

DESIGN AND ACCESS STATEMENT

TEEWOOD BARN

10FB

320220777P

ADDRESS

Teewood Farm Barns, Slaidburn Road
Waddington, BB7 3JJ

PREVIOUS PLANNING REF

3/2019/1034

EXECUTIVE OVERVIEW

PROJECT BRIEF

Under the previously approved planning application REF: 3/2019/1034, the vernacular barns at Teewood Farm, which are no longer used for farming, were approved for conversion into a four bedroom house with an ancillary annex with one bedroom.

Define Architects were appointed to look at the feasibility of connecting the main barn with the ancillary barn which is located at the rear of the house.

This application is intended to supersede extant planning permission REF: 3/2019/1034.

BACKGROUND & CONTEXT

Teewood farm is located approximately half a mile from the village of Waddington, along Slaidburn Road. The Farm Barns are a mixture of two traditionally constructed stone built agricultural barns with natural stone slate roofs, and modern concrete out-buildings.

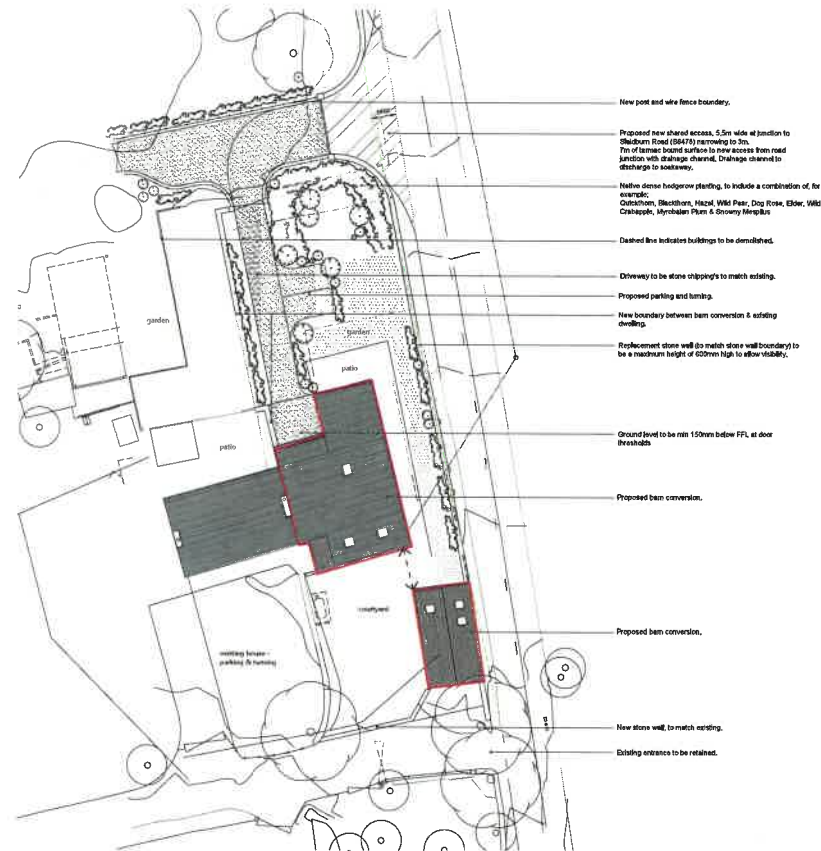
Planning approval (REF: 3/2019/1034) condition 6 states:

"Ancillary accommodation hereby approved shall only be used in conjunction with the property to which it is attached or related to and it shall not be used as a separate unit."

Reasons: The division of the dwelling into separately occupied units could be injurious to the character of the area and would require further consideration by the Local Planning Authority"

This document accompanies a householder application for a single storey rear extension, which will formally connect the main barn to the ancillary barn, ensuring that this planning condition is adhered to. The proposals will connect the barns in a sympathetic and harmonious manner making the ancillary barn an integral part of the house.

The extension has been designed to look seamless where visible from the road, and adopts the material palette of the existing barns. Metal has been introduced to the elevations facing into the private courtyard. This helps the extension to read as a new addition to the barns, ensuring its subservience.



Approved Proposed Site Plan (Application REF: 3/2019/1034)

Red lines indicate the two barns this application proposes to connect.

01 PROPOSAL

INITIAL IDEAS

In order to connect the barns, two potential options were explored. With the ancillary barn being to the East of the main barn, it could either be connected through a side or rear extension.

SIDE EXTENSION

The ancillary barn could be connected to the main house by a side extension, making use of the existing door from the kitchen. The extension would be clad in a material to match the main and ancillary barn, hopefully blending into the East elevation. A new opening would be required in the ancillary barn to successfully connect the two buildings together. (highlighted by blue arrow)

REAR EXTENSION

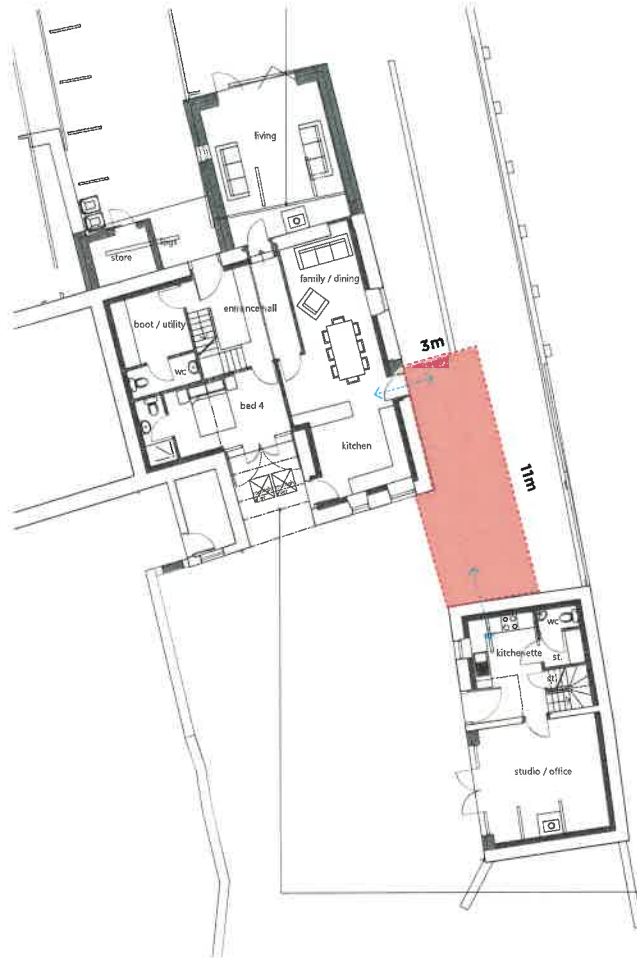
A rear extension would be a more sympathetic option, minimising the visual impact from the main road. The door in the ancillary barn would be retained and an opening could be formed in the existing windows at the rear of the main barn. This option retains more of the existing fabric of the barns by utilising the openings already on the elevations.

