

HERITAGE STATEMENT

PROPOSED GROUND FLOOR WC

AT

32 PARSON LANE

CLITHEROE

LANCASHIRE

BB7 2JP

NGR: SD 74189 41803



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SECTION 01

INTRODUCTION

1.1 OVERVIEW

This document has been produced in support of applications for listed building consent for the creation of a ground floor WC to the existing dining room of the building.

32 Parson Lane is a late 18th century three storey cottage and is a grade II listed building which is also located within the Clitheroe Conservation Area.

1.2 PURPOSE

The purpose of this document is to provide the Local Planning Authority with the necessary and appropriate information that will inform the proposals. An assessment of the heritage values of the listed building and conservation area will be included to determine their significance. A heritage impact assessment has also been included to assess the potential implications of the proposals on the special interest of the listed building and conservation area.

It is produced in response to policies set out in Paragraph 189 of the National Planning Policy Framework, 2019 which states;

In determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets' importance and no more than is sufficient to understand the potential impact of the proposal on their significance.¹

This document is produced in accordance with recently published Historic England guidance document 'Statements of Heritage Significance: Analysing Significance in Heritage Assets' published on the 21st October 2019 and considered to be current best practice.²

¹ Ministry of Housing, Communities and Local Government (2018) National Planning Policy Framework, Page 55, Available at: https://assets.publishing.service.gov.uk/government/uploads/system/uploads/attachment_data/file/728643/Revised_NPPF_2018.pdf (Accessed on 5th September 2019)

² Historic England (2019) Statements of Heritage Significance: Analysing Significance in Heritage Assets (online) Available at: <https://historicengland.org.uk/images-books/publications/statements-heritage-significance-advice-note-12/heag279-statements-heritage-significance/> (Accessed on the 24th January 2020)

³ Historic England (2008) Conservation Principles, Policies and Guidance for the Sustainable Management of the Historic Environment (Online) Available at <https://historicengland.org.uk/images-books/publications/conservation-principles-sustainable-management-historic-environment/conservationprinciplespoliciesandguidanceapril08web/> (Accessed on 31st March 2020)

1.3 METHODOLOGY

This document has been produced in accordance with a series of documents all of which are considered to be current best practice guidance and consist of the following;

- Historic England (2008) Conservation Principles, Policies and Guidance for the Sustainable Management of the Historic Environment.³
- Historic England (2019) Statement of Heritage Significance: Analysing Significance in Heritage Assets - Historic England Advice Note 12.⁴
- Chartered Institute for Archaeologists (2014) Standard and Guidance for the Archaeological Investigation and recording of Standing Buildings or Structures.⁵
- Chartered Institute for Archaeologists (2014) Standard and Guidance for Historic Environment Desk Based Assessment.⁶
- BS 7913:2013 – Guide to the Conservation of Historic Buildings

A search of the following databases and archives has been carried out as part of this investigation to identify published and unpublished sources of documentary evidence which contributes to an understanding of the site.

- Archaeological Data Service
- Historic England Online Archive
- Lancashire County Archive Catalogue
- Lancashire Library Catalogue

Exhaustive research will not be possible and cost effective and attention will be focused on those documents which are readily available and those which provide an understanding of the design and development of the building.

⁴ Historic England (2019) Statement of Heritage Significance: Analysing Significance in Heritage Assets - Historic England Advice Note 12 (Online) Available at: <https://historicengland.org.uk/images-books/publications/statements-heritage-significance-advice-note-12/heag279-statements-heritage-significance/> (Accessed on 31st March 2020)

⁵ Chartered Institute for Archaeologists (2014) Standard and Guidance for the Archaeological Investigation and recording of Standing Buildings or Structures (Online) Available at: https://www.archaeologists.net/sites/default/files/CIfAS%26GBuildings_2.pdf (Accessed on 31st March 2020)

