

# HERITAGE STATEMENT

AMELIORATION OF UNAUTHORISED WORKS AND  
PROPOSED INTERNAL AND EXTERNAL ALTERATIONS / WORKS

AT

THE PRIORY

HELLIFIELD ROAD

GISBURN

LANCASHIRE

BB7 3HU

NGR: SD 82999 48922



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SURVEYORS

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## CONTENTS

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### 1.0 INTRODUCTION

1.1	Overview	05
1.2	Purpose	05
1.3	Methodology	05
1.4	Author	06
1.5	Acknowledgements	06

---

### 2.0 UNDERSTANDING THE SITE

2.1	Site Location and Description	07
2.2	Built Form Analysis	08
2.3	Heritage Asset Designations	37
2.4	Historical Development	37
2.5	Planning History and Context	39

---

### 3.0 ASSESSMENT OF SIGNIFICANCE

3.1	Assessing Significance	41
3.2	Archaeological Interest	41
3.3	Architectural and Artistic Interest	42
3.4	Historic Interest	42
3.5	Statement of Significance	42

---

### 4.0 DEVELOPMENT PROPOSALS

4.1	Summary of Unauthorised Works	43
4.2	Summary of Proposals	44

---

### 5.0 PLANNING POLICY CONTEXT

5.1	National Legislation	46
5.2	National Planning Policy	46
5.3	Local Planning Policy	46

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### 6.0 HERITAGE IMPACT ASSESSMENT

6.1	Assessment of Heritage Impact	48
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### APPENDICES

Appendix A – The Priory: List Entry

Appendix B – Gisburn Conservation Area: Summary of  
Special Interest

## SECTION 01

# INTRODUCTION

### 1.1 OVERVIEW

This document has been produced in support of applications for listed building consent for the amelioration of various unauthorised works which have been undertaken as well as for various internal alterations to the building.

The Priory is a house of 19<sup>th</sup> century appearance and character however a physical assessment of the building suggests that it may have earlier origins. The building is grade II listed and is situated within the Gisburn Conservation Area.

### 1.2 PURPOSE

The purpose of this document is to provide the Local Planning Authority with the necessary and appropriate information that will inform the proposals. An assessment of the heritage values of the listed building and conservation area will be included to determine their significance. A heritage impact assessment has also been included to assess the potential implications of the proposals on the special interest of the listed building and conservation area.

It is produced in response to policies set out in Paragraph 189 of the National Planning Policy Framework, 2021 which states;

*In determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets' importance and no more than is sufficient to understand the potential impact of the proposal on their significance.<sup>1</sup>*

This document is produced in accordance with recently published Historic England guidance document 'Statements of Heritage Significance: Analysing Significance in Heritage

Assets' published on the 21<sup>st</sup> October 2019 and considered to be current best practice.<sup>2</sup>

### 1.3 METHODOLOGY

This document has been produced in accordance with a series of documents all of which are considered to be current best practice guidance and consist of the following;

- Historic England (2008) Conservation Principles, Policies and Guidance for the Sustainable Management of the Historic Environment.<sup>3</sup>
- Historic England (2019) Statement of Heritage Significance: Analysing Significance in Heritage Assets - Historic England Advice Note 12.<sup>4</sup>
- Chartered Institute for Archaeologists (2014) Standard and Guidance for the Archaeological Investigation and recording of Standing Buildings or Structures.<sup>5</sup>
- Chartered Institute for Archaeologists (2014) Standard and Guidance for Historic Environment Desk Based Assessment.<sup>6</sup>
- BS 7913:2013 – Guide to the Conservation of Historic Buildings

A search of the following databases and archives has been carried out as part of this investigation to identify published and unpublished sources of documentary evidence which contributes to an understanding of the site.