A rear extension would add more quality living space and connects more seamlessly into the barn.

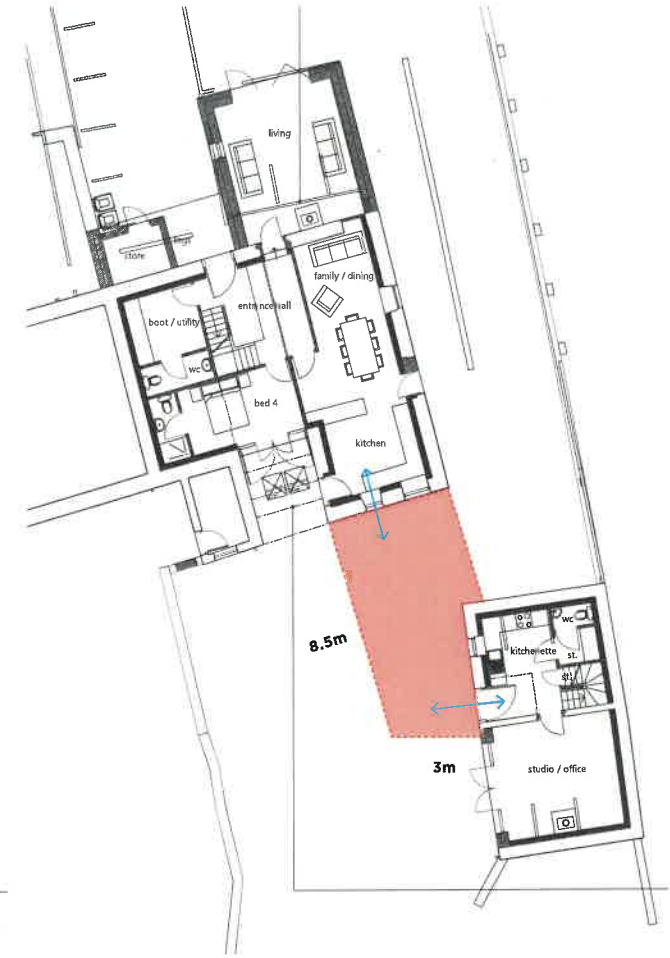
PREFERRED OPTION

Visually, we believe the rear extension is the more successful option. Positioning the extension in this location is a 'lighter touch', requiring less amendments to openings on the elevations of both barns. The 'Verified Montage' from the previous planning application highlights the importance of the visual impact of the proposals and therefore, the rear extension would minimise the overall impact on the external appearance of the site.

(Please see updated street view on page 17)



01 Option showing potential side extension



02 Option showing potential rear extension

Drawing layouts are based upon planning drawings found on the local planning website.

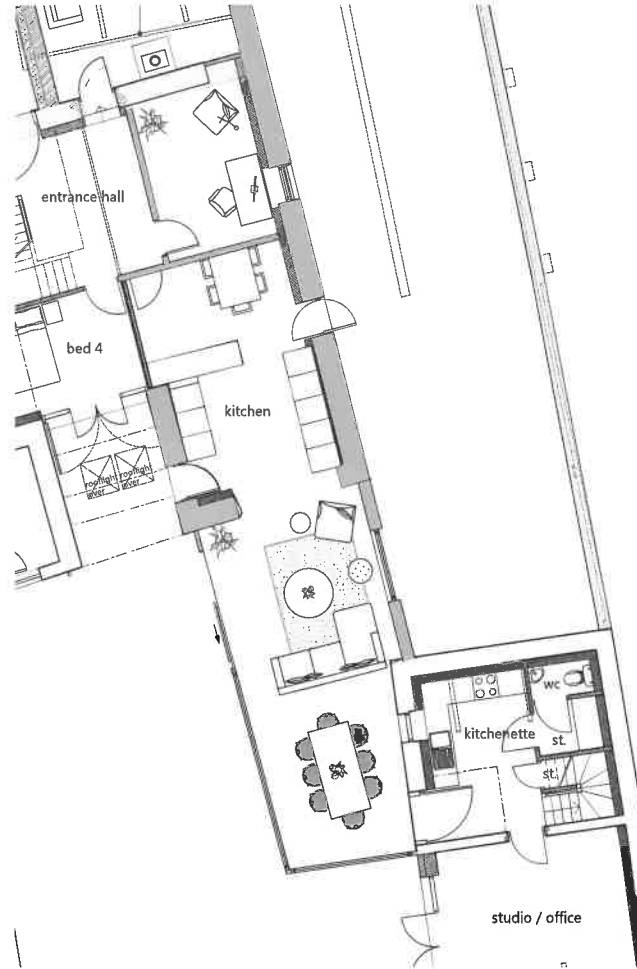
INITIAL PLANS

The ground floor and first floor (roof) plans show how the proposed link connects both the ancillary and the main barn together, as well as how it connects into the current design of the barns.