⁶ Chartered Institute for Archaeologists (2014) Standard and Guidance for Historic Environment Desk Based Assessment (Online) Available at: https://www.archaeologists.net/sites/default/files/CIfAS%26GDBA_3.pdf (Accessed on 31st March 2020)

I.4 AUTHOR

The author of this document, Matthew Fish B.Sc. (Hons) M.Sc. (BldgCons) MCIAT IHBC, of Sunderland Peacock and Associates Ltd, is a Chartered Architectural Technologist (MCIAT) and is a full chartered member of the Chartered Institute of Architectural Technologists (CIAT). Matthew holds a master's degree in Building Conservation and Regeneration and is a fully accredited member of the Institute of Historic Building Conservation (IHBC) and is experienced in the surveying, analysis and recording of historic buildings as well as the specification of repairs and alterations to historic buildings. Matthew has a specific interest in vernacular dwellings and farm buildings.

I.5 ACKNOWLEDGEMENTS

We would Like to thank our client, Mrs Smith for this commission.

SECTION 02

UNDERSTANDING THE SITE

2.1 SITE LOCATION AND DESCRIPTION

The town of Clitheroe is located within the Ribble Valley Borough of Lancashire, some 10km to the north of the Town of Blackburn and some 11km to the west of the town of Nelson. 32 Parson Lane is located within the historic core of Clitheroe Town centre, on the north side of Parson Lane, where the lane changes direction and meanders westwards, near to the intersection with Station Road, immediately to the north of the castle grounds.

The building occupies a relatively compact site dictated by the road and the layout of nearby buildings. To the front of the building is a paved and gravelled driveway, formerly a garden, with a low-level boundary wall, of natural stone with triangular copings. Modern metal railings define the east extent of the driveway. A gravel path leads to a bin storage area and a timber gate which adjoins the south east corner of the house and provides access to the side and rear.

The local area forms part of the commercial core of Clitheroe and is characterised by its mixture of late 18th and 19th century dwellings and commercial buildings. The castle grounds, a grade II listed park and garden, which is elevated at the north end and rises steeply at the north side towards the castle. The building typologies consist of two storey terraced dwellings on the south side of the lane, with commercial buildings dispersed within, all of stone construction, with a mixture of bare stone and render finishes. Two public houses are located nearby, with the New Inn located to the east and the Castle Inn located to the north west. A modern housing development lies to the north.