- Archaeological Data Service
- Historic England Online Archive
- Lancashire County Archive Catalogue
- Lancashire Library Catalogue

Exhaustive research will not be possible and cost effective and attention will be focused on those documents which are readily available and those which provide an

<sup>1</sup> Ministry of Housing, Communities and Local Government (2018) National Planning Policy Framework, Page 55, Available at: [https://assets.publishing.service.gov.uk/government/uploads/system/uploads/attachment\\_data/file/728643/Revised\\_NPPF\\_2018.pdf](https://assets.publishing.service.gov.uk/government/uploads/system/uploads/attachment_data/file/728643/Revised_NPPF_2018.pdf) (Accessed on 5th September 2019)

<sup>2</sup> Historic England (2019) Statements of Heritage Significance: Analysing Significance in Heritage Assets (online) Available at: <https://historicengland.org.uk/images-books/publications/statements-heritage-significance-advice-note-12/heag279-statements-heritage-significance/> (Accessed on the 24<sup>th</sup> January 2020)

<sup>3</sup> Historic England (2008) Conservation Principles, Policies and Guidance for the Sustainable Management of the Historic Environment (Online) Available at: <https://historicengland.org.uk/images-books/publications/conservation-principles-sustainable-management-historic-environment/conservationprinciplespoliciesandguidanceapril08web/> (Accessed on 31<sup>st</sup> March 2020)

<sup>4</sup> Historic England (2019) Statement of Heritage Significance: Analysing Significance in Heritage Assets - Historic England Advice Note 12 (Online) Available at: <https://historicengland.org.uk/images-books/publications/statements-heritage-significance-advice-note-12/heag279-statements-heritage-significance/> (Accessed on 31<sup>st</sup> March 2020)

<sup>5</sup> Chartered Institute for Archaeologists (2014) Standard and Guidance for the Archaeological Investigation and recording of Standing Buildings or Structures (Online) Available at: [https://www.archaeologists.net/sites/default/files/CIfAS%26GBuildings\\_2.pdf](https://www.archaeologists.net/sites/default/files/CIfAS%26GBuildings_2.pdf) (Accessed on 31<sup>st</sup> March 2020)

<sup>6</sup> Chartered Institute for Archaeologists (2014) Standard and Guidance for Historic Environment Desk Based Assessment (Online) Available at: [https://www.archaeologists.net/sites/default/files/CIfAS%26GDBA\\_3.pdf](https://www.archaeologists.net/sites/default/files/CIfAS%26GDBA_3.pdf) (Accessed on 31<sup>st</sup> March 2020)

understanding of the design and development of the building.

#### **1.4 AUTHOR**

The author of this document, Matthew Fish B.Sc. (Hons) M.Sc. (BldgCons) MCIAT IHBC, of Sunderland Peacock and Associates Ltd, is a Chartered Architectural Technologist (MCIAT) and is a full chartered member of the Chartered Institute of Architectural Technologists (CIAT). Matthew holds a master's degree in Building Conservation and Regeneration and is a fully accredited member of the Institute of Historic Building Conservation (IHBC) and is experienced in the surveying, analysis and recording of historic buildings as well as the specification of repairs and alterations to historic buildings. Matthew has a specific interest in vernacular dwellings and farm buildings.

#### **1.5 ACKNOWLEDGEMENTS**

We would Like to thank our client, Mr and Mrs Simm for this commission.



## SECTION 02

# UNDERSTANDING THE SITE

### 2.1 SITE LOCATION AND DESCRIPTION

The Priory is a detached house standing in its own grounds and stands at NGR: SD 82999 48922, on the northern edge of the village of Gisburn in the Ribble Valley Borough of Lancashire. The building is access via a private driveway leading from the west side of Hellifield Road (A682), some 45m to the north of the Junction with Main Street (A59).

The building occupies a relatively large plot, of irregular shape and is sited off centre to the west. The private road is located to the south and provides access to the private driveway to the south east, which also leads to a stone-built outbuilding, recently used as a garage / store. Landscaped gardens surround the building to the north south and east, with mature trees and shrubs. A number of modern private dwellings are sited to the east, with the Church of St Mary, with churchyard present to the south. Open farmland is present to the north.



Fig 01: Plan Showing Location of The Priory (Plan taken from Google Maps 2022 ©)

## 2.2 BUILT FORM ANALYSIS

The Priory is a two storey, 'T' Shaped building, essentially a building of 'two parts' built from slobbered rubble stonework which has mostly been painted white whereas the west elevations have been rendered. The roofs are of hipped form with a natural slate roof covering in diminishing courses and overhanging eaves. Centrally to the south roof are three diagonal chimney stacks, with a further two diagonal stacks to the rear north elevation.