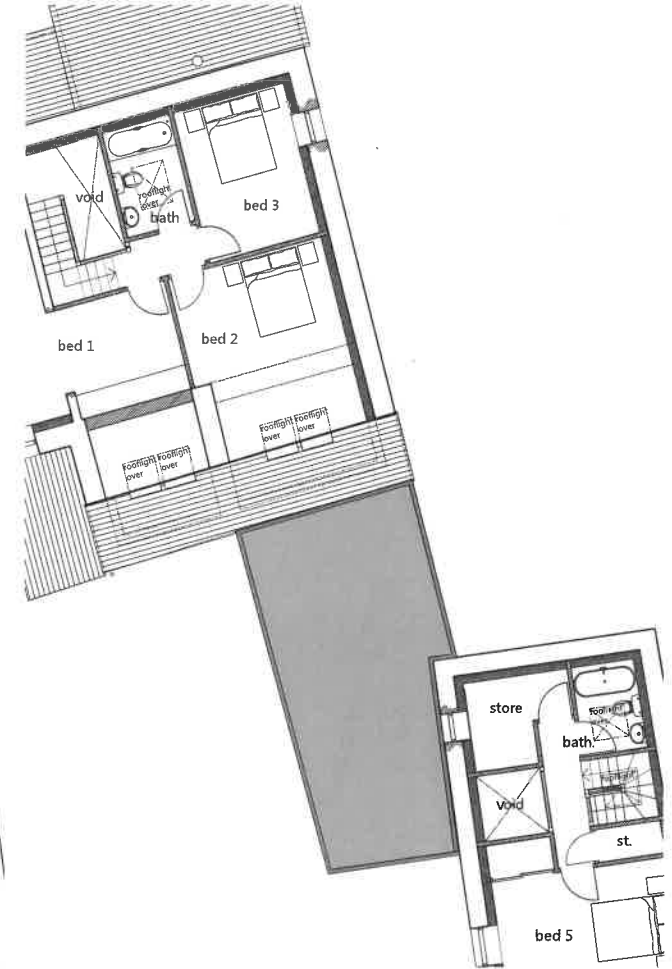
The proposed link becomes an extension of the kitchen, giving an alternative seating space and larger dining area creating a contemporary family living space. At present, the approved plans only provide a compact dining space with limited glazing to provide natural light.

Our proposal is to retain a more solid facade on the Eastern boundary (road facing) and open the extension up on the West boundary (facing internally into the site) bringing a large amount of natural light and providing a new set of quality accommodation at Teewood Barn.

A flat roof has been adopted due to the different eaves heights of the two barns (as demonstrated in the elevations on the next page). The proposed flat roof will be subservient to the existing roofs and will sit below both eaves.



01 Ground Floor Plan of Proposed Link



02 (Roof) First Floor Plan of Proposed Link

Drawing layouts are based upon planning drawings found on the local planning website.

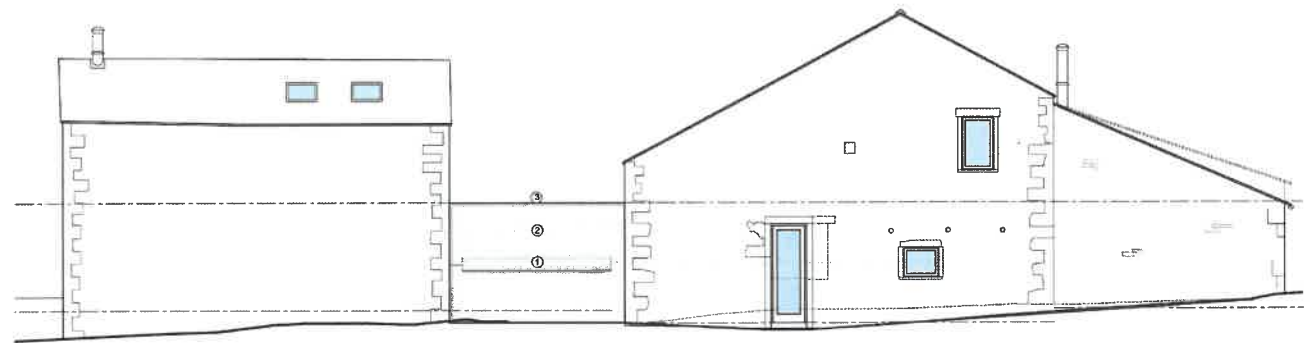
PRE-APPLICATION ENQUIRY

Pre-application advice has been obtained from Ribble Valley Borough Council regarding connecting the main barn via a link to the ancillary barn at Teewood Farm, REF 3/2022/ENQ/00020.

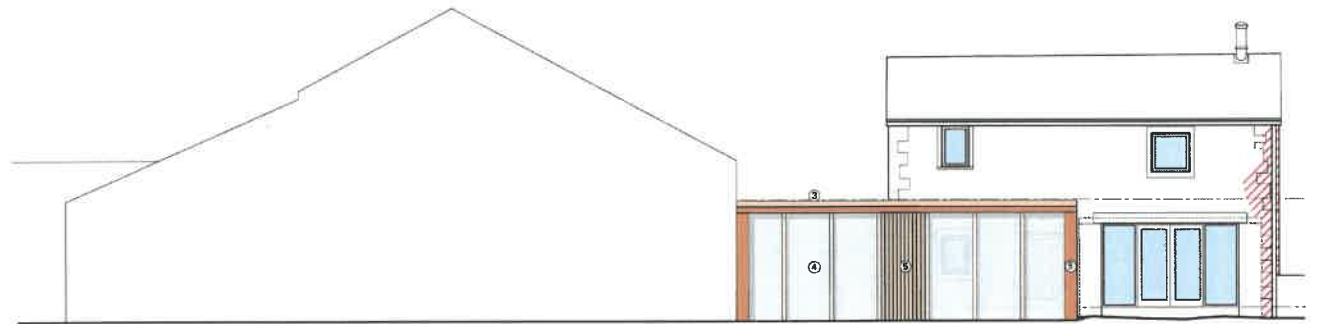
The initial plans on p6 were presented, along with the initial elevations shown to the right.

