



Arboricultural Impact Assessment Overview

in Relation to Proposed Construction of Holiday Cabin at



**Pendle View Barn, Moorgate Lane,
Dinckley, Lancashire, BB6 8AN**

Prepared by:

Bowland 
Tree Consultancy Ltd

December 2022

ARBORICULTURAL IMPACT ASSESSMENT OVERVIEW PENDLE VIEW BARN, DINCKLEY

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ARBORICULTURAL IMPACT ASSESSMENT OVERVIEW
PENDLE VIEW BARN, DINCKLEY

PROJECT DETAILS

Project No.: BTC2617

Site: Pendle View Barn, Moorgate Lane, Lancashire, BB6 8AN

Agent for Client: Gary Hoerty Associates

Council: Ribble Valley Borough Council

Survey Date: 22 November 2022

Surveyed by: Ryan Gledhill FdSc MArborA

Prepared by: Ryan Gledhill FdSc MArborA

Checked by: Joseph Lambert BSc(Hons) FdSc MArborA

Date of Issue: 8 December 2022

Version No: 1

TREE SURVEY SCHEDULE FOR ARBORICULTURAL IMPACT ASSESSMENT							
Site:	Pendle View Barn, Moorgate Lane, Dinckley, Lancashire, BB6 8AN						
Agent:	Gary Hoerty Associates						

Surveyor:	Ryan Gledhill FdSc MArborA
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Job Reference:	BTC2617

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No.	Species	Height	Stem Diam.	Branch Spread	Branch & Canopy Clearances	Life Stage	PC	General Observations and Comments	Management Recommendations	ERC	Cat. Grade	RPA (m ²)	RPA Radius (m)
T1	Common Ash	10.5	520	N 3 E 0.5 S 2 W 3	6-S 3	EM	M	<ul style="list-style-type: none"> Stem bifurcates at a height of approximately 1.6m. East primary leader removed at a height of 1.8m to a very poor standard with subsequent stem tear from pruning wound down to base. Previously crown lifted to a height of approximately 5.5m. Canopy highly biased west towards area of hardstanding. Signs of early canopy decline indicative of colonisation by Ash Dieback Disease (ADD). 	<ul style="list-style-type: none"> Remove tree due to projected continued progression of ADD and subsequent decline. 	<10	U	122	6.24
T2	Common Oak	11	800#	N 2.5 E 3.5 S 4 W 3	3 3	M	G	<ul style="list-style-type: none"> Located on neighbouring land and therefore not accessed to inspect in detail. View obstructed by boundary hedge. Slight stem lean and significant upper canopy bias east. Several instances of deadwood to a diameter of approximately 100mm. 	<ul style="list-style-type: none"> Retain tree in context of proposed development. Ensure protection of tree's Root Protection Area (RPA) (see Tree Impact Plan (TIP)) throughout development through establishment of Construction Exclusion Zone (CEZ) in accordance with appended specification. Construct proposed timber framed holiday accommodation and surrounding patio area onto concrete pads which are to be set onto existing compacted hard surfacing only with no excavation required within indicated RPAs. NB: Structural engineer/project architect to supply detailed construction drawings to LPA inclusive of existing and proposed levels within RPA. NB: Tree's protection during development can be assured through imposition of a suitably worded condition attached to a planning approval requiring provision of and adherence to a site and development specific Arboricultural Method Statement (AMS) and Tree Protection Plan (TPP). 	40+	A1	290	9.6

Headings and Abbreviations:

No.	Allocated sequential reference number - Tree ('T'), Group ('G'), Woodland ('W') or Hedge ('H') reference number - refer to plan and to numbered tags where applicable
Species:	Common name
Height:	In metres, to half nearest metre – where possible approximately 80% are measured using an electronic clinometer and the remainder estimated against the measured trees. In the case of Groups and Woodlands the measurement listed is that of the highest tree
Stem Diam.:	Stem diameter in millimetres, to nearest 10mm - measured and calculated as per Annex C of BS5837:2012. MS = multi-stemmed, TS = twin-stemmed
Branch Spread:	Crown radius measured (or estimated where considered appropriate) from the four cardinal points (north, east, south and west) to give an accurate visual representation of the crown
Branch & Canopy Clearances:	Existing height above ground level, in metres, of first significant branch and direction of growth (e.g. 2.5-N) and of canopy at lowest point – to inform on crown to height ratio, potential for shading, etc.
Life Stage:	Estimated age class - Y = young, SM = semi-mature, EM = early-mature, M = mature, PM = post-mature
PC:	Physiological Condition - a measure of the tree(s)' overall vitality, i.e. D = Dead, MD = Moribund, P = Poor, M = Moderate, G = Good
General Observations and Comments:	Comments relating to the tree(s)' overall condition and any other pertinent factors including structural defects, current and potential direct structural damage, physiological decline, poor form, etc.
Management Recommendations:	Either Preliminary or In Consideration of the Proposal - In the case of Arboricultural Constraints Surveys the recommended management works only take existing site and tree circumstances and conditions into account and not proposed developments. Arboricultural Impact Assessment and Method Statement related Surveys take the proposed development into consideration with recommendations made accordingly. More than one option may be given if considered appropriate
ERC:	Estimated Remaining Contribution - in years as per BS5837:2012 (i.e. <10, 10+, 20+, 40+)
Cat. Grade:	Category Grading - tree retention value listed as U, A, B or C - in accordance with BS5837:2012 Table 1
RPA m²:	Root Protection Area in m ² - calculated area around the tree that must be appropriately protected throughout the development process in order avoid root damage
RPA Radius (m):	Root Protection Area Radius - in metres measured from the centre of the stem to the line of tree protection
# (Estimated Dimensions):	Where trees are located off-site, or are inaccessible for any other reason, and accurate measurements or other information cannot be taken then the information provided is estimated and is duly suffixed with a "#" symbol