The building has a restrained gothic style evoked by several extant features including; pointed arches to the external doorways and to the ground floor windows to the south elevation, the hood-moulds to the first-floor windows, mullioned windows to the east elevation and the diagonal chimney stacks.

The window styles to the building vary in style and material, being a mixture of metal and timber and sash and casement. Most of the sash windows have glazing bars, which arch and intersect towards the top of the windows. The ground floor window to the west side of the east lounge is a later window opening, likely late 19th century, and has a timber sliding sash window, with a central vertical glazing bar to the top and bottom sashes, with sash horns and a plain stone head and cill. The window directly above to the rear bedroom also appears to be a later insertion, of a different style to the other first floor windows and lacking the stone jambs and hood mould to the head. The window flanking the existing kitchen external door to the east elevation is also a later insertion, with a modern timber side hung casement window.

Internally, several alterations have been undertaken and number of internal finishes, fixtures and fittings have been removed, although the plan form remains unchanged. The extent of the works has been discussed in Section 04 of this report.





*PL01: View of The Priory from the south west.*



*PL02: View of the Priory from the south.*





*PL03: View of The Priory from the south east.*



*PL04: View of The Priory from the east.*



*PL05: View of The Prior from the north east.*



*PL06: View of The Priory from the north west.*





*PL07: View of The Priory from the west.*



*PL08: View south within the ground floor north unit.*



*PL09: View west within the ground floor north unit.*



*PL10: View north within the ground floor north unit.*





*PL11: View west within the ground floor north unit.*



*PL12: View of modern floor structure installed over the first-floor north unit.*



*PL13: View of concrete floor to the ground floor north unit.*



*PL14: View west within ground floor inner hallway.*





PL15: View east within round floor inner hallway.



PL16: View of void formed to first floor structure adjacent external door to ground floor inner hallway.



*PL17: View of concrete floor to ground floor inner hallway.*



*PL18: View of modern floor structure installed over the ground floor inner hallway.*





PL19 (left) View east within former ground floor boiler room. PL20 (right) View west within former ground floor boiler room.



PL21: View of roof structure to former ground floor boiler room.



PL22: View of concrete floor to former ground floor boiler room.



PL23: View west within the former ground floor kitchen.





*PL24: View north within the former ground floor kitchen.*



*PL25: View south within the former ground floor kitchen.*



PL26: View east within former ground floor kitchen showing temporary staircase following the removal of the former staircase.