The principle of a linking structure between these two barns was considered acceptable, subject to the assessment of the design and other material considerations. Concerns were raised regarding the impact of the initial proposals on the privacy and residential amenity of the adjacent farmhouse. However, it was stated that mitigating such impacts would be possible on the site and the scheme would otherwise be acceptable in terms of scale and materials. On the proposed site plan, a hedgerow has been added to the boundary between Teewood Barn and Teewood Farmhouse.

It was agreed that the footprint of the proposal, in addition to the flat roof, help to make the development appear subservient to the existing buildings and would be sympathetic toward the existing relationship of built-form, in accordance with Policy DMG1. It was suggested that the design would benefit by offsetting the wall on the eastern elevation of the linking structure with the host barn and annex in order to further ensure its subservience. In addition, revising the fenestration on this elevation of the linking structure may allow for an even more harmonious relationship to existing built-form when observed from the roadside.



01 East Elevation

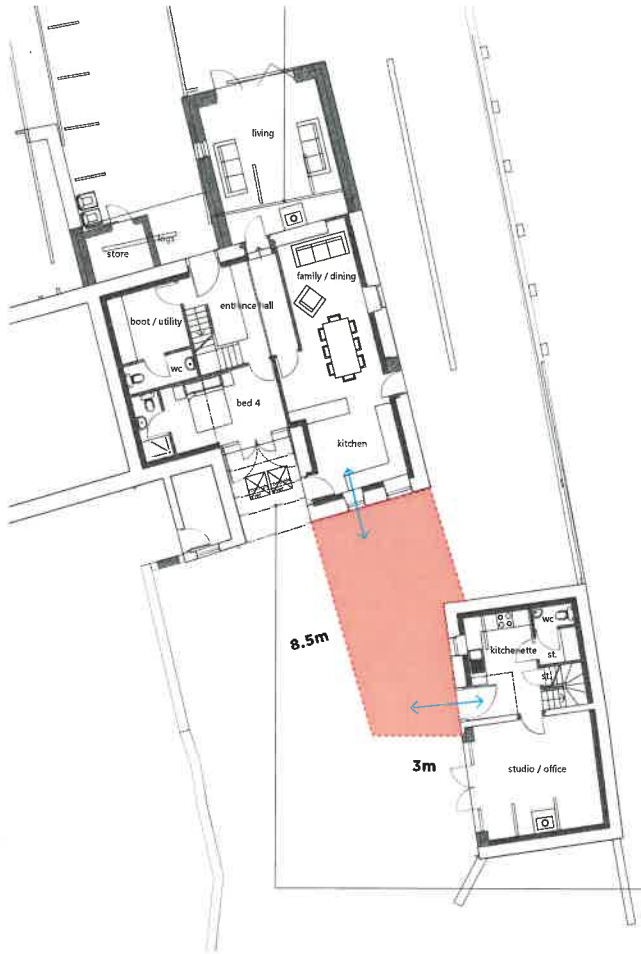


02 West elevation

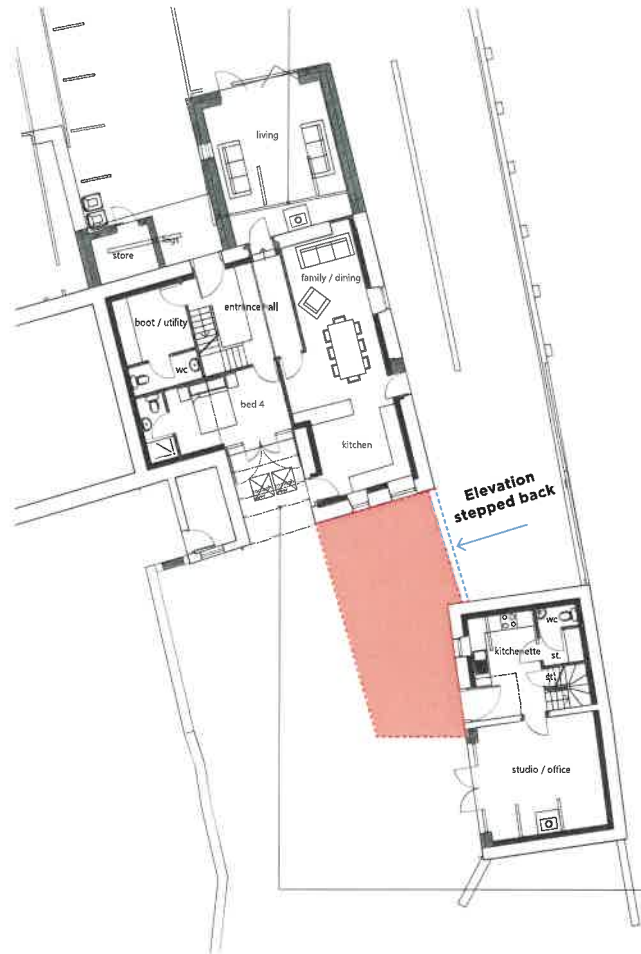
Notes

1. Long slot window with timber frame to match existing windows
2. New brick extension to match colour of existing of existing walls
3. Single ply flat roof
4. Floor to ceiling glazing
5. Timber to match the timber framed windows colour