TREE SURVEY SCHEDULE FOR ARBORICULTURAL IMPACT ASSESSMENT							
Site:	Pendle View Barn, Moorgate Lane, Dinckley, Lancashire, BB6 8AN						
Agent:	Gary Hoerty Associates						

Surveyor:	Ryan Gledhill FdSc MArborA
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No.	Species	Height	Stem Diam.	Branch Spread	Branch & Canopy Clearances	Life Stage	PC	General Observations and Comments	Management Recommendations	ERC	Cat. Grade	RPA (m)	RPA Radius (m)
T3	Common Lime		670	N 3 E 3 S 3 W 3	4 4	EM	G	<ul style="list-style-type: none"> Compacted hardstanding abutting stem base. Existing building erected 1.5m from stem. Crown lifted to a height of approximately 5m to facilitate clearance over building. Frequent instances of poor internodal pruning. Moderate instances of deadwood to a diameter of approximately 90mm in upper crown over property. 	<ul style="list-style-type: none"> Retain tree in context of proposed development. Ensure protection of tree's RPA (see TIP) throughout development through establishment of CEZ in accordance with appended specification. Tree contractor to prune tree to remove deadwood >35mm diameter over existing building. Construct proposed timber framed holiday accommodation and surrounding patio area onto concrete pads which are to be set onto existing compacted hard surfacing only with no excavation required within indicated RPAs. NB: Structural engineer/project architect to supply detailed construction drawings to LPA inclusive of existing and proposed levels within RPA. NBB: Tree's protection during development can be assured through imposition of a suitably worded condition attached to a planning approval requiring provision of and adherence to a site and development specific AMS and TPP. 	20+	B1	203	8.04
T4	Wych Elm	11	700	N 5.5 E 6 S 5.5 W 4	3-E 4	M	G	<ul style="list-style-type: none"> Dense basal epicormic growth and ivy cover from base to upper crown preventing a clear visual tree inspection. Compacted hardstanding area over majority of projected rooting area. Public highway extents located <2m from stem base. Canopy suppressed and moderately biased east. 	<ul style="list-style-type: none"> Retain tree in context of proposed development. Ensure protection of tree's RPA (see TIP) throughout development through establishment of CEZ in accordance with appended specification. Tree contractor to remove basal epicormic shoots and ivy cover to facilitate a clear visual inspection. Construct proposed timber framed holiday accommodation and surrounding patio area onto concrete pads which are to be set onto existing compacted hard surfacing only with no excavation required within indicated RPAs. NB: Structural engineer/project architect to supply detailed construction drawings to LPA inclusive of existing and proposed levels within RPA. NBB: Tree's protection during development can be assured through imposition of a suitably worded condition attached to a planning approval requiring provision of and adherence to a site and development specific AMS and TPP. 	20+	B1	222	8.4

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No.	Species	Height	Stem Diam.	Branch Spread	Branch & Canopy Clearances	Life Stage	PC	General Observations and Comments	Management Recommendations	ERC	Cat. Grade	RPA (m.)	RPA Radius (m)	
T5	Horse Chestnut	10	760	N E S W	6.5 6 5.5 6.5	2-S 2	M	G	<ul style="list-style-type: none">Compacted hardstanding area over majority of root area.Slight stem lean north.Previously crown lifted to a height of approximately 4m over public highway and site vehicle access drive.Instances of significant bark fissuring and discoloration, indicative of a moderate infection of Horse Chestnut Bleeding Canker.	<ul style="list-style-type: none">Retain tree in context of proposed development.Ensure protection of tree's RPA (see TIP) throughout development through establishment of CEZ in accordance with appended specification.Construct proposed timber framed holiday accommodation and surrounding patio area onto concrete pads which are to be set onto existing compacted hard surfacing only with no excavation required within indicated RPAs. NB: Structural engineer/project architect to supply detailed construction drawings to LPA inclusive of existing and proposed levels within RPA.NBB: Tree's protection during development can be assured through imposition of a suitably worded condition attached to a planning approval requiring provision of and adherence to a site and development specific AMS and TPP.	20+	B1	261	9.12
T6	Sycamore	9	130	N E S W	1 2 3 2	4-S 5	SM	M	<ul style="list-style-type: none">Self-seeded tree growing atop drainage embankment.Not projected to be impacted by proposed development works.	<ul style="list-style-type: none">Retain tree in context of proposed development.	10+	C1	8	1.56
T7	Whitebeam	9	200#	N E S W	3 3 3 3	3 3	EM	G	<ul style="list-style-type: none">Located on neighbouring land and therefore not accessed to inspect in detail.View obstructed by boundary hedge.Minor instances of deadwood to a diameter of approximately 40mm.Not projected to be impacted by proposed development works.	<ul style="list-style-type: none">Retain tree in context of proposed development.	10+	C1	18	2.4
G1	2no. Norway Maple, 2no. Horse Chestnut, 1no. Common Lime, 1no. Sycamore.	≤ 15	≤ 620	N E S W	≤ 6 ≤ 5 ≤ 3 ≤ 5	4-E ≥ 2	SM-EM	M-G	<ul style="list-style-type: none">Closely spaced linear group.Three trees to group's southern extents growing within compacted hardstanding area abutting stem bases.Trees located to group's northern extents not inspected in detail due to livestock in field.Norway Maple at group's northern extents exhibiting signs of significant bark necrosis and state of decline.Frequent instances of poor internodal pruning from previous works to crown lift to a height of 4m.Mutual group suppression.	<ul style="list-style-type: none">Retain group in context of proposed development.Ensure protection of tree's RPA (see TIP) throughout development through establishment of CEZ in accordance with appended specification.NB: Tree's protection during development can be assured through imposition of a suitably worded condition attached to a planning approval requiring provision of and adherence to a site and development specific AMS and TPP.	20+	B2	≤ 174	≤ 7.44

