gauge DPM membrane, slab 200mm concrete C25 with one layer of A142 anti clanking steel reinforcement to place 50mm from the top of the slab.
U value 0.22

INSULATION
Insulation of the roof space is to be 100mm thick Rockwool mineral wool roll bats laid between ceiling joists over 12.5mm foil backed plasterboard, with a further 250mm fibreglass laid across-to give a total thickness of 350mm. The insulation is to be extended over the timber wall plates off the internal wall maintaining a minimum 50mm air gap between the insulation and the rarking felt to ensure ventilation of the roof space.

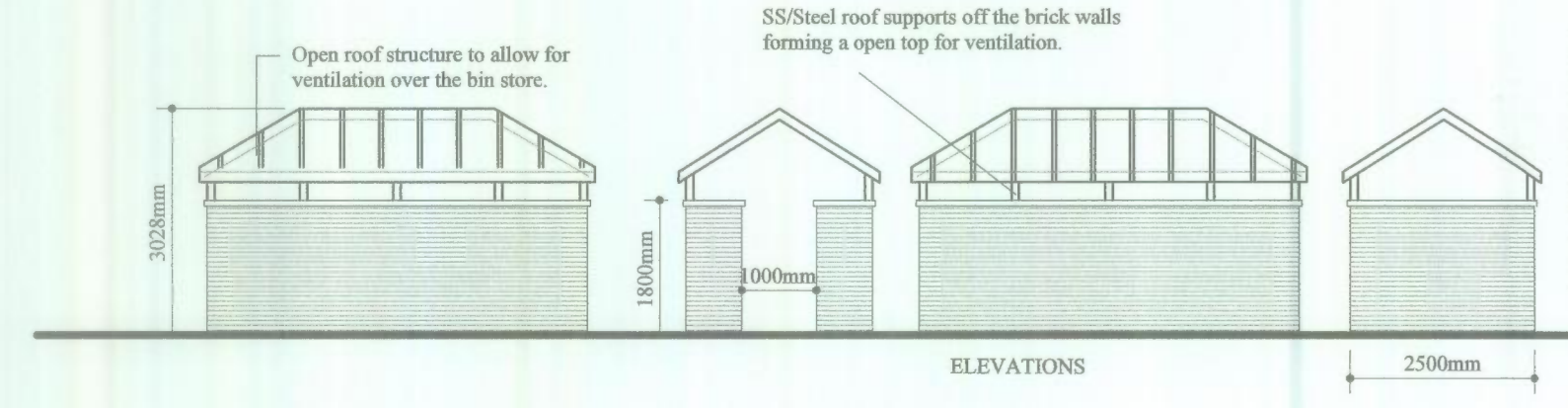
STAIRCASE
The new staircase shall comply with Part K of the Approved Document. The maximum rise and going for a private stair shall be any rise between 155mm and 220mm used with any going between 245mm and 260mm or any rise between 165mm and 200mm used with any going between 223mm and 300mm. The pitch of the staircase shall be no greater than 42 degrees, with a minimum headroom of 2m. The handrail is to be a minimum of 900mm high. Balustrades are to be 1m high and capable of resisting a horizontal force of at least 0.36kN/m for each meter length. Maximum openings in the balustrades shall be no greater than 100mm and rails are to be vertical so as not to allow children to readily climb the guarding. Guarding to external balconies and roof edges to be a minimum of 1100mm high and resist a horizontal force of 0.74kN/m.



