



Grace Arboriculture
THE TREE SPECIALIST

Tree Report for Proposed Detached Dwelling

at

Woodacre Cottage

Fleet Street Lane

Ribchester

PR3 3ZA

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Contents

Introduction	1
1. Site Visit and Details.....	1
2. Arboricultural Impact Appraisal.....	1
3. Preliminary Arboricultural Method Statement.....	3
4. Ecological Constraints	4
5. Assumptions and Legal Limitations.....	4
Appendix 1 – Tree Survey Schedule.....	6
Appendix 2 BS 5837 – Tree Categorisation.....	8
Appendix 3 – Examples of Tree Protection Barriers	9
Appendix 4 – Special surfacing specification within the RPA illustration	10
Appendix 5 – Site Plan	11
Appendix 6 – Photographs.....	12

Introduction

Grace Arboriculture was instructed by Alex Marshall to survey trees that could be affected by the proposed development of a detached dwelling at Woodacre Cottage, Fleet Street Lane, Ribchester PR3 3ZA and to prepare the following information:

- A record of the relevant trees to include basic data and an assessment of their condition
- An evaluation of the impact of the proposal on the trees and any impact on local character and amenity
- A preliminary arboricultural method statement detailing measures to protect and manage any retained trees

1. Site Visit and Details

- a) The site visit and collection of data was on 11th July 2022. The weather conditions were clear skies and light breeze. All observations were from ground level and where necessary, some measurements were estimated.
- b) The site is a private property and its respective driveway and gardens, in a semi – rural area between Longridge and Ribchester. There is a large grass area to the southeast of the site where the detached property is proposed to be located. The site boundary for the proposal consists of a hawthorn hedge along the pavement to the northeast, stock fencing and rural/agricultural land to the south and east, and the dwelling of Woodacre Cottage to the northwest. The immediate surroundings of the site are rural/agricultural land, private dwellings and a restaurant.
- c) Trees that may be impacted by the proposal and the construction process were inspected, and information on species, height, diameter, and condition were collected. Each tree was given a categorisation in accordance with the recommendations in the BS 5837: 2012 – Trees in Relation to design, demolition, and construction. The tree survey schedule can be found in appendix 1.
- d) The BS 5837 recommends that the trunk diameter measurement for each tree is used to calculate the root protection area (RPA). This can then be used to identify the impact of the development on the trees and therefore which trees need to be removed, which trees may need work within the RPA and any exclusion zones to protect RPAs of trees to be retained with barriers (see appendix 3).

2. Arboricultural Impact Appraisal

- a) The impact of the proposed development on the trees was assessed by the extent of disturbance that would occur in the RPAs, the encroachment of structures and the impact of any plant and machinery that would be used in the process. All the trees that may be affected by the development are listed in table 1.

Table 1: Trees that may be affected by the development

Impact	Reason	Trees	Category Rating
Retained trees that may be affected by disturbance to RPAs	Removal of existing surfacing	T1	A1
	Installation of new structures/drains/landscaping	T2	A1
		G1	C
Retained trees to be pruned to facilitate proposal	To facilitate access, aid construction, improve lines of site	T1	A1
		T2	A1
Removal of hedge section for proposed entrance	Proposed access to dwelling	H1	

b) Retained trees that may be affected by disturbance to RPAs

T1 and T2 are both situated in the hawthorn hedge along the north boundary of the site. Both trees are visible from inside and outside the site, they are both mature English oak trees. The proposed plans show that the driveway to the site is to be installed between these two trees and the outer extent of both trees RPAs could be affected by construction techniques, new surfacing or soil compaction from vehicles, plant, and machinery.

G1 is a group of young and semi - mature trees to the west of the proposal. G1 consists of mainly birch, with rowan, sycamore, laurel, and beech present also. The RPAs of the group would not be directly affected by the construction of the current proposal but could be impacted by soil compaction from plant and machinery or damage from construction materials/chemicals.

Any works that encroach into the RPAs of these trees should be subject to the details laid out in section 3 of this document.

c) Retained Trees to be Pruned to Facilitate Proposal

T1 and T2 both have lower branches that hang from 1m above ground level on the southern sides of their stems that would need pruning to a minimum of 2.4 meters to enable vehicular access and improve lines of sight for access and egress to the proposal.

d) Section of Hawthorn Hedge to be Removed

There is a section of hawthorn hedge between T1 and T2 that would need to be removed to facilitate the entrance to the proposed dwelling and improve sight lines for access and egress.