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H1	Cherry Laurel	≈ 3	70#	≈ 1 wide	N/A 0	SM	G	▪ Managed hedge.	<ul style="list-style-type: none"> ▪ Retain hedge in context of proposed development. ▪ Ensure protection of tree's RPA (see TIP) throughout development through establishment of CEZ in accordance with appended specification. ▪ NB: Tree's protection during development can be assured through imposition of a suitably worded condition attached to a planning approval requiring provision of and adherence to a site and development specific AMS and TPP. 	10+	C2	N/A	≈ 0.84

BS5837:2012 Table 1 – Cascade Chart for Tree Quality Assessment

Category and definition	Criteria (including subcategories where appropriate)			Identification on plan
Trees unsuitable for retention (see Note)				
Category U Those in such a condition that they cannot realistically be retained as living trees in the context of the current land use for longer than 10 years	<ul style="list-style-type: none">Trees that have a serious, irremediable, structural defect, such that their early loss is expected due to collapse, including those that will become unviable after removal of other category U trees (e.g. where, for whatever reason, the loss of companion shelter cannot be mitigated by pruning)Trees that are dead or are showing signs of significant, immediate, and irreversible overall declineTrees infected with pathogens of significance to the health and/or safety of other trees nearby, or very low quality trees suppressing adjacent trees of better quality <i>Note: Category U trees can have existing or potential conservation value which it might be desirable to preserve; see BS5837:2012 paragraph 4.5.7.</i>			Red
	1. Mainly arboricultural qualities	2. Mainly landscape qualities	3. Mainly cultural values, including conservation	
Trees to be considered for retention				
Category A Trees of high quality with an estimated remaining life expectancy of at least 40 years	Trees that are particularly good examples of their species, especially if rare or unusual; or those that are essential components of groups or formal or semi-formal arboricultural features (e.g. the dominant and/or principal trees within an avenue)	Trees, groups or woodlands of particular visual importance as arboricultural and/or landscape features	Trees, groups or woodlands of significant conservation, historical, commemorative or other value (e.g. veteran trees or wood-pasture)	Green
Category B Those of moderate quality and value: those in such a condition as to make a significant contribution. A minimum of 20 years is suggested.	Trees that might be included in the high category, but are downgraded because of impaired condition. Examples include the presence of remediable defects including unsympathetic past management and minor storm damage	Trees present in numbers, usually as groups or woodlands, so they form distinct landscape features which attract a higher collective rating than they might as individuals. But which are not, individually, essential components of formal or semi-formal arboricultural features. For example, trees of moderate quality within an avenue that includes better, A category specimens. Or trees which are internal to the site, therefore individually having little visual impact on the wider locality	Trees with clearly identifiable conservation or other cultural benefits	Blue
Category C Those trees of low quality and value: currently in adequate condition to remain until new planting could be established - a minimum of 10 years is suggested - or young trees with a stem diameter below 150 mm	Trees not qualifying in higher categories	Trees present in groups or woodlands, but without this conferring on them significantly greater landscape value, and/or trees offering low or only temporary screening benefit	Trees with very limited conservation or other cultural benefits	Grey
	Note – Whilst C category trees will usually not be retained where they would impose a significant constraint on development, young trees with a stem diameter of less than 150mm should be considered for relocation			

- TEMPORARY PROTECTIVE FENCING & GROUND PROTECTION SPECIFICATION -

Construction Exclusion Zones (CEZs), shall be enclosed by **Temporary Protective Fencing** and/or, where necessary, **Temporary Ground Protection Measures**. The fencing/ground protection Type(s), locations, and extents shall be agreed, in writing, with the Local Planning Authority (LPA). In turn, the **Temporary Protective Fencing** and/or **Temporary Ground Protection Measures** shall:

1. be constructed as in accordance with the Type 1, Type 2 or Type 3 'Temporary Protective Fencing Construction' sections and, where applicable the 'Temporary Ground Protection Measures' section, as detailed herein and agreed, in advance with the LPA;
2. be retained in place throughout the development process until completion of the project, and only removed following receipt of written permission from the LPA;
3. be sited in the area(s) defined by the Root Protection Areas on the associated Tree Impact Plan, or as the CEZs on the Tree Protection Plan;
4. be erected prior to any construction, demolition or excavation works and remain in place for the duration of the project;
5. preclude any delivery of site accommodation and/or materials and/or plant machinery;
6. preclude all construction related activity, with the sole exception of specified arboricultural works and any other works to be carried out under supervision that have been agreed by all parties;
7. preclude the storage of all development related materials and substances including fuels, oils, additives, cement and/or any other deleterious substance; and
8. be affixed with a 600mm x 300mm warning sign reading "TREE PROTECTION AREA KEEP OUT" (see Figure 1, below), at every 10.0 metre length of protective fencing.
9. Important: Any incursion into CEZs must be by prior arrangement, following consultation with the LPA.

Figure 1: CEZ Warning Sign

**- TREE PROTECTION AREA –
KEEP OUT!**

(TOWN & COUNTRY PLANNING ACT 1990)

**THE TREES ENCLOSED BY THIS FENCE ARE PROTECTED BY PLANNING
CONDITIONS AND/OR SUBJECTS OF A 'TREE PRESERVATION ORDER',
THE CONTRAVENTION OF WHICH MAY LEAD TO CRIMINAL
PROSECUTION**

THE FOLLOWING MUST BE OBSERVED BY ALL PERSONNEL:

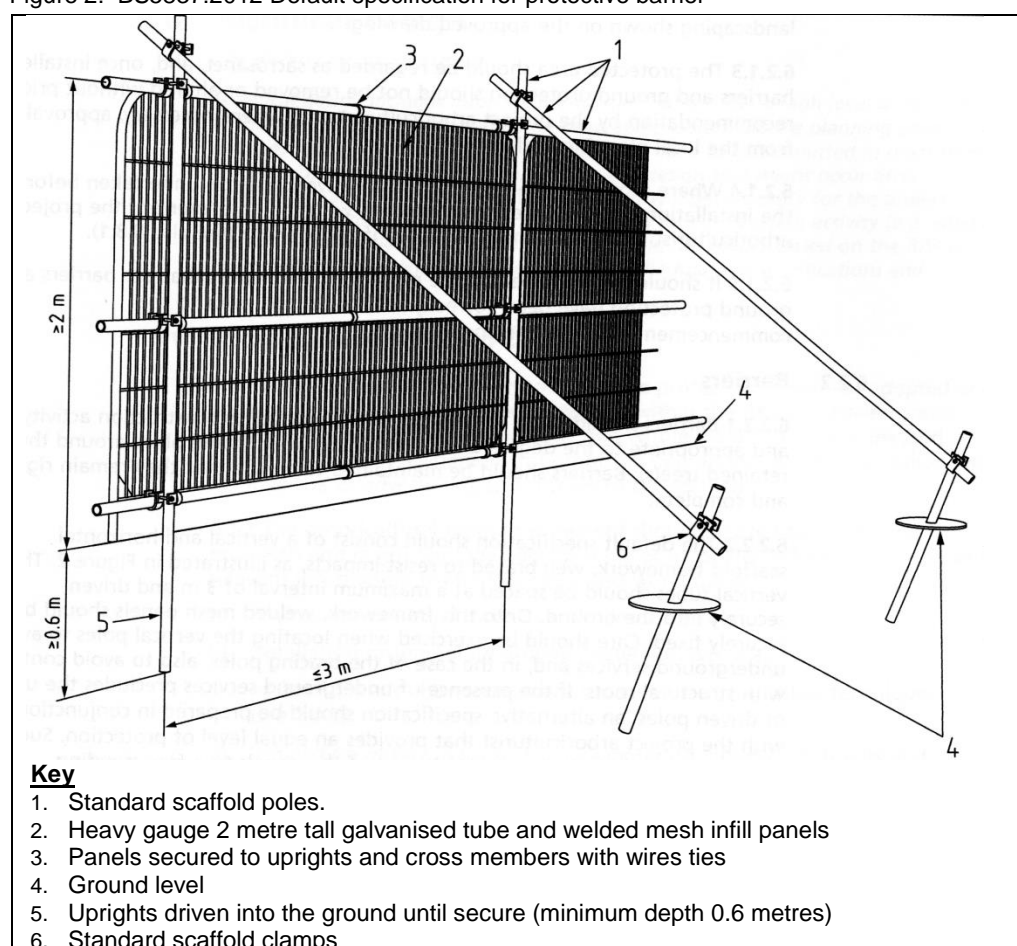
- THE PROTECTIVE FENCING MUST NOT BE MOVED
- NO PERSON SHALL ENTER THE CONSTRUCTION EXCLUSION ZONE
- NO MACHINE, PLANT OR VEHICLES SHALL ENTER THE EXCLUSION ZONE
- NO MATERIALS SHALL BE STORED IN THE EXCLUSION ZONE
- NO SPOIL SHALL BE DEPOSITED IN THE EXCLUSION ZONE
- NO EXCAVATION SHALL OCCUR IN THE EXCLUSION ZONE
- NO FIRES SHALL BE LIT IN THE EXCLUSION ZONE