PROPOSED SIDE ELEVATION TO ST PAUL'S TERRACE

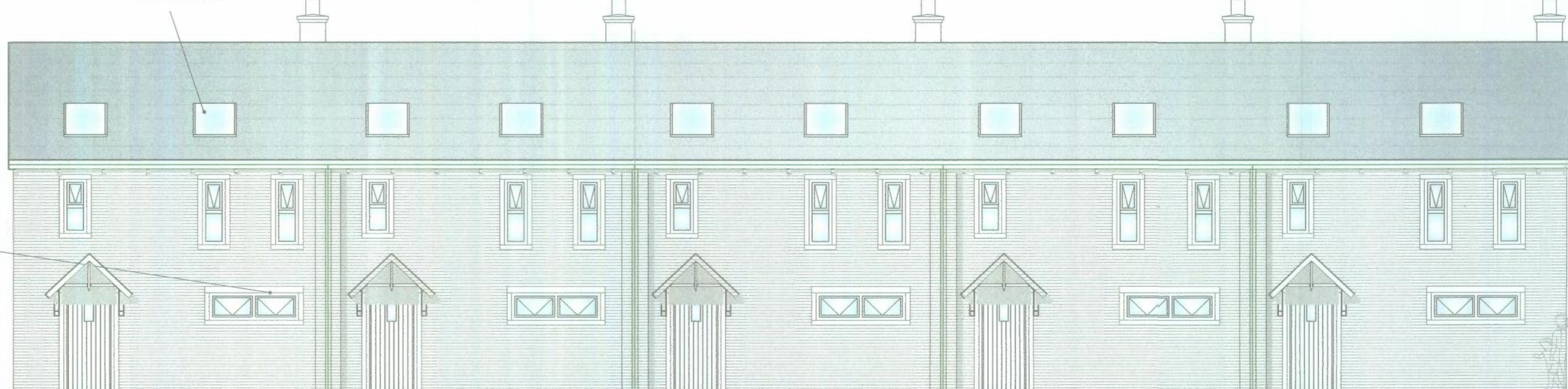
PROPOSED SIDE ELEVATION TO CLUB

PROPOSED FRONT ELEVATION

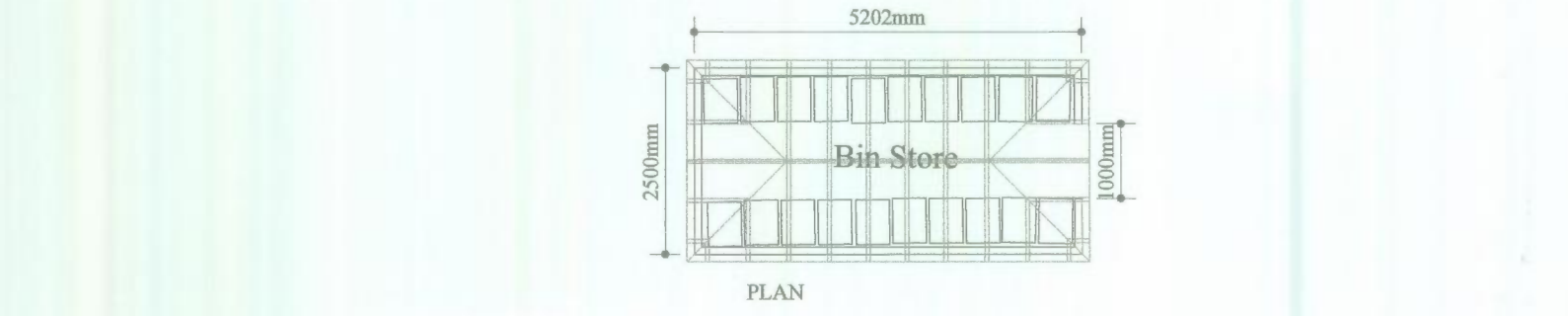


EXTERNAL WALL CONSTRUCTION
New external cavity wall to be constructed of 102mm face brickwork to match the adjacent properties, 100mm cavity insulation bats within 100mm cavity (Drytherm), 125mm concrete block with lightweight plaster finish and skim. Catic B82 stainless steel cavity wall ties to be spaced 900mm horizontally and 450mm vertically to comply with BS 1243 (1978). Cavity to be closed along eaves and around all openings with Catic CC50 insulated cavity closers positioned horizontally and vertically to all openings. All openings are to be provided with Catic lintels with a minimum end bearing of 150mm at both ends. Brickwork used below DPC to be constructed in Class B engineering or trench block may be used, the cavity is to be filled within 200mm of the DPC with weak mix concrete. All new cavity walls are to be cut through to existing cavities and be continuous.

INTERNAL PARTITIONING - SOLID FLOOR
Partition walls constructed of concrete floor slab are to be 100mm thick lightweight blocks, any internal load bearing partition walls are to be constructed from 100mm solid concrete block and taken down to strip foundation or constructed on reinforced concrete slabs.