3. Preliminary Arboricultural Method Statement

- a) The plan in appendix 5 is based on information entirely provided by the client. It shows the relevant trees, numbered, with RPAs calculated. The precise location of any protective measures should be agreed before the commencement of any demolition or construction activity starts.
- b) The proposal shows the driveway and entrance to the finished dwelling between T1 and T2. During construction it would be beneficial to have a separate construction site entrance to minimise disturbance to the RPAs, perhaps discuss access from the neighbouring farm field. If this is not possible, temporary ground protection capable of supporting any traffic entering or using the site should be installed to prevent compaction of the underlying soil. For example, for pedestrian – operated plant up to a gross weight of 2t, proprietary inter – linked ground protection boards placed on top of a compression resistant layer (e.g. 100mm depth of woodchip), laid on top of a geo – textile membrane. Further guidance on ground protection measures can be found in the BS 5837: Section 6.
- c) The outer sections of the RPAs of T1 and T2 will be affected when the surfacing for the driveway of the proposed dwelling access is constructed. Any work that may encroach into the RPAs must be done with care. On this site, if working near or within the RPAs of T1 or T2 is necessary, special precautions or specific construction techniques should be undertaken. Adverse impacts should be minimised following specific surfacing techniques (See appendix 4).
- d) The ability of a tree to tolerate some disturbance and alteration of its growing conditions depends on its specific circumstances. Limited manual excavation in these RPAs may be acceptable and should be done by hand or compressed air (airspade). Any excavations in the RPAs are subject to justification and follow the guidance laid out in the BS 5837: Section 7.
- e) Barriers should be installed to protect the RPAs of T1 and T2 and G3. The approximate location for the barriers is shown on the plan in appendix 4 along with illustrative guidance in appendix 3. The precise location should be agreed before any development activity starts.
- f) Details of services were not provided for this report. It is sometimes difficult to establish the precise detail until construction has commenced. If possible, existing services should be used to keep any new services outside of the RPAs. If new services or upgrading existing services are required within any of the RPAs, then care must be taken to minimise any potential disturbance. If services need to be installed within the RPAs, then written approval from the council should be obtained before works are carried out.
- g) Any site storage areas, cement mixing, equipment and vehicles must be stored outside of any RPAs and where there is any risk of polluted water runoff into RPAs, heavy duty

plastic sheeting and sandbags/spill kits should be used to contain spillages and prevent contamination.

- h) A pre – commencement site meeting between the site manager, arboricultural consultant and a council representative should be held before any work begins. This meeting will detail the programme for tree protection.
- i) Any recommendations are proposed on the basis that they are advised and undertaken by a qualified arboricultural contractor working in accordance with industry best practice e.g. BS3998:2010 'Recommendations for Tree Work'.

4. Ecological Constraints

- a) The Wildlife and Countryside Act (1981), as amended by the Countryside and Rights of Way Act (2000), provides statutory protection to birds, bats and other species that inhabit trees. These could impose significant restraints on the use and timing of access to the site in addition to any of the recommendations made in this report

5. Assumptions and Legal Limitations

- a) Any legal description provided to the inspector/surveyor is assumed to be correct. Any titles and ownerships to any property are assumed to be good and marketable. No responsibility is assumed for matters legal in character. Any and all property is appraised or evaluated as though free and clear, under responsible ownership and competent management
- b) It is assumed that any property is not in violation of any applicable codes, ordinances, statutes, or other governmental regulations or statutes
- c) Care has been taken to obtain all information from reliable sources. All data has been verified insofar as possible; however, the consultant can neither guarantee nor be responsible for the accuracy of information supplied by other parties.
- d) The inspector/surveyor shall not be required to give testimony or to attend court by reason of this report unless subsequent contractual arrangements are made.
- e) Loss or alteration of any part of this report invalidates the entire report.
- f) Possession of this report or a copy thereof does not imply right of publication or use for any purpose by any other than the person to whom it is addressed, without the prior expressed written or verbal consent of the inspector/surveyor.

- g) Neither all or any part of the contents of this report, nor copy thereof, shall be conveyed by anyone, including the client, to the public through advertising, public relations, news, sales or other media, without prior expressed written or verbal consent of the inspector/surveyor – particularly as to value conclusions, identity of the inspector/surveyor, or any reference to any professional society or institute or to any initial designation conferred upon the inspector/surveyor as stated in his qualification.
- h) Approval for statutory designations such as TPO, SSSIs or trees in conservation areas is not the responsibility of Grace Arboriculture and any authorisation required for recommended works such as felling licenses must be obtained by the client, unless otherwise agreed with Grace Arboriculture in writing.