**ANY INCURSION INTO THE EXCLUSION ZONE MUST BE WITH THE
WRITTEN PERMISSION OF THE LOCAL PLANNING AUTHORITY**

Type 1 (i.e. 'Default') Temporary Protective Fencing Construction (see Figure 2, below)

1. Temporary protective fencing panels shall be weldmesh "Heras" panels of at least 2.0 metres in height.
2. The panels shall butt together and be securely fixed to a scaffold framework, as per points 3 to 5 of Figure 2, overleaf.
3. The scaffold framework shall comprise of upright poles of at least 3.0 metres in length driven no less than 0.6 metres into the ground at maximum 3.0 metre centres with horizontal and diagonal poles fixed to the uprights, as per points 4 to 5.
4. The two horizontal rail poles shall be attached to the uprights at heights of 0.6 and 1.8 metres with 3 no. clamps to each joint.
5. The diagonal scaffold pole struts be clamped to the top rail of the scaffold framework at a 45° angle and extend back into the CEZ and clamped to a 0.7 metre length of scaffold tube that shall be driven no less than 0.5m into the ground.
6. No fixing shall be made to any tree and all possible precautions shall be taken to prevent damage to tree roots when locating posts.
7. A 600mm x 300mm warning sign reading "TREE PROTECTION AREA KEEP OUT" (see Figure 1) shall be fixed to every 10.0 metre length of protective fencing.
8. On completion of erection, and prior to any demolition or construction works, site preparation, excavation or delivery of plant and materials, the Consulting Arboriculturist or the LPA Tree Officer, as agreed, shall inspect the Temporary Protective Fencing.

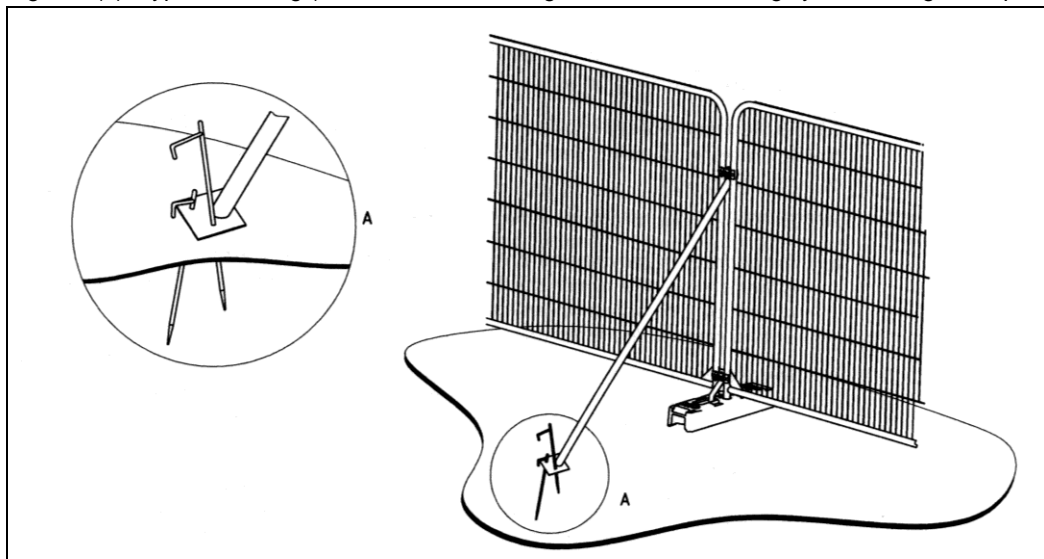
Figure 2: BS5837:2012 Default specification for protective barrier



Type 2 Temporary Protective Fencing Construction (see Figure 3(a), below)

1. Temporary protective fencing panels shall be weldmesh "Heras" panels of at least 2.0 metres in height.
2. The panels shall stand on rubber or concrete feet.
3. The panels shall butt together, and be joined together using a minimum of two anti-tamper couplers, installed so that they can only be removed from inside the fence.
4. The distance between the fence couplers shall be at least 1.0 metre, and shall be uniform throughout the fence.
5. The panels shall be supported on the inner side by stabiliser struts, which shall be clamped to the scaffold framework at a 45° angle and extend back into the CEZ and shall be attached to a base plate, which shall be secured to the ground with pins (Figure 3a).
6. No fixing shall be made to any tree and all possible precautions shall be taken to prevent damage to tree roots when locating posts.
7. A 600mm x 300mm warning sign reading "TREE PROTECTION AREA KEEP OUT" (see Figure 1) shall be fixed to every 10.0 metre length of protective fencing.
8. On completion of erection, and prior to any demolition or construction works, site preparation, excavation or delivery of plant and materials, the Consulting Arboriculturist or the LPA Tree Officer, as agreed, shall inspect the Temporary Protective Fencing.