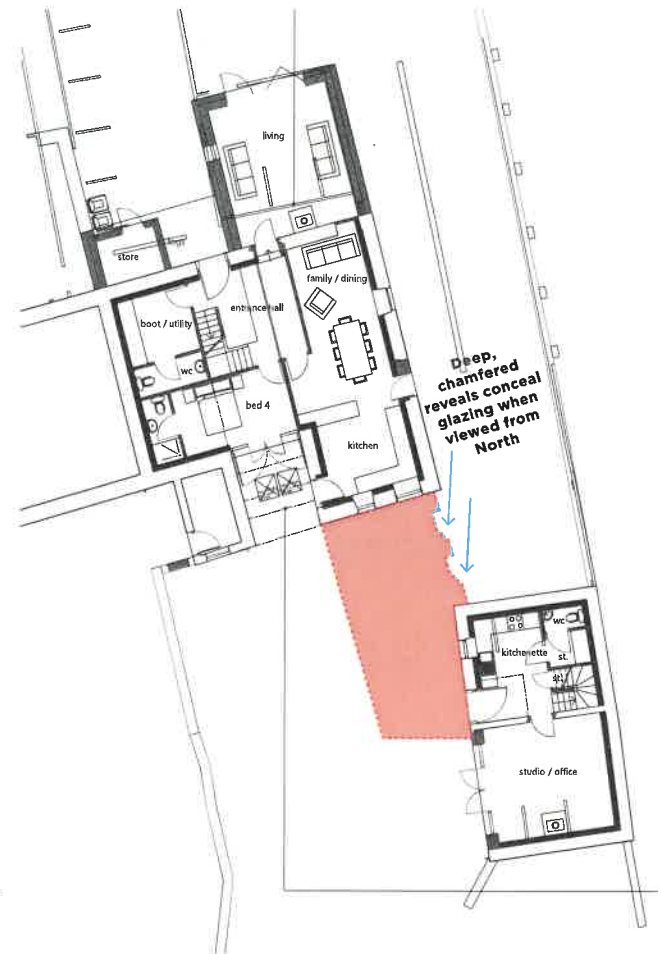
DEVELOPMENT FOLLOWING PRE-APPLICATION RESPONSE



Drawing layouts are based upon planning drawings found on the local planning website.