32 Parson Lane (Grade II listed)

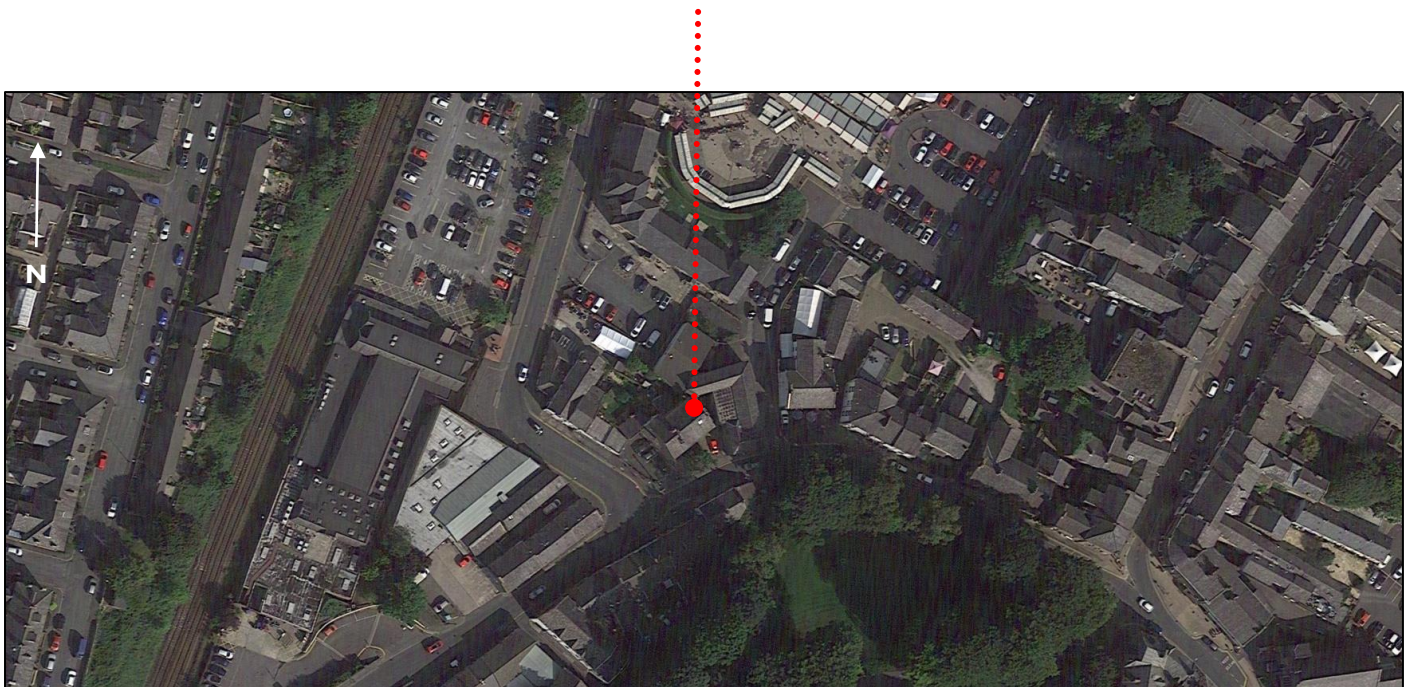


Fig 01: Plan Showing Location of 32 Parson Lane (Plan taken from Google Maps 2022 ©)

2.2 BUILT FORM ANALYSIS

The building of three storey in height and has a rectangular plan form with the addition of a single storey outshut to the rear. It is of solid stone wall construction using coursed local sandstone, with a gable form roof with a covering of natural slate. A rebuilt gable stack, in cast stone, is present to the east gable. The front eaves has a moulded stone gutter. The east corner is formed in plain stone quoins and window and door openings have plain stone, jambs, heads and cills. The recessed nature of the main stone walling to the front elevation, would suggest that it was once probably rendered. The three modern aligned windows to the front elevation, which appear to get shorter in height as they ascend, are timber sliding sashes with horns and with two - over - two glazing panes with central glazing bars in a late Victorian style. The front door consists of a timber, raised and fielded six panelled door with a transom window above.

The side east elevation, is relatively plain in its appearance, with bare faced stone to the ground floor and a roughcast cement render finish above. A small, modern, top hung casement window is present to the ground floor dining room, adjacent to the chimney breast.

The rear elevation also has a partial cement finish to the first and second floor which has been painted red. The first floor and second floor windows are again modern sash windows as per the front elevation. The ground floor has a set of modern glazed double doors, in timber, with a narrow transom window above.

Internally, the building is of double pile plan form, with the addition of the kitchen outshut at the rear. The interior has been extensively renovated in the past and there is little of interest.

The ground floor has a stone flag floor throughout. Some internal joinery remains internally, mainly in the form of exposed floor and roof timbers and a number of four panelled doors.

The proposed works are to be undertaken to the ground floor dining room only, to east corner.



PL01: View west within the ground floor dining room.



PL02: View north within the ground floor dining room.



PL03: View east within the ground floor dining room.



PL04: View south within the ground floor dining room.

2.3 HERITAGE ASSET DESIGNATIONS

32 Parson Lane is a grade II listed building and is designated as such under section 1 (3(a)) of the Planning (Listed Buildings and Conservation Areas) Act 1990 for its special architectural and historical interest. Please refer to Appendix A of this report for the historic England List Entry.

The application site is within the defined boundary of the Clitheroe Conservation Area which is a Designated Heritage Asset and is designated as a Conservation Area under the provisions of Section 69 of the Planning (Listed Buildings and Conservation Areas) Act 1990 in October 1973 and extended in 1979. Please refer to Appendix B of this report regarding the reasons for designation and the elements which contribute to the special interest of the conservation area.