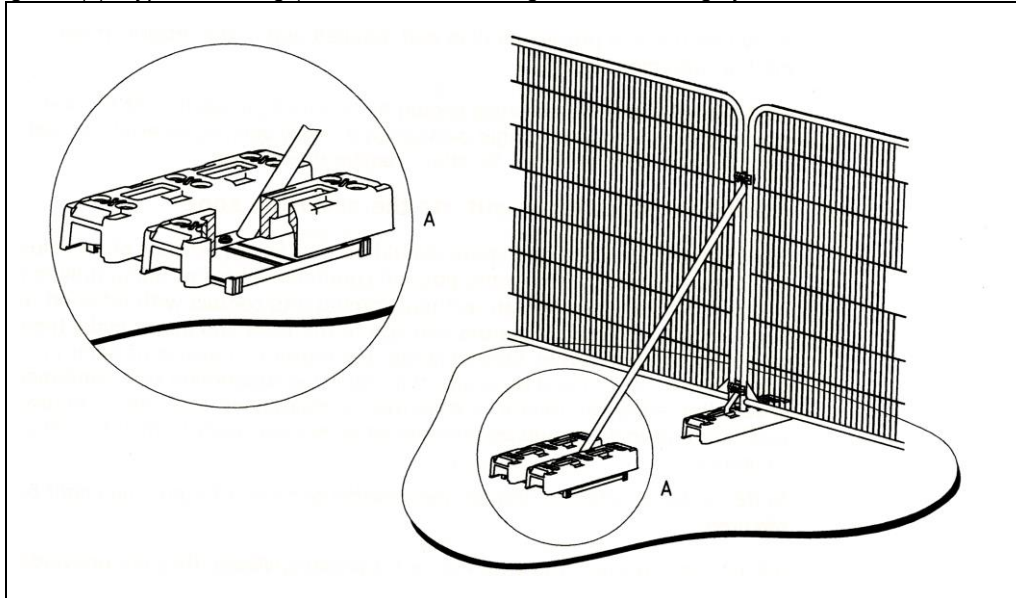
Figure 3(a): Type 2 Fencing (BS5837:2012 above-ground strut stabilising system with ground pins)



Type 3 Temporary Protective Fencing Construction (see Figure 3(b), overleaf)

1. Temporary protective fencing panels shall be weldmesh "Heras" panels of at least 2.0 metres in height.
2. The panels shall stand on rubber or concrete feet.
3. The panels shall butt together, and be joined together using a minimum of two anti-tamper couplers, installed so that they can only be removed from inside the fence.
4. The distance between the fence couplers shall be at least 1.0 metre, and shall be uniform throughout the fence.
5. The panels shall be supported on the inner side by stabiliser struts, which shall be clamped to the scaffold framework at a 45° angle and extend back into the CEZ and shall be attached to a block tray base (Figure 3b).
6. No fixing shall be made to any tree and all possible precautions shall be taken to prevent damage to tree roots when locating posts.
7. A 600mm x 300mm warning sign reading "TREE PROTECTION AREA KEEP OUT" (see Figure 1) shall be fixed to every 10.0 metre length of protective fencing.
8. On completion of erection, and prior to any demolition or construction works, site preparation, excavation or delivery of plant and materials, the Consulting Arboriculturist or the LPA Tree Officer, as agreed, shall inspect the Temporary Protective Fencing.

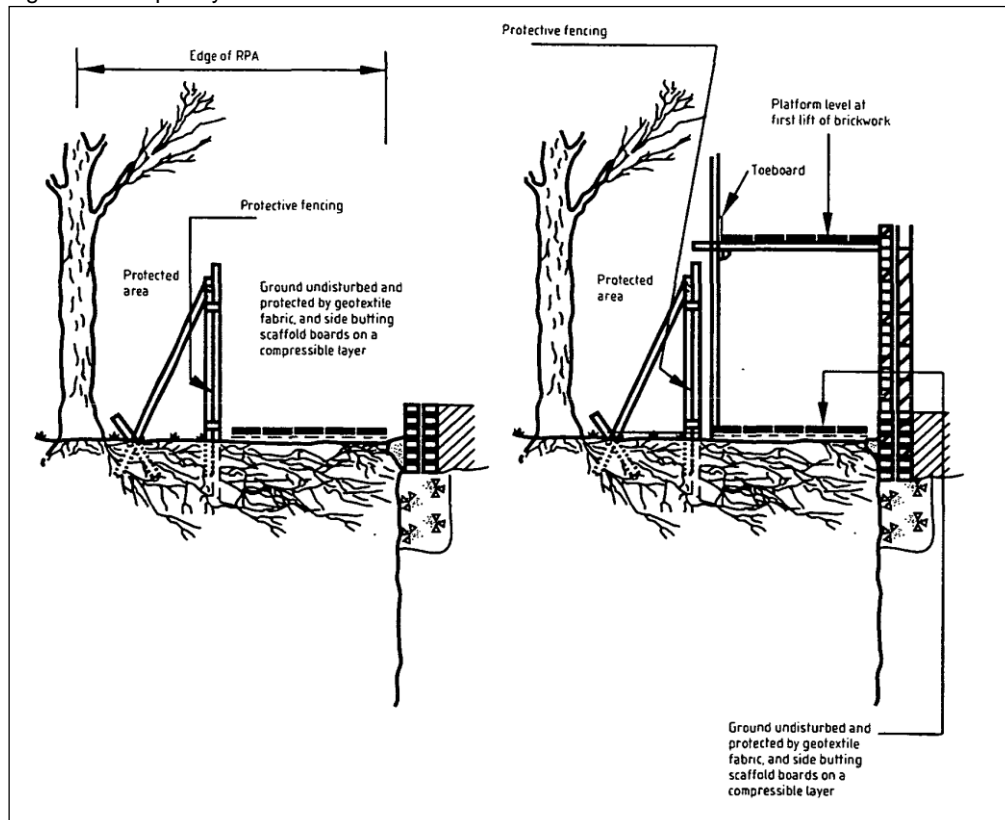
Figure 3(b): Type 3 Fencing (BS5837:2012 above-ground stabilising system with strut on block tray)