Appendix 1 – Tree Survey Schedule

Tree Number	Species	Height (m)	Dbh (mm)	Crown Spread	Age	Condition	Comments	Category Rating
T1	English Oak	9	700	N - 6 S - 8 E - 6 W – 6	Mature	Good	Minor deadwood. Primary union at 2m obscured by Ivy. Cannot assess thoroughly at base and stem.	A1
T2	English Oak	10	720	N - 6 S - 9 E - 7 W – 7	Mature	Good	Minor deadwood. Primary union at 3m. Ivy obscures base and stem.	A1
G1	Birch Sycamore Rowan Beech Laurel	Av. 4	Av. 170	Av. 3m	Young to Semi mature	Fair	Planted area with mixed species, laurel forms outer extent of hedgerow	C
H1	Hawthorn Hedge	2	N/A	N/A	Mature	Good	Hedge on boundary	N/A

Key

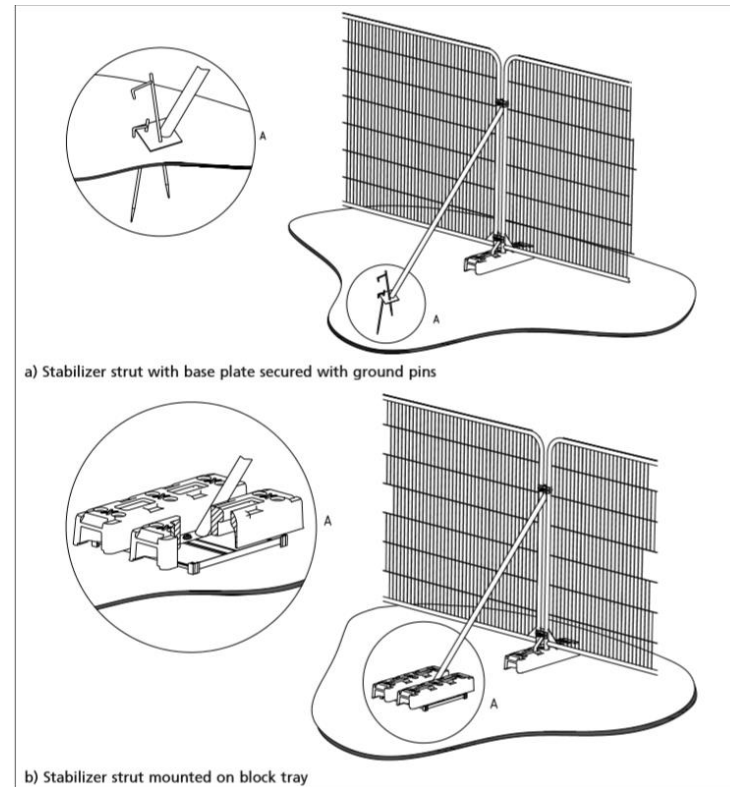
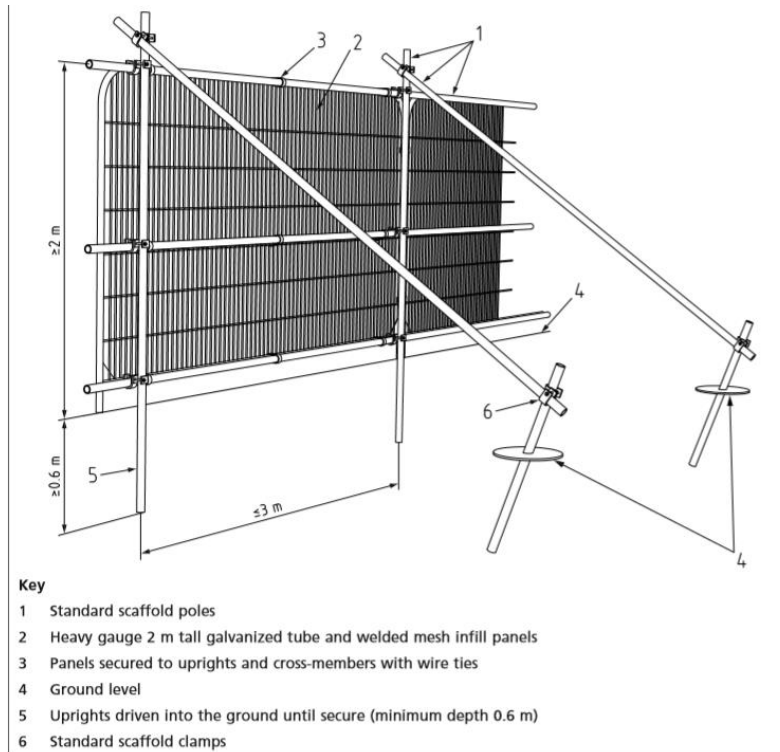
Code	Physiological	Structural
Good (G)	Generally, in good health typical of the species, needing little or no attention. Likely shows good vitality with sufficient leaf cover/size appropriate to its species and age. The tree will likely have deadwood twigs and minor deadwood	Few minor defects of little overall significance (or rectifiable) such as physical damage or suppressed branches. Showing no adverse risk of failure.
Fair (F)	A tree showing signs of stress such as dieback of branches, crown thinning, discolouration of leaves, typical leaf/branch pests and disease. Tree may recover given time or appropriate plant health care recommendations. Unlikely to be a significant priority in terms of health and safety, although failure to maintain or improve tree health could lead to decline	A tree that may require work to remove or mitigate a defect. This could include a major defect in an early stage or minor defects such as; major deadwood, co – dominant stems, weaker branch attachment, storm damage/limb failure, wounds, cavities or decay. Tree may improve the condition of a defect given time or recommended works