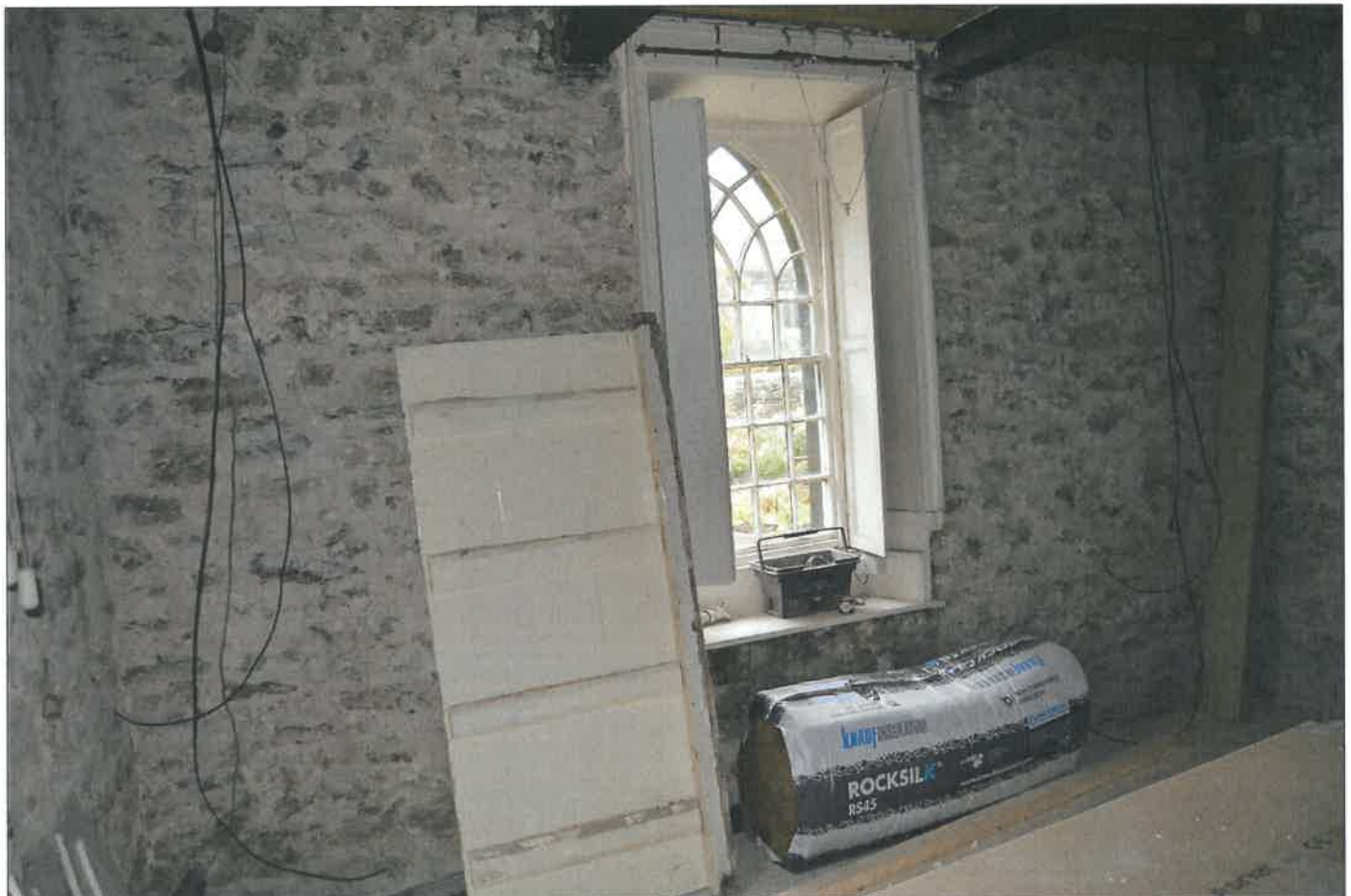


PL27: View of modern floor structure installed over former ground floor kitchen.





*PL28: View north within the ground floor south east unit.*



*PL29: View east within the ground floor south east unit.*





*PL30: View south within the ground floor south east unit.*



*PL31: View west within the ground floor south east unit. This appears to have once been an external wall.*



PL32: View of the modern floor structure installed over the ground floor south east unit.



PL33: View of concrete floor to the ground floor south east unit.





*PL34: View north within the first floor south west unit.*



*PL35: View west within the first floor south west unit.*





*PL36: View south within the first floor south west unit.*



*PL37 (left) View of timber partition to the west side of the first floor south west unit. PL38 (right) View of partition to the rear of the staircase in the first floor south west unit.*





PL39 View of modern ceiling structure over first floor south west unit and staircase.



PL40: View of timber king post roof truss over the first floor south west unit.





PL41: View of exposed timber dragon tie to the south west corner of the first floor south west unit.



PL42: View of exposed dragon tie to the south east corner of the first floor south west unit.





PL43: View west within the first floor south east unit.



PL44: View north within the first floor south east unit.





*PL45: View South within the first floor south east unit.*



*PL46: View of timber king post roof truss to the first floor south east unit.*



*PL48: View of brickwork flues to the west wall of the first floor south east unit.*



*PL49: View of plasterboard ceiling linings to the first floor south east unit.*





*PL50: View of the dragon tie to the north east corner of the first floor south east unit.*



*PL51: View of the dragon ties to the south east corner of the first floor south east unit.*



*PL52: View north along the first-floor landing.*



*PL53: View east within the former first floor bathroom.*





*PL54: View of timber boxing to the former first floor bathroom.*



*PL55: View north within the first-floor north unit.*



*PL56: View north east within the first-floor north unit.*



*PL57: View south within the first-floor north unit.*





*PL58: View south west within the first-floor north unit.*



*PL59: View of the plasterboard ceiling lining to the first-floor north unit.*



### 2.3 HERITAGE ASSET DESIGNATIONS

The Priory is a grade II listed building and is designated as such under section 1 (3(a)) of the Planning (Listed Buildings and Conservation Areas) Act 1990 for its special architectural and historical interest. Please refer to Appendix A of this report for the Historic England List Entry.