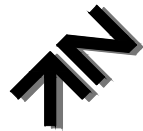
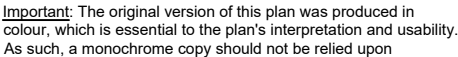


Temporary Ground Protection

1. Any necessary Temporary Ground Protection areas shall conform to Figure 4, below, unless otherwise agreed with the LPA.
2. The Ground Protection Area shall be left undisturbed and covered by a semi-permeable geotextile membrane which shall, in turn, be covered by a compressible layer consisting of a material such as woodchip.
3. Side-butting scaffold boards shall then be fitted to cover the Ground Protection Area.
4. On completion of installation, and prior to any demolition or construction works, site preparation, excavation or delivery of plant and materials, the Consulting Arboriculturist or the LPA Tree Officer, as agreed, shall inspect the Temporary Ground Protection.
5. The Temporary Ground Protection shall remain in place until completion of the project and only removed following receipt of written permission from the LPA.

Figure 4: Temporary Ground Protection – Recommended Construction





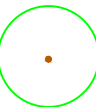
KEY

T = Individual Tree
G = Group of Trees
H = Hedge

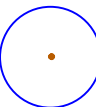
Please refer to associated Tree Survey Schedule and appendices for specific details in respect of items below:

Tree Categorisations:

Those to be Considered for Retention



Category 'A' Tree/Group/Hedge
*Those of a High Quality with an Estimated
 Remaining Life Expectancy of at Least 40
 Years*



Category 'B' Tree/Group/Hedge
Those of a Moderate Quality with an
Estimated Remaining Life Expectancy of a
Least 20 Years



Category 'C' Tree/Group/Hedge
Those of Low Quality with an Estimated
Remaining Life Expectancy of at Least 10
Years, or Young Trees

Those Considered Unsuitable for Retention:



Category 'U' Tree/Group/Hedge
Those in Such a Condition that they Cannot
Realistically be Retained as Living Trees in
the Context of the Current Land Use for
Longer Than 10 Years

Note: The locations of trees T2, T6 and T7, and hedge H1, were not included on the topographical survey plan provided, and were subsequently plotted by the arboriculturist at the time of the survey using GPS and, where possible, measurement from existing site features or, where not possible, estimation. As such, the locations of these trees and the locations and extents of this hedge cannot therefore be considered to be entirely accurate

Root Protection Areas (RPAs):



RPAs
Area(s) of Ground Around Trees that
Should be Protected Throughout
Development Works with Protective Fencing
to form a Construction Exclusion Zone - see
Temporary Protective Fencing Specifications

Project:
PENDLE VIEW BARN
MOORGATE LANE
DINCKLEY
LANCASHIRE
BB6 8AN

Agent:
GARY HOERTY ASSOCIATES

Title:
TREE CONSTRAINTS PLAN
in Relation to Proposed Construction of Holiday Cabin