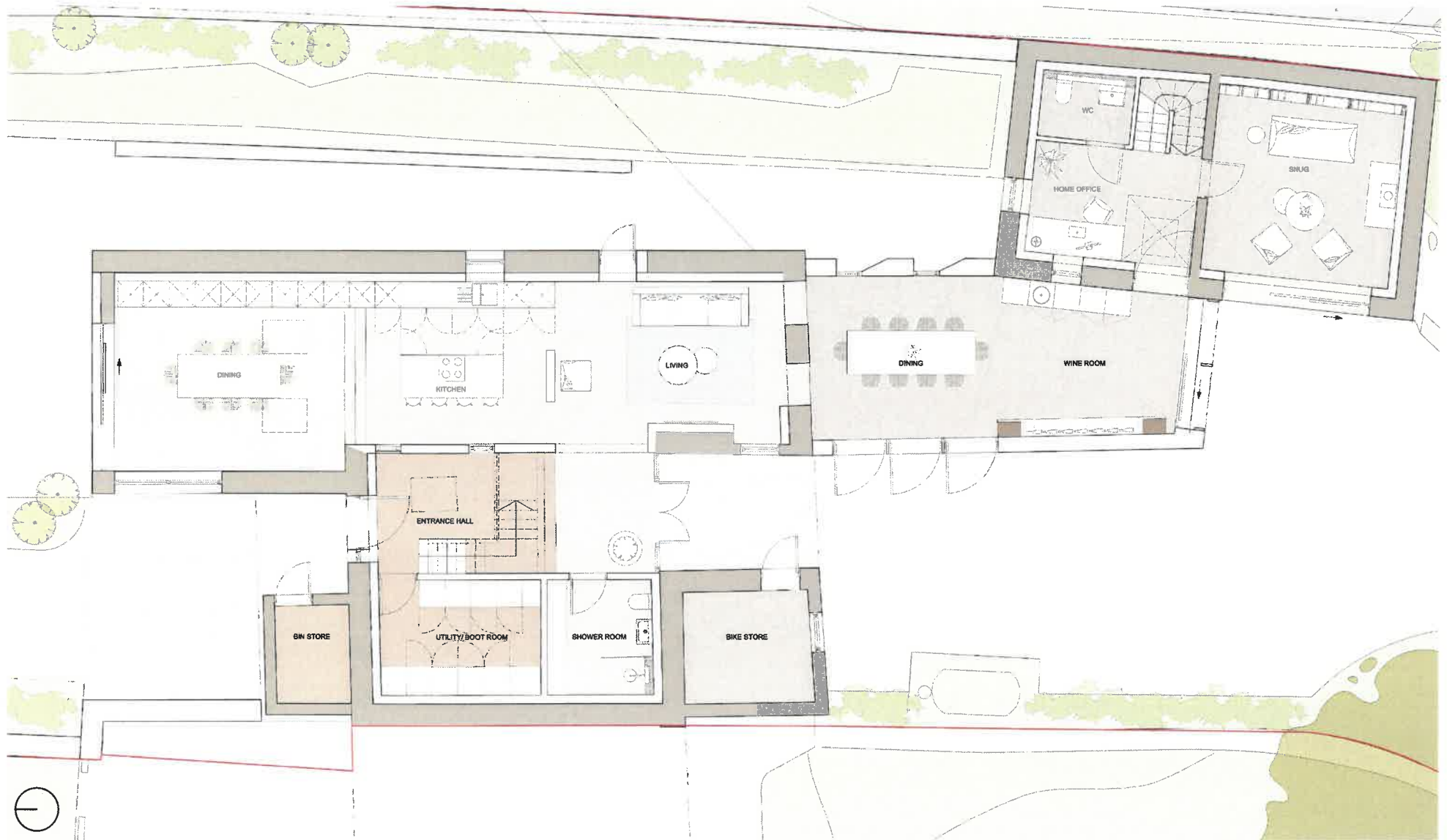


02 Eastern wall of link offset from wall of existing barn to further ensure its subservience.



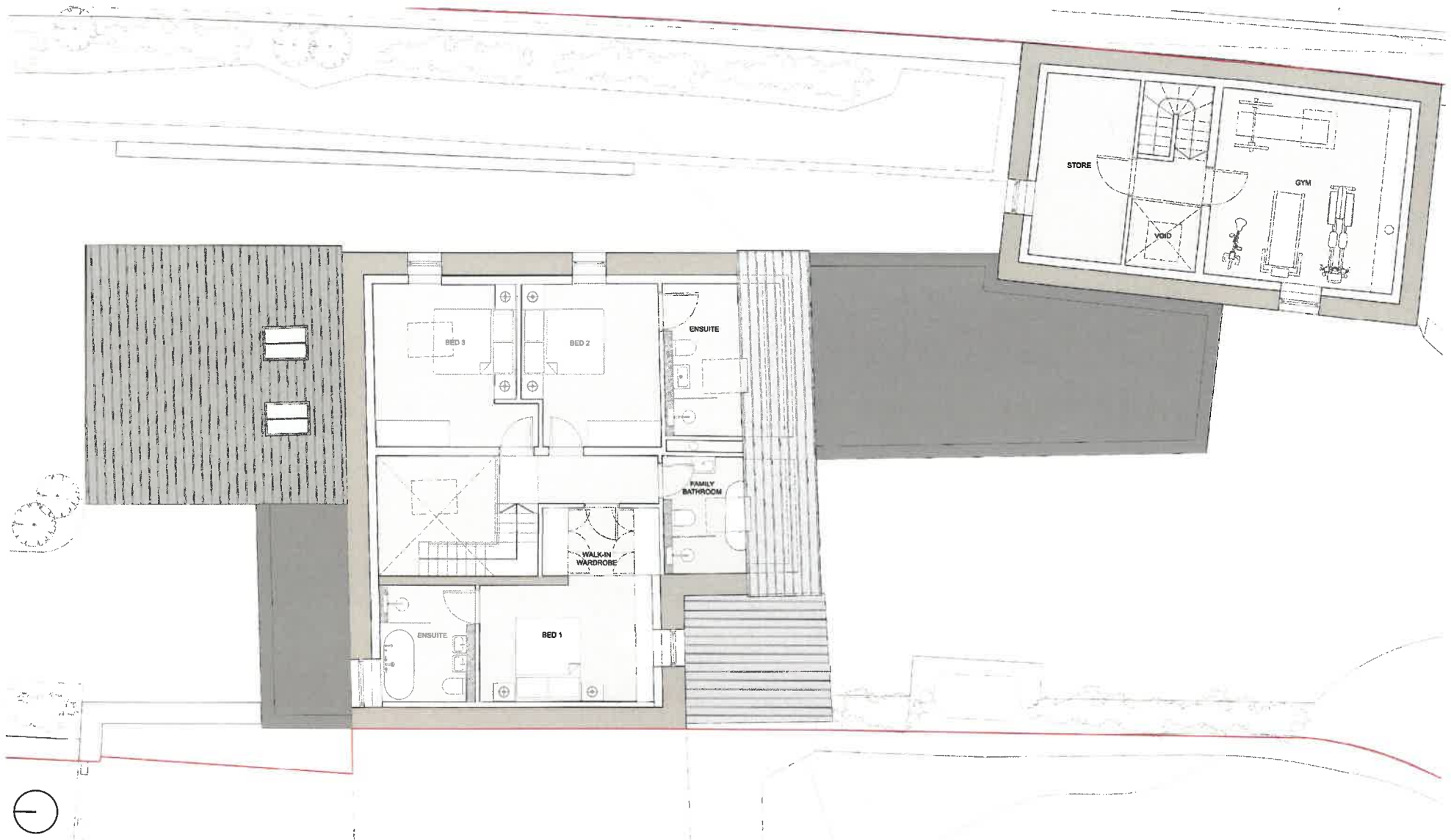
03 Windows set within deep reveals enable elevation to read as solid stone on the approach from Slaidburn Road.