2.4 HISTORICAL CONTEXT

This section is intended to give an account of the historical development of the site based on information obtained from secondary research sources.

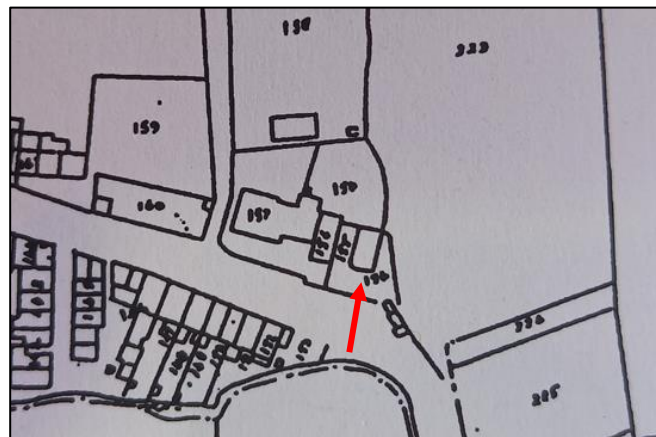
Very little appears to be known of the history of 32 Parson Lane as the history and development of the dwelling does not appear to be well documented amongst published and unpublished documentary resources.

Parson Lane lies on part of an ancient route into the town leading from the south and west of the town and crosses the River Ribble at Edisford Bridge and is partially shown on Langs Map of 1776. The north and west side of the lane, appears to have been largely undeveloped until the mid-19th century and the street is characterised by a mixture of 18th and early 19th century dwellings and commercial buildings.

32 Parson Lane is expected to be late 18th or early 19th century in origin but was certainly extant by 1822 where it first appears on Bawdwen and Alexander's survey of Clitheroe. At this time, the building was owned by John Lofthouse and occupied by William Hartley and is described as 'House and Garden'. The land to the north of the building, appears to be mostly undeveloped and rear elevation would have faced outwards into the surrounding countryside.

The building and site, is shown in greater detail and clarity on the 1844 1:1056 scale OS map of Clitheroe. Where the house and front garden are clearly discernible as well as its partner dwelling 34 Parson Lane and were likely built as a pair of dwellings.

By 1884, both 32 and 34 Parsons Lane had been extended to the rear (north west) with single storey outshuts.



PL34: Extract from Bawdwen and Alexander's Survey of 1822.



PL35: Extract from OS map of 1844.



PL36: Extract from OS map of 1884.

2.5 PLANNING HISTORY

A search of the Ribble Valley Borough Council Planning Application database has been undertaken and has yielded the following results;

Application Number: 3/1994/0806

Proposals: Use of front garden for parking of car (listed building consent)

Decision: Approved with conditions

Date: 07.02.1995

Application Number: 3/1994/0805

Proposals: Use of front garden for parking of car

Decision: Approved with conditions

Date: 07.02.1995

SECTION 03

ASSESSMENT OF SIGNIFICANCE

3.1 ASSESSING SIGNIFICANCE

Significance, in terms of heritage related planning policy is defined in the National Planning Policy Framework as “The value of a heritage asset to this and future generations because of its heritage interest. The interest may be archaeological, architectural, artistic or historic. Significance derives not only from a heritage asset’s physical presence, but also from its setting.”⁷ Understanding the significance of a building or place is crucial when attempting to inform sensitively and intelligently managed change in order to sustain significance, and where appropriate and possible, to seek opportunities for enhancement.

The purpose of this section is to provide a summary of the significance of both the house and conservation area so that the proposals for change can be informed by the level of significance they possess and so that the impact of the proposals can also be assessed.

This assessment of significance has been informed by a physical inspection of the buildings and both archival and desk-based research. It takes into consideration the significance of both the farmhouse and barn as well as the contribution made by their setting.