The application site is within the defined boundary of the Gisburn Conservation Area which is a Designated Heritage Asset and is designated as a Conservation Area under the provisions of Section 69 of the Planning (Listed Buildings and Conservation Areas) Act 1990. Please refer to Appendix B of this report regarding the reasons for designation and the elements which contribute to the special interest of the conservation area.

### 2.4 HISTORICAL DEVELOPMENT

This section is intended to give an account of the historical development of the site based on information obtained from secondary research sources.

Very little appears to be known of the history of The Priory as the history and development of the building does not appear to be well documented amongst published and unpublished documentary resources, although some references to the house have been found amongst local history publications. A physical inspection of the building has also been undertaken in order to determine the building historical development.

From this inspection, of the physical fabric, it appears that the dwelling may have once been two much smaller buildings, one being the south west unit and the second being the north unit but any potential former use is unknown. It could not be confirmed if these structures were originally single or double storey in height. The east wall of the south west unit appears to have once served as an external wall, with the south east unit having been added on later. When viewed from within the south east unit at ground floor level, the south wall of this later unit does not appear to be keyed in internally to the former east external wall of the south west unit. A building line can also be seen at this point to the external south elevation of the building also suggesting a later addition.

The east external wall to the internal ground floor hallway also appears to be a later addition. This particular wall is slenderer in thickness when compared to the surrounding masonry and on external inspection, the style of the masonry appears to be different in appearance than the adjacent masonry. This also likely to be said of the opposite wall to the west elevation.

The south wall of the north unit also appears to have once served as an external wall, given its thickness and the internal stone door surround to the ground floor door.

This being said, by the middle of the 19<sup>th</sup> century, the building was present in its current form albeit the original internal arrangement differs slightly from the present arrangement and this is shown on a drawing of the building dating from 1851. It is unknown if this is the time that the earlier structures were altered and enlarged to form the current house. The drawing shows the site plan, ground floor and first floor plans and the south and east elevations. No other elevations are shown and could be that the north and west elevations were considered secondary and of lesser interest to the south and east, both of which face into the public realm where as the north and west do not.

The plans show the plan form layout and a number of fixtures and fittings. Interestingly, the original staircase was entered from the north at ground floor level, as opposed to south as existing suggesting this has been altered and the former staircase which has now been removed is a later replacement. At this time, the north and south 'wings' of the building were not originally connected at first floor level. This suggests that their adjoining is a later alteration and it is likely that the staircase was altered in order to suit this as well as the doors into the first floor south east and south west rooms, both of which have been repositioned to suit the internal changes. It is thought that these changes occurred in the first half of the 20<sup>th</sup> century, probably around the 1930's.

No documents pertaining to any earlier structures occupying the site have been found as part of this investigation. Historical map evidence of the site has also yielded little useful information about the history and development of the site and building.



*Fig 02: Photograph of the Priory likely dating from the early 20th century.*



Fig 03: Photograph of the Priory likely dating from the early 20th century.



Fig 06: View of the east elevation.