Code	Age	Description
Y	Young	Recently planted or establishing tree that could be transplanted with specialist equipment. Less than 150mm diameter at 1.5m
SM	Semi - Mature	An established tree, but with some growth to make before reaching its potential maximum size. A tree within its first third of its life span
M	Mature	A tree that is reaching its ultimate potential height, whose growth rate is slowing down but if healthy will still increase in diameter and crown spread. A tree in its second third of its life span.
FM	Fully Mature	Full expected height and crown with limited potential for any significant increase in size. A tree within its final third of its lifespan.
OM	Over - Mature	A declining or senescent tree within the final third of its life span. Possibly also containing sufficient structural defects with safety and or duty of care implications.
D	Dead	Tree is dead, its age up until death is of no significance

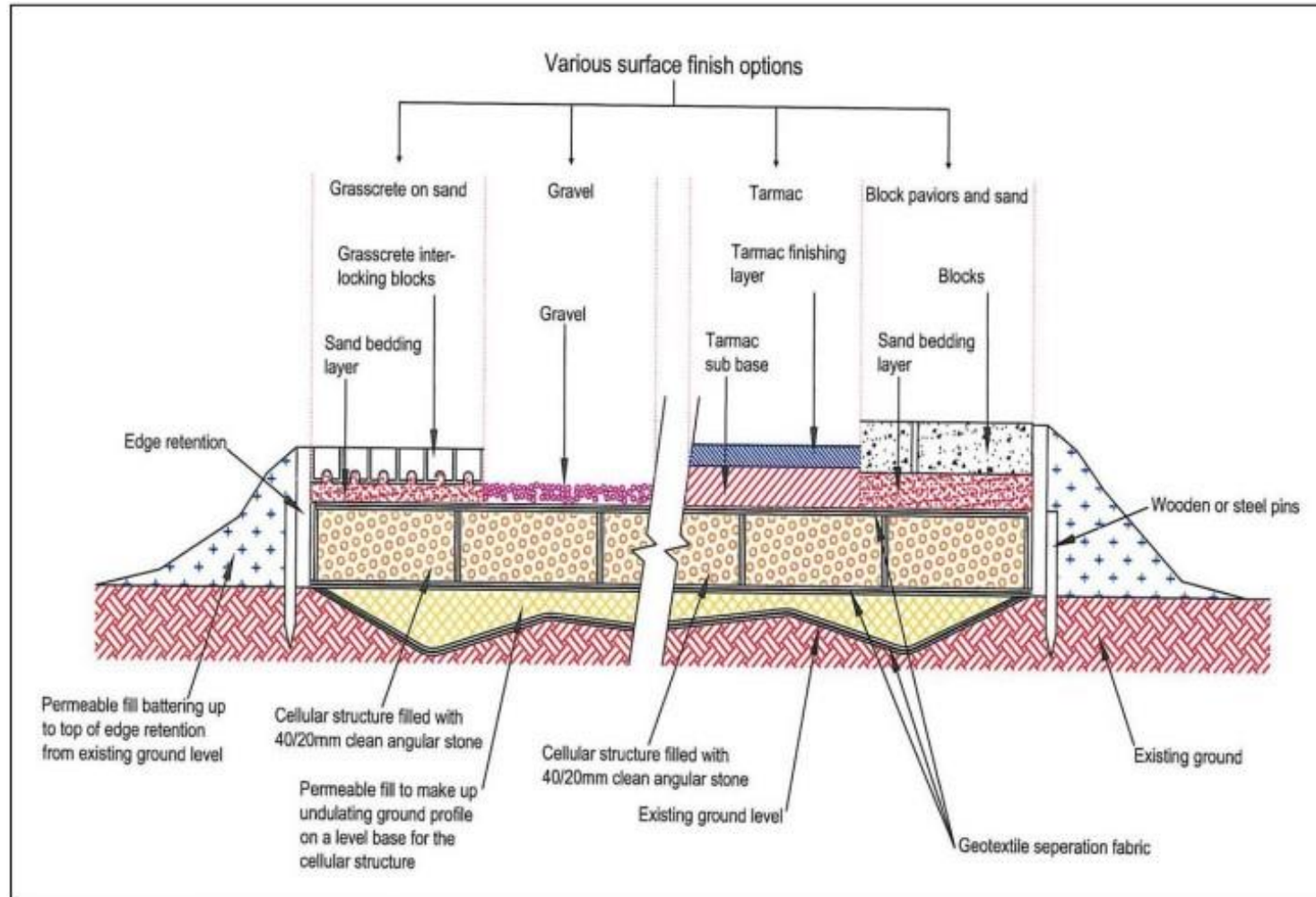
Appendix 2 BS 5837 – Tree Categorisation