For each building, the following heritage interests have been described as per the guidance provided within The Historic England guidance document “Statement of Heritage Significance: Analysing Significance in Heritage Assets” (2019), which is considered to be best practice;

Archaeological interest: “There will be archaeological interest in a heritage asset if it holds, or potentially holds, evidence of past human activity worthy of expert investigation at some point.”⁸

Architectural and Artistic Interest: These are interests in the design and general aesthetics of a place. They can arise from conscious design or fortuitously from the way the heritage asset has evolved. More specifically, architectural interest is an interest in the art or science of the design, construction, craftsmanship and decoration of buildings and structures of all

types. Artistic interest is an interest in other human creative skills, like sculpture.”⁹

Historic Interest: “An interest in past lives and events (including pre-historic). Heritage assets can illustrate or be associated with them. Heritage assets with historic interest not only provide a material record of our nation’s history but can also provide meaning for communities derived from their collective experience of a place and can symbolise wider values such as faith and cultural identity.”¹⁰

3.2 SUMMARY OF SIGNIFICANCE: 32 PARSON LANE

32 Parson Lane is an example of a late 18th / early 19th century purpose built, three storey town house, which was extended in the second half of the 19th century. The grade II designation of the building suggests it is a building of importance from a national perspective in terms of architectural and historical importance and its archaeological, architectural, and historical values combine to form its overall significance.

The significance of the building is derived from its extent historic fabric, which is largely limited to its exterior and internal walling and internal joinery and exposed timbers. The building is lacking in significant historic fabric, fixtures and fittings, probably due to past internal renovations which have had a cumulative impact resulting in the erosion of its integrity and authenticity, particularly to the interior. The front elevation of the building is neat and dignified and when combined with 34 Parson Lane, makes for an attractive composition through the use of symmetry to the pattern of fenestration and the homogenous use of materials to both dwellings. This being said, this composition is now rather unbalanced through the somewhat jarring addition of 36 Parson Lane, which has been built in limestone as opposed to sandstone. The rear and side elevations of 32 Parson Lane have less appeal and are more utilitarian in appearance. The building has retained its domestic and residential functions and provides a limited insight into the past internal functions of the dwelling and daily life in the late 18th and 19th century.

⁷ National Planning Policy Framework (2019) NPPF – Annex 2: Glossary (Online) Available at: [https://www.gov.uk/guidance/national-planning-policy-framework/annex-2-glossary#:~:text=Significance%20\(for%20heritage%20policy\),%2C%20architectural%2C%20artistic%20or%20historic](https://www.gov.uk/guidance/national-planning-policy-framework/annex-2-glossary#:~:text=Significance%20(for%20heritage%20policy),%2C%20architectural%2C%20artistic%20or%20historic). (Accessed on 22nd June 2022)

⁸ Historic England (2019) Statement of Heritage Significance: Analysing Significance in Heritage Assets - Historic England Advice Note 12 (Online) Available at: <https://historicengland.org.uk/images-books/publications/statements-heritage-significance-advice-note-12/heag279-statements-heritage-significance/> (Accessed on 16th September 2020)

⁹ Historic England (2019) Statement of Heritage Significance: Analysing Significance in Heritage Assets - Historic England Advice Note 12 (Online) Available at: <https://historicengland.org.uk/images-books/publications/statements-heritage-significance-advice-note-12/heag279-statements-heritage-significance/> (Accessed on 16th September 2020)

¹⁰ Historic England (2019) Statement of Heritage Significance: Analysing Significance in Heritage Assets - Historic England Advice Note 12 (Online) Available at: <https://historicengland.org.uk/images-books/publications/statements-heritage-significance-advice-note-12/heag279-statements-heritage-significance/> (Accessed on 16th September 2020)

3.3 SUMMARY OF SIGNIFICANCE: CLITHEROE CONSERVATION AREA

The significance of the Clitheroe Conservation Area is derived from its strong sense of place and local distinctiveness created by a number of elements within the public realm of the conservation area.