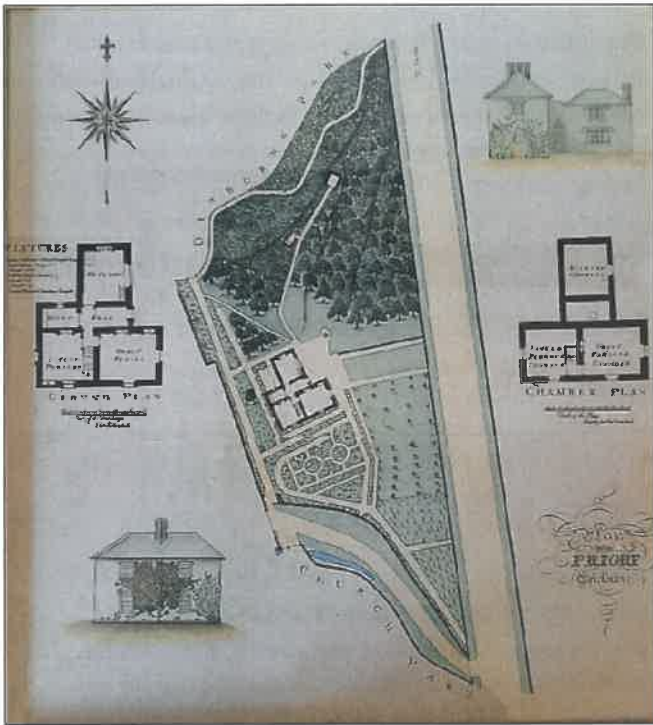


Fig 04: View of the 1851 drawing of the building.

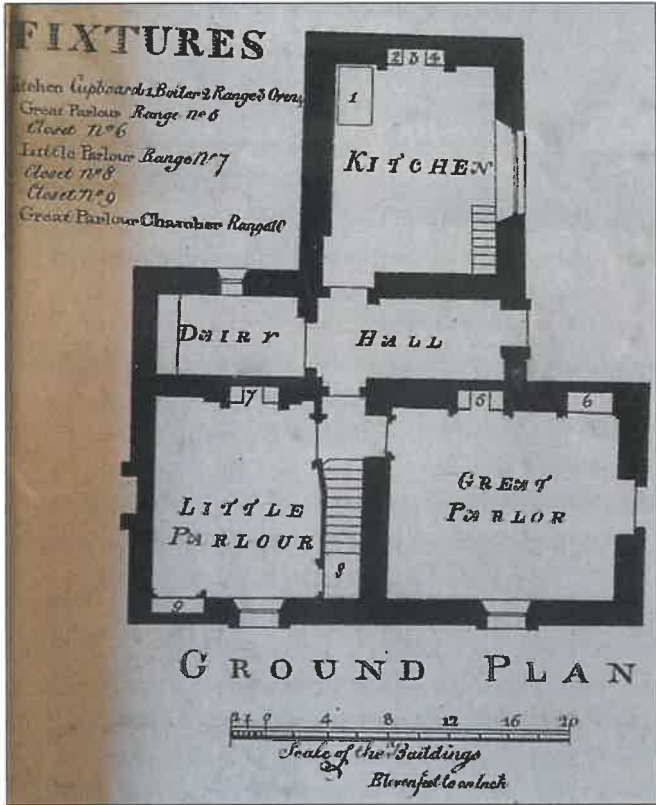


Fig 07: View of the ground floor plan.

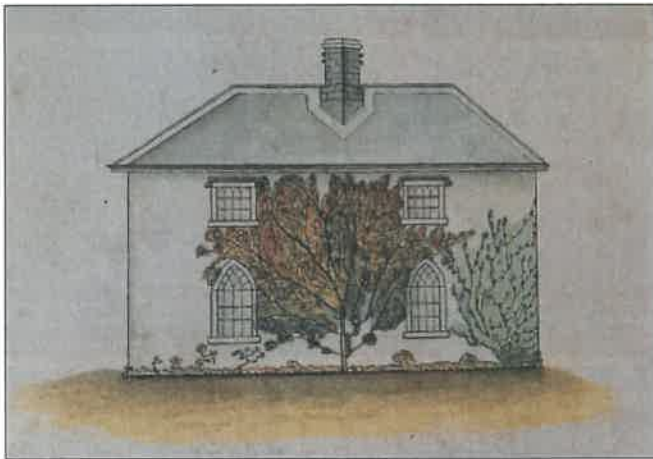


Fig 05: View of the south elevation.