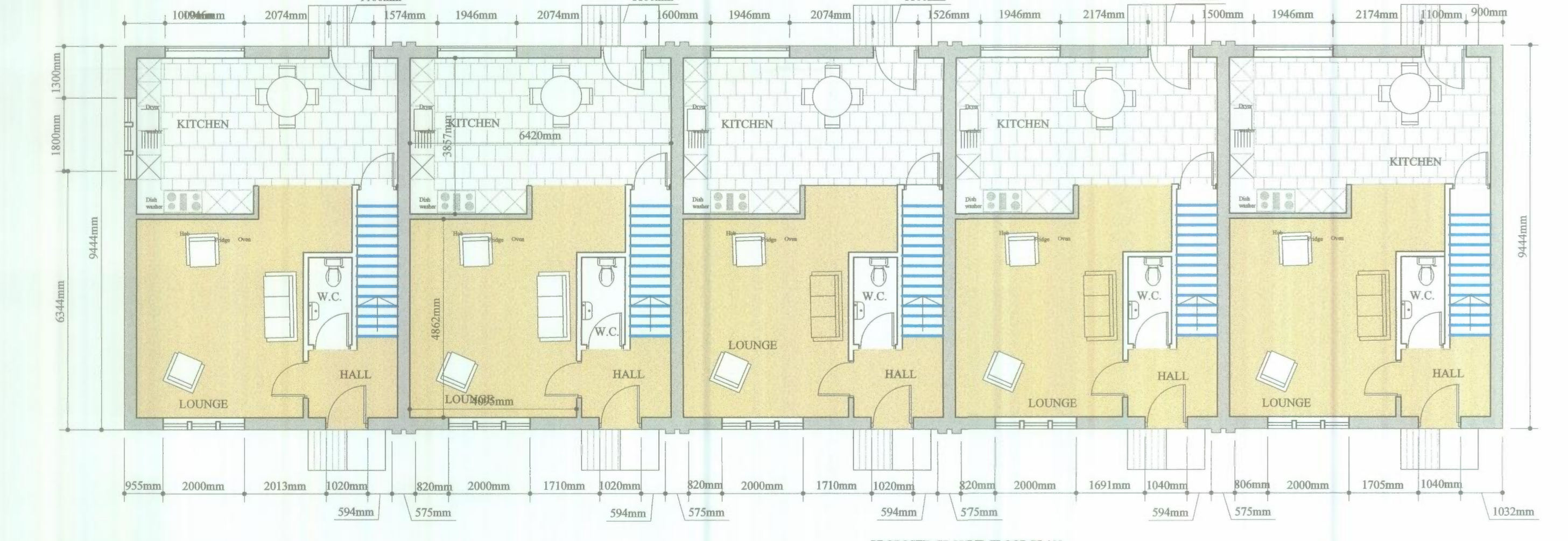


PROPOSED REAR ELEVATION

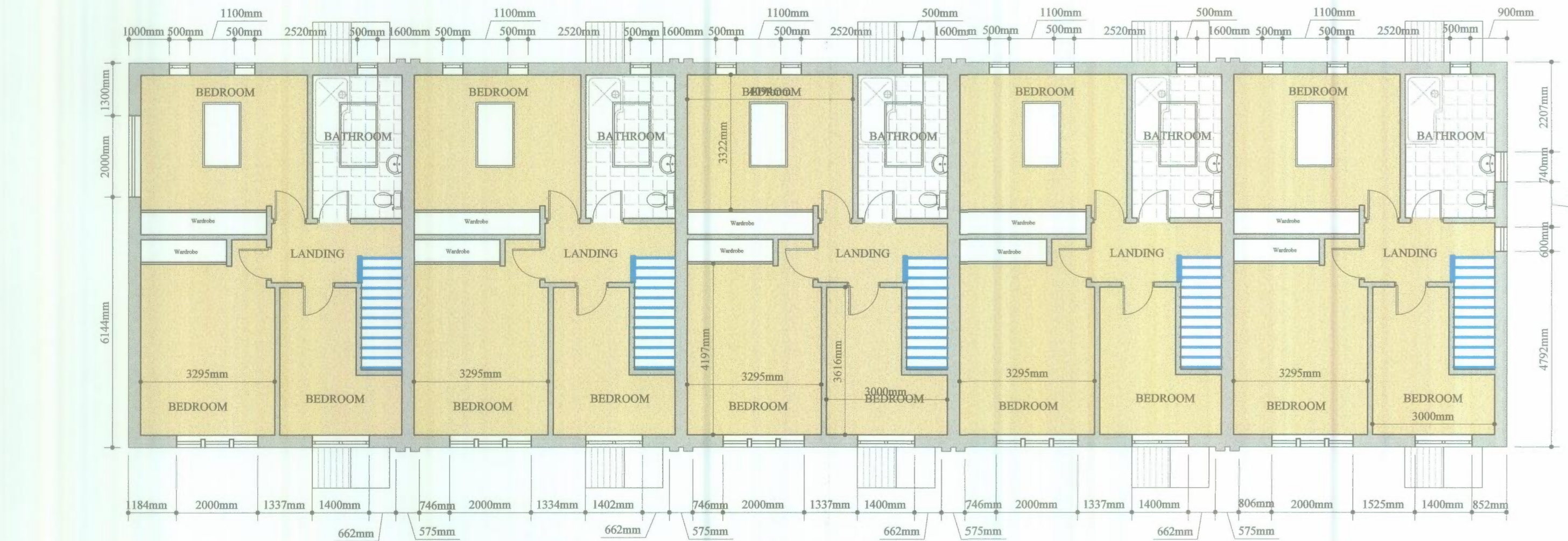


HEATING
Heating to be provided by low pressure radiators with a fan assisted combi boiler. The installation is to be fitted in accordance with the Gas Regulations with a CORGI registered fitter.