The conservation area encompasses the historic core of the town which is centered around its medieval street layout which is relatively intact. The north and south extents of the medieval layout are denoted by the presence of two imposing and impressive medieval structures in St Mary Magdalene's Church to the north and Clitheroe Castle to the south which is accompanied by its attractive grounds and gardens.

The conservation area contains in it the commercial, business and administrative core of the market town of Clitheroe. It hosts a mixture of business, commercial and residential uses and contains within it the entirety of the town's principal retail areas. In addition to this, the conservation area also hosts a number of educational institutions, i.e., Clitheroe Grammar school, and religious places of worship as well as eateries and recreational facilities, all of which make the town a popular tourist destination.

The buildings within the conservation area which play host to these uses, are architecturally diverse and are a mix of types, ages and appearances and primarily date from the late 18th and early 19th century, many of which replaced earlier structures and some of which occupy and follow the medieval burgage plot layouts. The buildings are also a mixture of vernacular and polite architecture with church street providing good examples of Georgian architecture. Stone and slate are the predominant materials within the conservation area.

It is the local details which enhance the conservation area's distinctive identity and include;

- The three stone-built wells which were the town's main source of water up until the middle of the 19th century.
- The use of local stone for boundary and surface treatments.
- Local details such as street signage, telephone kiosks and stone gate piers.

SECTION 04

DEVELOPMENT PROPOSALS

4.1 DEVELOPMENT PROPOSALS SUMMARY

The development proposals consist of the introduction of a WC and wash hand basin to the east corner of the ground floor dining room. The WC is required for the use of our client who requires such a facility due to their age and will improve their standard of living.

It is proposed that a WC with integral wash hand basin is fixed against the external wall to east corner of the dining room, with a new enclosure formed, with a sliding sectional track door. In addition to this, new wall penetrations will be required to accommodate the soil pipe from the WC as well as the ducting for an extractor fan, both of which are required under the current building regulations.

Please refer to SPA drawing 6702-E01A for details.

SECTION 05

PLANNING POLICY CONTEXT

5.1 NATIONAL LEGISLATION

32 Parson Lane is a grade II listed building and as such, benefits from statutory protection in the form of national legislation, namely the Planning (Listed Buildings and Conservation Areas) Act 1990 due to its special architectural and historic interest. The Act is the legislative foundation in terms of decision making in relation to both listed buildings and conservation areas.

Section 66 of the Act states that;

“In considering whether to grant planning permission for development which affects a listed building or its setting, the local planning authority or, as the case may be, the Secretary of State shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses

The duty at Section 72 (1) of the Planning (Listed Buildings and Conservation Areas) Act 1990 states:

“In the exercise, with respect to any buildings or other land in a conservation area ... special attention shall be paid to the desirability of preserving or enhancing the character or appearance of that area”.

5.2 NATIONAL PLANNING POLICY

The relevant national planning policies are contained within the National Planning Policy Framework (NPPF) 2021, which sets out the Government's economic, environmental and social planning policies for England and how these policies should be applied. The overarching principle of the NPPF is that of achieving 'sustainable development'.

It is chapter 16 of the NPPF which addresses the national planning considerations in relation to the historic environment and how sustainable development within the historic environment can be achieved. The general principle suggested by these policies is that development which does not give due regard to the conservation of heritage assets will not be considered as 'sustainable development' and will therefore be considered as unacceptable and will not be supported by decision making bodies. The policies within the NPPF highlight the need to assess the significance of Heritage Assets and their setting which are to be affected by design proposals for change in order to inform this change and requires that the impact of any such change is assessed.

5.3 LOCAL PLANNING POLICY

The relevant local planning policies pertaining to the historic environment are contained within the Ribble Valley Borough Council Adopted Core Strategy which forms the central document of the Local Development Framework (LDF), establishing the vision, underlying objectives and key principles that will guide the development of the borough.