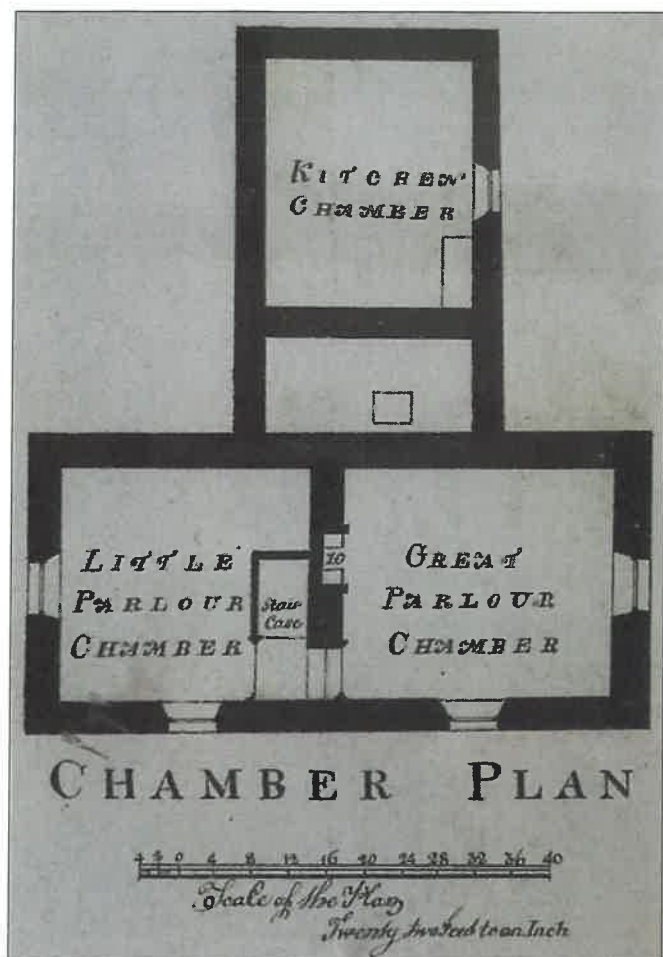


Fig 06: View of the first-floor plan.

## 2.5 PLANNING HISTORY AND CONTEXT

A search of the Ribble Valley Borough Council Planning Application database has been undertaken and has yielded the following results;

**Application Number:** 3//2016/0158

**Proposals:** Installation of new central heating system, boiler and 125mm flue projecting approximately 600mm above the slates.

**Decision:** Approved with Conditions

**Date:** 08.04.2016

**Application Number:** 3//2016/1076

**Proposals:** Listed Building Consent for rebuilding and repairs to existing chimney stacks. Re-roofing works and repairs to all roofs, with repairs to central valley/channel gutter. Replacement of existing rainwater goods with aluminium rainwater goods. Brick plinth to wall bases to be removed and external ground levels lowered below level of internal floors, with French drains installed to building perimeter. Repairs to external windows, doors and fascia boards. Replacement of existing roof window with new conservation roof window. Existing soil/waste pipes to be replaced with aluminium/cast iron pipes.

**Decision:** Approved with Conditions

**Date:** 15.12.2021

**Application Number:** 3//2021/1281

Listed Building Consent for the erection of single storey extension to north elevation. Alteration of existing lean-to and removal of existing render wall finish to the west elevation. Proposed internal alterations, underfloor heating, replacement of existing window to the west elevation of the proposed entrance hallway. Renewal of existing electrical, heating and plumbing installations. Internal re-plastering. Associated drainage works. Removal of foul drainage/waste pipes from the east elevation.

**Decision:** Listed Building Consent Refused

**Date:** 08.04.2022

**Application Number:** 3//2021/1282

**Proposals:** Proposed erection of single storey extension to north elevation. Alteration of existing lean-to and removal of existing render wall finish to the west elevation. Replacement of existing window to the west elevation of the proposed entrance hallway.

