

DESIGN & ACCESS STATEMENT

Project: Proposed Development of 8 No. Detached Residential Dwellings at Land adjacent to The Ferns, Northcote Road, Langho BB6 8BG

Client: Oaktree CDM Ltd

Job No: 2203

Date: April 2022

Revision: None

1. Type of Application

This is a Full Planning application for Residential Development

2. Location of Proposed Development

Land adjacent to The Ferns
Northcote Road & Whalley Road
Langho
Nr. Blackburn
BB6 8BG

3. Description of Proposed Development

Proposed residential development of 8 No. Detached Residential Dwellings on a site previously not developed.

4. Date of Preparation

26th April 2022

5. Date of any Amendments

None to date

6. Applicant

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7. Agent

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8. Development

The application seeks full planning consent for the development of 8 no. detached 2 storey dwellings on land adjacent to The Ferns, Northcote Road.

The application site is unusual in shape with irregular boundaries to other residential properties on Northcote Road. All boundaries are established and will be retained as existing where possible. The access road will be established from Northcote Road and trees and screening maintained to front onto Whalley Road to the south and east of the site.

The development aim is to intensify residential development to the north of Langho village within easy reach of the Northern Rail at Langho station. Redevelop and change of use of the site for residential use and propose the construction of 8 No. dwellings consisting of principally 2 storey in scale and detached plots. Our development will complement the success of the adjacent residential development off Longsight Road which has proven to be a popular and modern development of residential properties.

9. Site & Building Use

The development will be for a total of 8 dwellings, incorporating 2 no. minimum in-curtilage parking spaces per dwelling. Private rear gardens will be provided with bin storage area to the side of properties. Access will be provided to the front of the existing development site as per our site plan drawing with access and 'location' taken from Northcote Road to the west of the site and retaining the existing dwelling at The Ferns, Northcote Road which allows for access road to be formed from Northcote Road and provides a new footpath and service strip to access all plots.

The principal access road passing through Langho is the A666 from Blackburn through Langho and joining with the A59 Trans-Pennine road, north of Langho providing access between Samlesbury to the west and Skipton to the east (North Yorkshire), with many villages of local importance within easy reach by car or public transport, including Ribchester known for its great history of Roman settlement.

Langho is a village in its own right and has a wealth of amenities and the advantage of its own railway station providing accessibility to the North West, North and even North Yorkshire venues.

10. Site Description

10.1 The site extends to approximately 0.416 ha and is located off Northcote Road to the North of Langho village centre and within a predominantly residential area. To the north, east and west of the site there are existing residential properties in a mix of styles, age of development and varying types of properties. A little further to the west is the new Northcote development of properties with its access from Longsight Road A59.

The site has street frontage to Northcote Road. The site is located in a semi rural location.

Surrounding properties are generally single storey in nature with dark grey and slate roofs, with elevations of stone or facing brickwork or render, some properties are 2 storey or others

converted with room in roof dormers. The local vernacular can be described as “mixed residential”.

To the west of the site located off Northcote Road, the residential properties remain single storey detached and semi-detached in layout and feature a mix of brickwork and rendered elevations.

10.2 The application site comprises a large open plot adjacent to The Ferns detached residence, principally single storey built of stone. A substantial detached dwelling. The site covers approximately 0.416 ha and has access directly from Northcote Road, off the A666 Whalley Road.

The North/East and Eastern edges of the site are covered in trees densely grouped and provide good screening to the A59 Whalley Road, the principal trunk road in to Langho village.

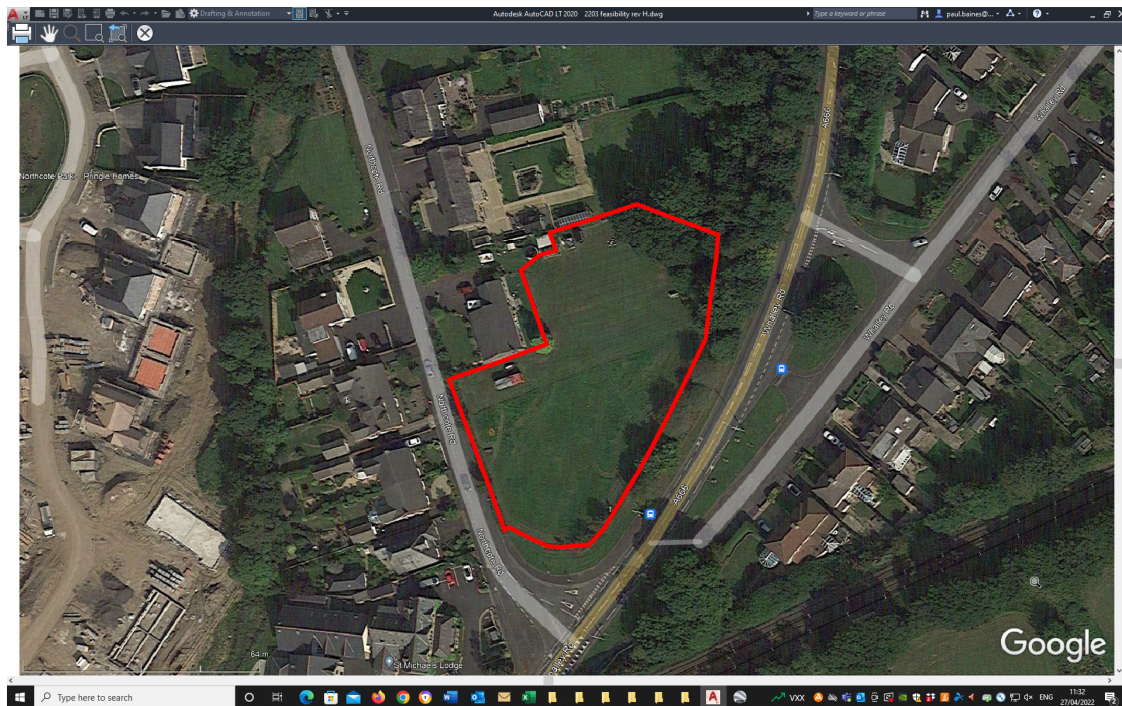
Our site development plan looks to retain all quality trees and preserve the screening and maturity of the site at its boundaries. This aspect is dealt with by DEP Landscape Architecture and their tree report attached with our application.