PROPOSED GROUND FLOOR PLAN



Proposed Ground Floor Plan

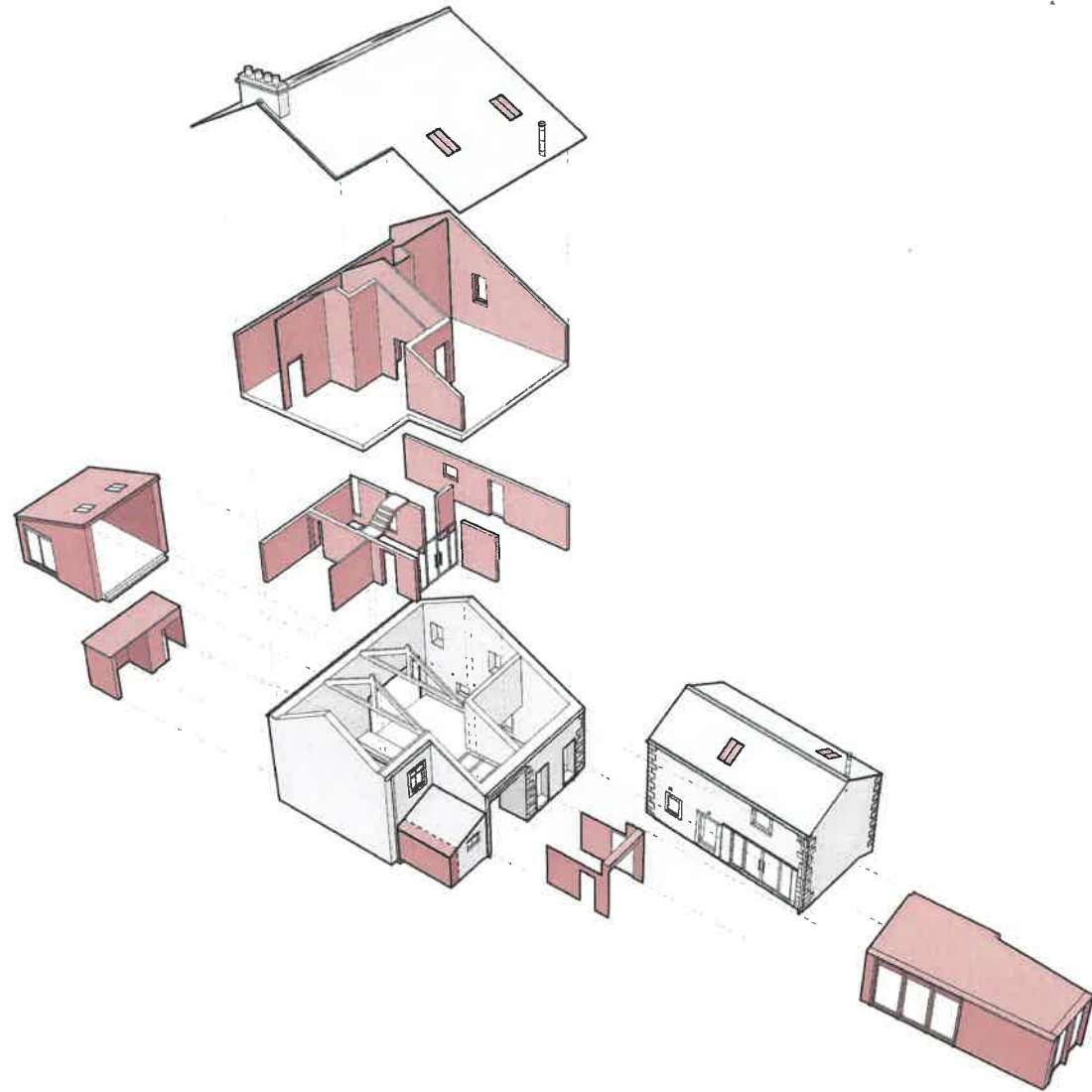
PROPOSED FIRST FLOOR PLAN



Proposed First Floor Plan

CONCEPT DIAGRAM

The diagram to the right shows the new additions and inserts to the existing main barn and ancillary barn. The existing elements are shown grey with new additions shown red. This includes the internal partitions and insulation to be added inside the external walls. The modern concrete lean-to at the North will be rebuilt using natural stone and a slate roof.



2 of 3

NORTH ELEVATION

DIFFERENCES TO EXTANT PLANNING PERMISSION

- 2 No. windows proposed to ancillary barn.
- 3 No. additional rooflights proposed to main barn.
- Design of proposed glazed doors amended to better suit internal layout.
- Design of lean-to bin store / entrance canopy amended to read more clearly as a new addition, subservient to existing building.



Approved North Elevation

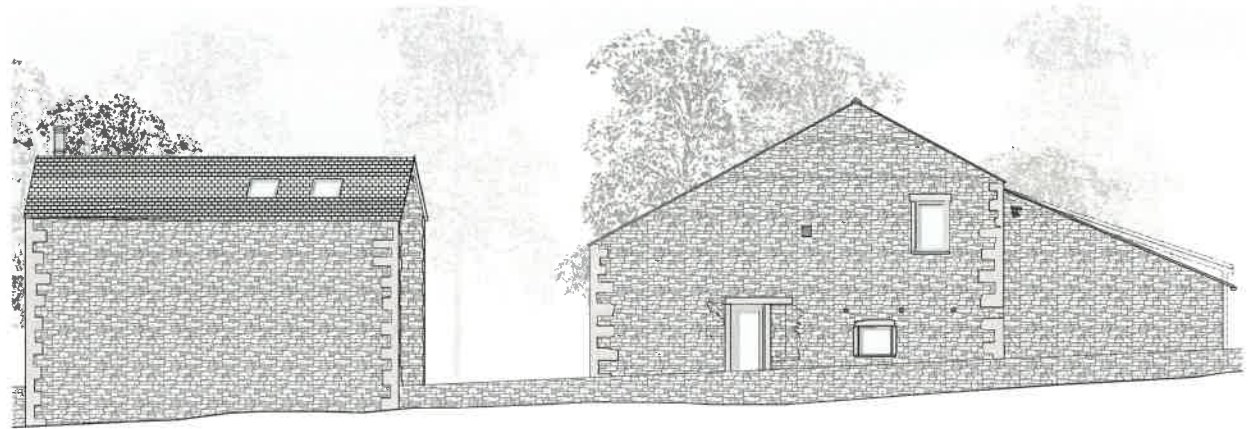


Proposed North Elevation

EAST ELEVATION

DIFFERENCES TO EXTANT PLANNING PERMISSION

- No. rooflights reduced from 2 to 1 and repositioned on ancillary barn.
- Window added to main barn at first floor.
- Proposed door repositioned to otherside of existing lintel to better suit internal layout.
- Lean-to on North of main barn to match height of existing lean-to which is proposed for demolition.
- Single storey link added.



Approved East Elevation



Proposed East Elevation

SOUTH ELEVATION

DIFFERENCES TO EXTANT PLANNING PERMISSION

- Lean-to extended out towards boundary.
- No. rooflights reduced from 4 to 2.
- Cor-ten panel added above glazed doors in existing opening.
- Single storey link added.
- Hedgerow added to boundary to mitigate impact of link on privacy and residential amenity of adjacent farmhouse.