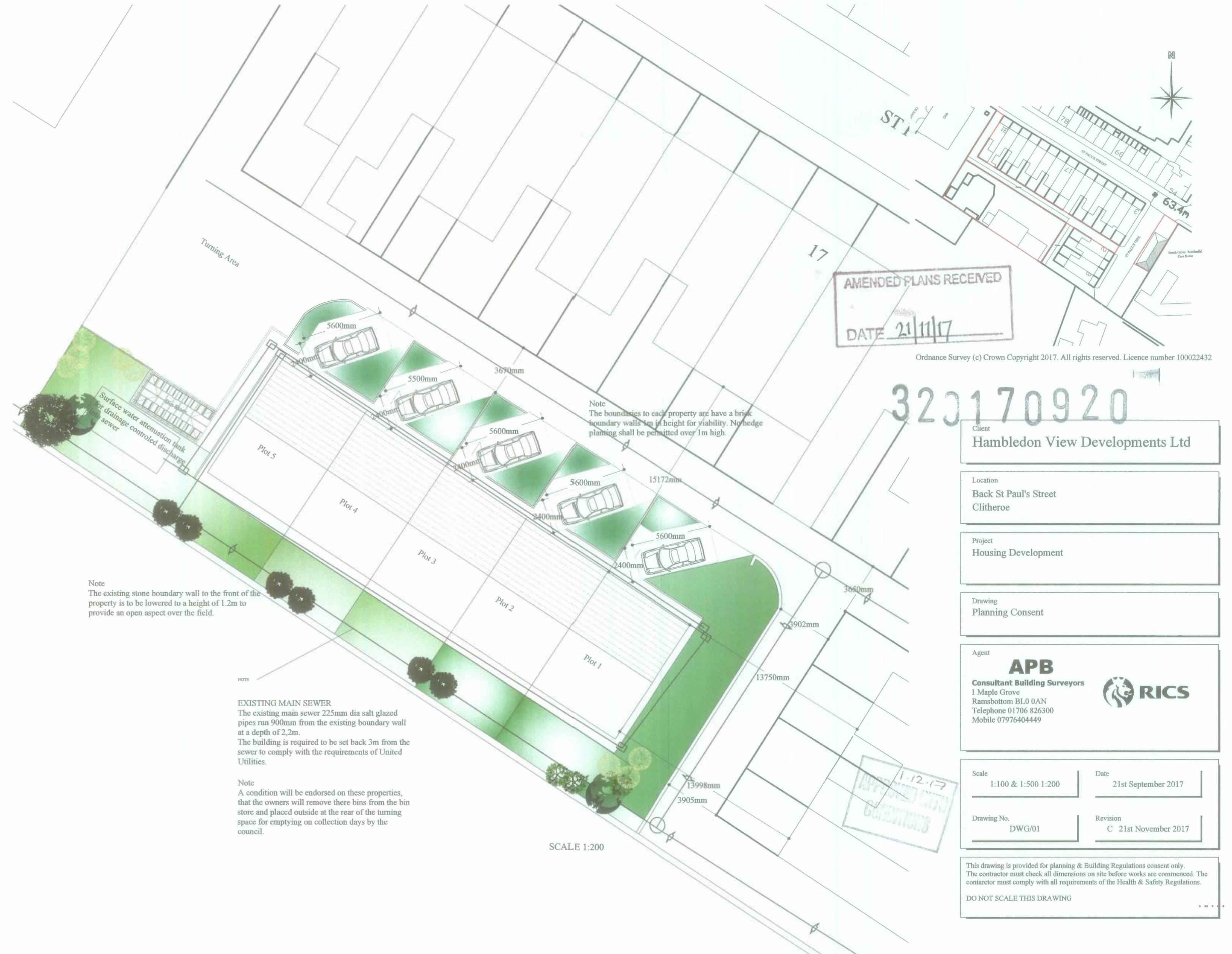
UNVENTED SYSTEMS
All unvented systems are to have an expansion pipe piped to the external elevation and extended down to floor level.



PROPOSED GROUND FLOOR PLAN



PROPOSED FIRST FLOOR PLAN



EXISTING MAIN SEWER
The existing main sewer 225mm dia salt glazed pipes run 900mm from the existing boundary wall at a depth of 2.2m. The building is required to be set back 3m from the sewer to comply with the requirements of United Utilities.

Note
A condition will be endorsed on these properties, that the owners will remove there bins from the bin store and placed outside at the rear of the turning space for emptying on collection days by the council.

Client: **Hambleton View Developments Ltd**

Location: **Back St Paul's Street Clitheroe**

Project: **Housing Development**

Drawing: **Planning Consent**

Agent: **APB Consultant Building Surveyors** and **RICS**

Scale: **1:100 & 1:500 1:200** Date: **21st September 2017**

Drawing No: **DWG/01** Revision: **C 21st November 2017**

This drawing is provided for planning & Building Regulations consent only. The contractor must check all dimensions on site before works are commenced. The contractor must comply with all requirements of the Health & Safety Regulations. DO NOT SCALE THIS DRAWING