The site is within the defined Urban Boundary and is considered to be a green field site (not previously developed land) in accordance with the definition of previously developed land contained within the framework.

There is no planning permission on this site.

10.3 Vehicular access is proposed directly off Northcote Road to the west of the site and there is a pedestrian footpath that we can extend into the site to serve all dwellings.

Google Image



11. Layout & Design

The layout proposed represents the most economical use of the site. The off-street parking will cause minimal disruption to the adjacent site uses. Plot 1 and 8 will flank the entrance roadway and the principal elevations will front the site. Plot 7 will again face the accessway to complement the street scene. Rear boundaries to Plots 1 to 7 will be set inside the site to retain the mature trees and natural shrubbery to provide adequate screening of the site.

The access road and turning head will comply with refuge and fire pump vehicles and the private access driveway will provide adequate turning and access for cars and refuse vehicles etc.

Oaktree Developments aim to achieve high quality design in their properties. They focus on smaller hamlet style developments and seek to promote better spaces to live, that function well and be visually attractive with good architecture, layout and effective landscaping, respecting the site, its features and local vernacular, sympathetic to the local character of the surrounding area.

The site will feature railings and a sense of "gated" enclosure that will promote a safe and secure site.

The core strategies of general planning guidance are observed and promoted through good design as there is a lack of SPG available by Ribble Valley Borough Council LPA.

12. Scale of Development

The impact of the proposed development will be minimal on the street scene viewed from Northcote Road and Whalley Road. We have orientated plots 1 and 8 to face to the main road to address the street scene and provide identity to the development. Retaining the mature trees and character of the site.

Our site layout allows for greater separation distances across the access road producing properties set back from the main road with formal front garden space and principal elevations addressing the access road frontage.

Two storey examples of property along Whalley Road and Northcote Road show pitched roofs with tall gable roof constructions. We have introduced feature gable roofs to the roof scape aesthetic and provide interest and punctuation of the stone elevations by the introduction of render to these gable elements. As indicated by our street scene elevations.

Accommodation Schedule;

2 No. Woburn	4 Bed	2 Storey Detached	1,855 sq. ft.	= 3,710 sq. ft.
2 No. Wentworth	4 Bed	2 Storey Detached	1,855 sq. ft.	= 3,710 sq. ft.
4 No. Birkdale	4 Bed	2 Storey Detached	1,615 sq. ft.	= 6,460 sq.ft.

8 no. total

Total = 13,880 sq.ft.

Gross site area = 4,146 m² = 1.027 acres = 0.416 ha

A minimum of Two off street parking spaces are provided per property.

Our proposals contain only 2 storey units, all are 4 bedroom properties, the street scene does not contain any roof accommodation features. Retaining a 2 storey traditional scale to the development in response to the mix of single and 2 storey dwellings to Northcote Road.

13. Appearance

The external appearance of the dwellings gives careful consideration to the context of the site and following discussions with planning we are proposing a mix of traditional stone looking elevations and smaller elements of render together with other external materials to reflect the local vernacular. :

1. Walls - Edenhall Dahlstone walling
2. Mortar - Ready-Mixed Mortar. Colour: natural
3. Artstone cill and head features - Colour: Buff
4. Feature Render - Silicone Through Colour Render. Colour: White
5. Roof Tiles - Redland duo plain tiles – Colour: 77 charcoal
Matching colour hips and ridge tiles
6. Windows & Doors - PVCu Colour: Anthracite Grey (RAL 7016)
7. Fascia / Soffit / Barge - UPVC Colour: Black
8. Gutters & RWP's - Ogee Gutter / Round RWP's Colour: Black

These will be discussed in more detail at the Discharge of Planning Conditions stage, where our client will provide examples of materials for LPA approval.

DETAILING

- a) Pronounced stone heads above windows to the principle front elevation will be introduced.
- b) Permeable block paving will be laid to the driveways to all.
- c) Canopies will be detailed with dual pitches and exposed timber construction/support posts.

BOUNDARY TREATMENTS

The low stone wall and hedge to Northcote Road will be maintained and refurbished. The timber ranch style fence to Whalley Road will be replaced with a 1.8m high close boarded timber fence set inside the existing tree line to retain the grass verge.

Wrought Iron railings to a design to be approved will be introduced to the site frontage between plot 1 and plot 8.

Intermediate and rear fences will be close boarded timber and rail fences to 1800 high. Existing boundary fences will be retained where feasible (and they are of good quality) or will be replaced with new adjacent to The Ferns dwelling.

LANDSCAPING

Details are attached for the full planning application as provided by:
DEP Landscape Architecture Ltd.

Details of the proposed – existing tree removal/retention have been addressed and further consultation with the council's tree officer is ongoing.

The landscaping scheme addresses the need for new tree planting and low-lying shrubs and this will be agreed with the council's tree officer in due course.

We will be providing the necessary tree report and landscaping proposals by Emma Podmore at DEP Landscape Architects Ltd.