The relevant Local Planning policies consist of the following;

Key Statement EN5: Heritage Assets

The Historic Environment and its Heritage Assets and their settings will be conserved and enhanced in a manner appropriate to their significance for their heritage value; their important contribution to local character, distinctiveness and sense of place; and to wider social, cultural and environmental benefits. This will be achieved through:

Recognising that the best way of ensuring the long-term protection of heritage assets is to find an optimum viable use that strikes the correct balance between economic viability and impact on the significance of the asset. Keeping Conservation Area Appraisals under review to ensure that any development proposals respect and safeguard the character, appearance and significance of the area.

Carefully considering any development proposals that adversely affect a designated heritage asset or its setting in line with the Development Management policies. Requiring all development proposals to make a positive contribution to local distinctiveness/sense of place. The consideration of Article 4 Directions to restrict permitted development rights where the exercise of such rights would harm the historic environment.

Policy DME4: Protecting Heritage Assets

There will be a presumption in favour of the conservation and enhancement of the significance of heritage assets and their settings.

1. Conservation Areas

Proposals within, or affecting views into and out of, or affecting the setting of a conservation area will be required to conserve and where appropriate enhance its character and appearance and those elements which contribute towards its significance. This should include considerations

as to whether it conserves and enhances the special architectural and historic character of the area as set out in the relevant conservation area appraisal. Development which makes a positive contribution and conserves and enhances the character, appearance and significance of the area in terms of its location, scale, size, design and materials and existing buildings, structures, trees and open spaces will be supported.

In the conservation areas there will be a presumption in favour of the conservation and enhancement of elements that make a positive contribution to the character or appearance of the conservation area.

2. Listed buildings and other buildings of significant heritage interest

Alterations or extensions to listed buildings or buildings of local heritage interest, or development proposals on sites within their setting which cause harm to the significance of the heritage asset will not be supported.

Any proposals involving the demolition or loss of important historic fabric from listed buildings will be refused unless it can be demonstrated that exceptional circumstances exist.

3. Registered historic parks and gardens of special historic interest and other gardens of significant heritage interest

Proposals which cause harm to or loss of significance to registered parks, gardens or landscapes of special historic interest or other gardens of significant local heritage interest, including their setting, will not be supported.

4. Scheduled monuments and other archaeological remains

Applications for development that would result in harm to the significance of a scheduled monument or nationally important archaeological sites will not be supported.

Developers will be expected to investigate the significance of non-designated archaeology prior to determination of an application. Where this demonstrates that the significance is equivalent to that of designated assets, proposals which cause harm to the significance of non-designated assets will not be supported.

Where it can be demonstrated that the substantial public benefits of any proposals outweigh the harm to or loss of the above, the council will seek to ensure mitigation of damage through preservation of remains in situ as the preferred solution. Where this is not justified developers will be required to make adequate provision for excavation and recording of the asset before or during excavation.

Proposals should also give adequate consideration of how the public understanding and appreciation of such sites could be improved.

In line with NPPF, Ribble Valley aims to seek positive improvements in the quality of the historic environment through the following:

- a) monitoring heritage assets at risk and; i) supporting development/re-use proposals consistent with their conservation; core strategy adoption version 99 ii) considering use of legal powers (building preservation notices, urgent works notices) to ensure the proper preservation of listed buildings and buildings within the conservation areas.
- b) Supporting redevelopment proposals which better reveal the significance of heritage assets or their settings.
- c) Production of design guidance.
- d) Keeping conservation area management guidance under review.
- e) Use of legal enforcement powers to address unauthorised works where it is expedient to do so.
- f) Assess the significance and opportunities for enhancement of non-designated heritage assets through the development management process.

Clitheroe Conservation Area Appraisal (2005)

This documents, produced on behalf of Ribble Valley Borough Council, provides a detailed description and analysis of the various features that contribute and form the special architectural and historic interest of the Clitheroe Conservation Area. It also describes specific strengths, weaknesses, opportunities and threats in relation to the special architectural and historic interest of the conservation area,

Clitheroe Conservation Area Management Plan (2005)

This document provides brief guidance and advice for assisting in the preservation and enhancement of aspects of the Clitheroe Conservation Area.