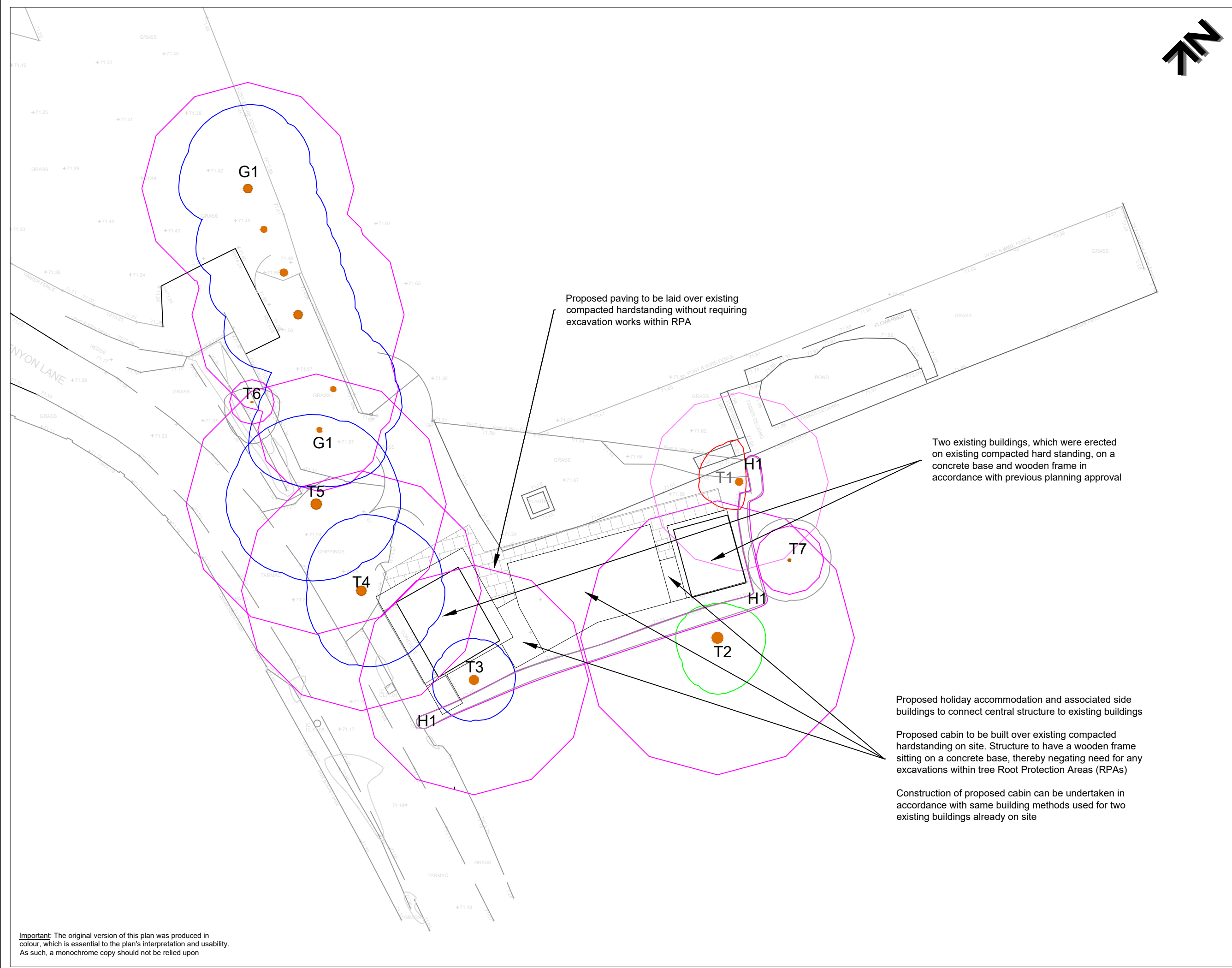
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Date: November 2022
Drawn by: MM
Checked by: RG



e: info@bowlandtreeconsultancy.co.uk
t: 01772 437150

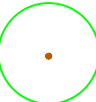
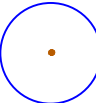


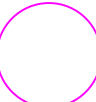
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Rev:




KEY	
T = Individual Tree	
G = Group of Trees	
H = Hedge	

Please refer to associated Tree Survey Schedule and appendices for specific details in respect of items below:

Tree Categorisations:	
Those to be Considered for Retention:	
	Category 'A' Tree/Group/Hedge Those of a High Quality with an Estimated Remaining Life Expectancy of at Least 40 Years
	Category 'B' Tree/Group/Hedge Those of a Moderate Quality with an Estimated Remaining Life Expectancy of at Least 20 Years
	Category 'C' Tree/Group/Hedge Those of Low Quality with an Estimated Remaining Life Expectancy of at Least 10 Years, or Young Trees
Those Considered Unsuitable for Retention:	
	Category 'U' Tree/Group/Hedge Those in Such a Condition that they Cannot Realistically be Retained as Living Trees in the Context of the Current Land Use for Longer Than 10 Years
Note 1: The locations of trees T2, T6 and T7, and hedge H1, were not included on the topographical survey plan provided, and were subsequently plotted by the arboriculturist at the time of the survey using GPS and, where possible, measurement from existing site features or, where not possible, estimation. As such, the locations of these trees and the locations and extents of this hedge cannot therefore be considered to be entirely accurate	
Note 2: Trees with their identifying numbers labelled in grey are proposed for removal in the context of the proposed development	
Root Protection Areas (RPAs):	
	RPAs Area(s) of Ground Around Trees that Should be Protected Throughout Development Works with Protective Fencing to form a Construction Exclusion Zone - see Temporary Protective Fencing Specification

Project: PENDLE VIEW BARN MOORGATE LANE DINCKLEY LANCASHIRE BB6 8AN	
Agent: GARY HOERTY ASSOCIATES	
Title: TREE IMPACT PLAN in Relation to Proposed Construction of Holiday Cabin	
Scale:	1:250@A3
Date:	December 2022
Drawn by:	RG
Checked by:	JL



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Ref: BTC2617-TIP	Rev:
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