Approved South Elevation

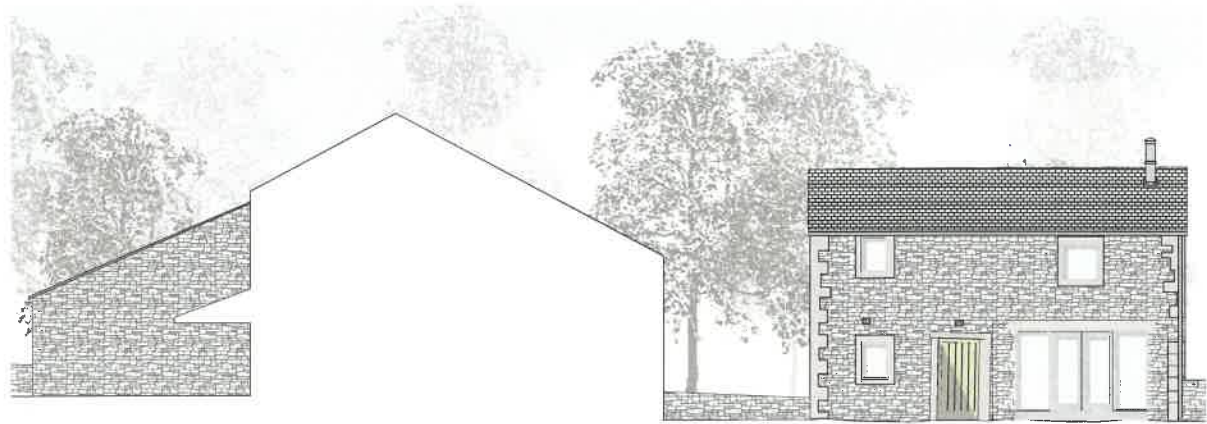


Proposed South Elevation

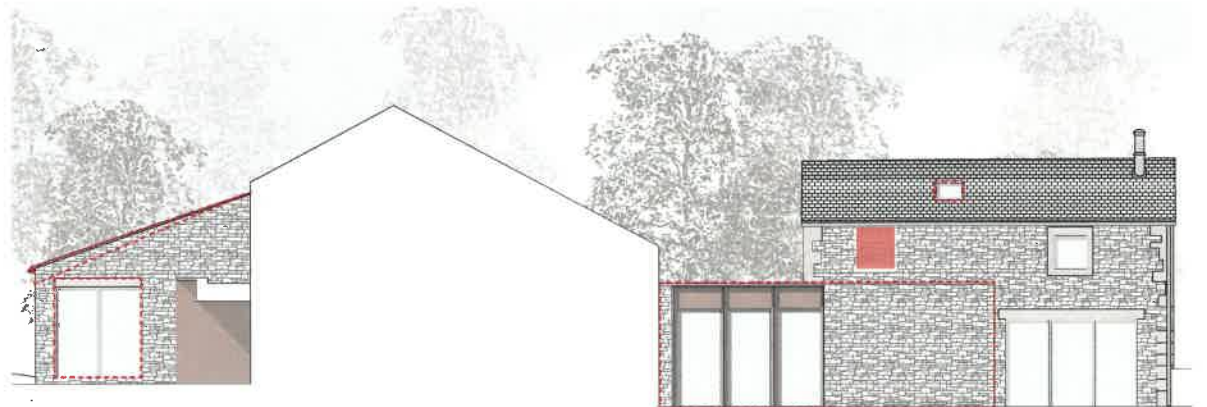
WEST ELEVATION

DIFFERENCES TO EXTANT PLANNING PERMISSION

- Rooflight added to ancillary barn.
- Proposed 1st floor window omitted from ancillary barn.
- Lean-to on North of main barn to match height of existing lean-to which is proposed for demolition.
- Glazing added to lean-to.
- Canopy over front door amended to flat roof. Opening lined with cor-ten.
- Single storey link added.



Approved WestElevation



Proposed West Elevation

EXTERIOR VISUALS



East Elevation of Proposed Link



East Elevation - Approach From Slaidburn Road

The East elevation has been designed using a material palette to match the existing barns.

The windows are set within deep reveals which allows the elevation to read as a solid stone wall when viewed approaching the site from Slaidburn Road.

EXTERIOR VISUALS



South Elevation



West Elevation



North Elevation

3043

INTERIOR VISUALS



Dining Area Within Link



Living Area



Kitchen and Dining

INTERIOR VISUALS



Entrance Hallway



Entrance Hallway

02

PRECEDENTS

PRECEDENTS (OLD AND NEW)



Piercy & Company - Kew House



Carmody Grooke - Two Pavilions



Piercy & Company - Kew House

Piercy & company's Kew House fuses a new glass and steel structure with the remnants of a victorian stable block.

"This four bedroom family house is formed of two prefabricated weathering steel volumes inserted behind a retained nineteenth century stable wall." (Piercy & Company)

On both precedents shown here, the existing masonry is retained and new interventions are constructed with pre-weathered steel, providing a contrast which reads clearly as new additions to the original structure. The metal proposed on the link at Teewood Barn is tied back to the main barn by introducing elements of the same material on where alterations are proposed.

PRECEDENTS (OLD AND NEW)



Will Gamble Architects - The Parchment Works



Will Gamble Architects - The Parchment Works- Old and new



Will Gamble Architects - The Parchment Works- Kitchen

Will Gamble Architects proposed a building within a building. He used lighter materials for the proposed works which helped to celebrate the existing masonry works.

He used honest material palette and he reference the materials from the surroundings.

"A contemporary kitchen juxtaposes the uneven and disordered nature of the ruin and continues the theme of modern intervention set within a historical context". (Will Gamble).

PRECEDENTS (USE OF MATERIALS)



Will Gamble Architects - The Parchment Works



Will Gamble Architects - The Parchment Works



Will Gamble Architects - The Parchment Works

On the left image shows timber softwood wrapping around the window sill. This frames out external view from the dining table and captures a moment. We can carry this idea through our design by capturing moments within the house through use of materials.

PRECEDENTS (FRAMELESS GLASS)



Strom Architects- Bohemian Paradise



Strom Architects- Bohemian Paradise

This precedent shows how the frameless glass sits against the masonry work. By minimising the frame it gives more focus to the external view.

PRECEDENTS (CHAMFERED WINDOW REVEALS)



Max Dudler - Heidelberg Castle Visitor Centre



Max Dudler - Heidelberg Castle Visitor Centre

This precedent shows windows with deep, chamfered stone reveals. Because the glazing is set deep within the openings, only stone is visible when the elevation is viewed from an angle.

CONCLUSION

The proposed position of the extension ensures that the majority of the massing faces inwards to the West. As a result, most of the development is concealed from the Eastern boundary of the site which fronts onto Slaidburn Road. The carefully considered scale and massing, along with the use of matching materials, poses minimal visual impact on the East elevation along Slaidburn Road.

Elements of metalwork with contemporary detailing are introduced to the South and West elevations, only visible from the private courtyards. The use of a new material ensures that the extension reads as a new addition to the stone barns, further ensuring its subservience to the existing buildings.

The link will allow our client to use all spaces that are a part of Teewood Barn easily, as well as adding to the architecture on the site. The addition will provide a quality family space with a view into the centre of the farm and a contemporary living space with a large amount of natural light whilst maintaining the privacy to the external perimeter of the site.