SECTION 06

HERITAGE IMPACT ASSESSMENT

6.1 ASSESSMENT OF HERITAGE IMPACT

Impact on the Clitheroe Conservation Area:

The proposed works are limited to the interior of the building meaning that there will be no undue harm to the special interest and character and appearance of the Clitheroe Conservation Area. The proposed drainage and extract fan outlet will be visible externally, but given that these are minor and will not be visible from the public realm, they will have no significant harm on the Clitheroe Conservation Area.

Impact on the listed building:

The harm to the fabric of the building will also be negligible in that the small wall penetrations that are required for pipework and ducting are only minor in nature and scale and only require a small amount of fabric from the external wall to be removed. This will have a negligible impact on the external appearance of the building and no impact on the principal front elevation.

The proposed WC enclosure is small in size and is the minimum required by the client and forms only a minor projection into the room. In doing so, the plan form of the dining room remains uncharmed and the use of a sliding door as opposed to a conventional door will denote the WC as an enclosure / internal fixture as opposed to a formal room.

The proposal is considered to be reversible and the studwork, sliding door and sanitaryware can easily be removed, with a negligible impact on historic fabric.

Consultation with statutory consultees as part of the planning application process is likely to identify where the buildings would benefit from additional controls and how these could be justifiably applied by way of planning conditions.

6.2 MITIGATION STRATEGY

Mitigation against harm will be achieved in the following ways;

- A brief photographic record of the affected areas of the building interior could be undertaken and secured by way of a planning condition to record the affected interior prior to alteration.
- Material samples, construction details and specifications should be submitted to the local planning authority to ensure compatibility within this historic context.
- Details for the appearance of the proposed sliding door should be submitted to the local planning authority to ensure it is of a suitable appearance.

APPENDIX A

32 – 36 PARSON LANE: LIST ENTRY

Late C18 cottages of 3 storeys in coursed stone, No 36 rough rendered with Welsh slate roof. Nos 32 and 34 rusticated quoins and moulded eaves cornice. 1 window each on 3 floors, stone surrounds, modern glazing. Stone surrounds to doors of 6 fielded panels to No 32, modern glazing to No 32, rectangular fanlights. Plain wood surround to lower door to No 36. Nos 16 to 20 (even), New Inn, Nos 28 to 36 (even) form a group.

APPENDIX B

CLITHEROE CONSERVATION AREA: SUMMARY OF SPECIAL INTEREST

The CLITHEROE Conservation Area was designated in October 1973 and extended in 1979. The special interest that justifies the designation of the Chatburn Conservation Area derives from the following features:

- Clitheroe Castle, a Scheduled Ancient Monument;
- The relatively intact medieval layout of the original settlement;
- The Castle Grounds which are included on the English Heritage Register of Parks and Gardens;
- The architectural and historic interest of the area's buildings, 88 of which are listed;
- Church Street, the best area of Clitheroe's historic townscape;
- Historic late 19th century townscape along King Street including Police Station (1886), former Post Office (1879) and Victoria Buildings;
- Planned grid pattern of typical late 19th century terraced housing (Railway Terrace, Waddington Road, St Mary's Street and Brennand Street);
- Good examples of late 19th century terraced houses in Eshton Terrace;
- The prevalent use of local building stone;
- The distinctive skyline, especially as viewed from the Bashall Eaves area of the Borough;
- Open space beside Mearley Brook at the rear of SS Michael and John's Church;
- The Market Place;
- Traditional 19th century shopfronts;
- Views of Pendle Hill and distant fells to the west;
- Panoramic views from Clitheroe Castle;
- A pleasing historic townscape enhanced by the town's changes of level and curves in the old streets and areas of historic stone floorscape;
- Stone paved pedestrian alleys off Moor Lane and Church Street;
- Individual trees and groups of trees in the area's three significant open spaces.