Category and definition	Criteria (including subcategories where appropriate)		
Trees unsuitable for retention (see Note)			
Category U Those in such a condition that they cannot realistically be retained as living trees in the context of the current land use for longer than 10 years	<ul style="list-style-type: none">Trees that have a serious, irremediable, structural defect, such that their early loss is expected due to collapse, including those that will become unviable after removal of other category U trees (e.g. where, for whatever reason, the loss of companion shelter cannot be mitigated by pruning)Trees that are dead or are showing signs of significant, immediate, and irreversible overall declineTrees infected with pathogens of significance to the health and/or safety of other trees nearby, or very low quality trees suppressing adjacent trees of better quality <p><i>NOTE Category U trees can have existing or potential conservation value which it might be desirable to preserve; see 4.5.7.</i></p>		
	1 Mainly arboricultural qualities	2 Mainly landscape qualities	3 Mainly cultural values, including conservation
Trees to be considered for retention			
Category A Trees of high quality with an estimated remaining life expectancy of at least 40 years	Trees that are particularly good examples of their species, especially if rare or unusual; or those that are essential components of groups or formal or semi-formal arboricultural features (e.g. the dominant and/or principal trees within an avenue)	Trees, groups or woodlands of particular visual importance as arboricultural and/or landscape features	Trees, groups or woodlands of significant conservation, historical, commemorative or other value (e.g. veteran trees or wood-pasture)
Category B Trees of moderate quality with an estimated remaining life expectancy of at least 20 years	Trees that might be included in category A, but are downgraded because of impaired condition (e.g. presence of significant though remediable defects, including unsympathetic past management and storm damage), such that they are unlikely to be suitable for retention for beyond 40 years; or trees lacking the special quality necessary to merit the category A designation	Trees present in numbers, usually growing as groups or woodlands, such that they attract a higher collective rating than they might as individuals; or trees occurring as collectives but situated so as to make little visual contribution to the wider locality	Trees with material conservation or other cultural value
Category C Trees of low quality with an estimated remaining life expectancy of at least 10 years, or young trees with a stem diameter below 150 mm	Unremarkable trees of very limited merit or such impaired condition that they do not qualify in higher categories	Trees present in groups or woodlands, but without this conferring on them significantly greater collective landscape value; and/or trees offering low or only temporary/transient landscape benefits	Trees with no material conservation or other cultural value

Appendix 3 – Examples of Tree Protection Barriers



Appendix 4 – Special surfacing specification within the RPA illustration



Appendix 5 – Site Plan



Appendix 6 – Photographs



T1



T2



T1 and T2 in relation to hawthorn hedge section



G1