**Decision:** Planning Permission Refused

**Date:** 08.04.2022

**Application Number:** 3//2022/0071

**Proposals:** T1 Yew - crown reduce by 1.5m all round T2 Apple - crown reduce by 2.5m all round T3 Cherry - fell to allow development of holly and other Cherry trees T4 Cedar - reduce leaders by 2m

**Decision:** Approved No Conditions

**Date:** 01.03.2022

**Application Number:** 3//2022/0099

**Proposals:** Discharge of conditions 3 (materials) and 6 (rooflights) from planning permission 3/2021/1076

**Decision:** Approved with Conditions

**Date:** 17.03.2022

**Application Number:** 3//2022/0410

**Proposals:** Listed Building Consent for the removal of existing render wall finish to the west elevation.

Conversion of existing boiler room to form new WC and utility room. Proposed replacement of existing floor boards to the ground floor with new oak floor boards. Removal of radiators to the ground floor and installation of under-floor heating. Replacement of existing window to the west elevation of the proposed entrance hallway.

Renewal/upgrading of existing electrical, heating and plumbing installations. Internal re-plastering. Associated drainage works. Removal of foul drainage/waste pipes from the east elevation. Investigation into condition of existing timber joists to ground floor and removal of banked up earth below the suspended floors to the ground floor and installation of concrete bases below the level of the suspended floors to the ground floor.

**Decision:** Approved with Conditions

**Date:** 23.05.2022

**Application Number:** 3//2022/0557

**Proposals:** Discharge of conditions 3 (Method Statement) and 4 (Window Specifications) from Listed Building Consent 3/2022/0410.

**Decision:** Refused

**Date:** 17.10.2022

An application for listed building consent for various works to the listed building was submitted to Ribble Valley Borough Council (RVBC) in April 2022 and was subsequently approved subject to the discharging of the relevant planning conditions which related to specific elements of the proposals. A subsequent application to RVBC was submitted in June 2022 relating to the discharging of these conditions. However, during this time, works commenced on site and works were undertaken prior to the discharging of the necessary planning conditions as well as works having been undertaken which did not have listed building consent. These works are discussed in section 04 of this report.

The works were brought to our attention by the RVBC Conservation Officer and a site meeting was held between Sunderland Peacock and Associates Ltd and our client, the RVBC Conservation officer and the Lancashire County Council Archaeologist.

Following this meeting and the expiring of the application determination date (04.08.22), four subsequent extensions of time were granted for application determination and for the consideration of the unauthorised works (19.08.22 / 26.08.22 / 06.09.22 / 16.09.22). A response was received from the RVBC Conservation Officer on the 26.09.22 requesting further information and explanation regarding the discharge of condition application (3/2022/0557) and the unauthorised works. During the preparation of the requested information Sunderland Peacock received a decision notice for the discharge of condition application (3/2022/0557) on the 17.10.22 stating:

*"The condition has not been discharged for the following reason:*

*Works have commenced on site prior to providing the required method statement. As such it is not possible to discharge Conditions 3 and 4 of listed building consent 3/2022/0410 with the unauthorised and extensive loss and alteration of important historic fabric."*

Following this we were advised by both the RVBC Conservation Officer and the Director for Economic Development and Planning that a new application for listed building consent would be required for the proposals and to ameliorate the unauthorised works.



## SECTION 03

# ASSESSMENT OF SIGNIFICANCE

### 3.1 ASSESSING SIGNIFICANCE

Significance, in terms of heritage related planning policy is defined in the National Planning Policy Framework as “The value of a heritage asset to this and future generations because of its heritage interest. The interest may be archaeological, architectural, artistic or historic. Significance derives not only from a heritage asset’s physical presence, but also from its setting.”<sup>7</sup> Understanding the significance of a building or place is crucial when attempting to inform sensitively and intelligently managed change in order to sustain significance, and where appropriate and possible, to seek opportunities for enhancement.

The purpose of this section is to provide an assessment of the significance of both the farmhouse and barn so that the proposals for change can be informed by the level of significance they possess and so that the impact of the proposals can also be assessed.

This assessment of significance has been informed by a physical inspection of the buildings and both archival and desk-based research. It takes into consideration the significance of both the farmhouse and barn as well as the contribution made by their setting.

For each building, the following heritage interests have been described as per the guidance provided within The Historic England guidance document “Statement of Heritage Significance: Analysing Significance in Heritage Assets” (2019), which is considered to be best practice;

**Archaeological interest:** “There will be archaeological interest in a heritage asset if it holds, or potentially holds, evidence of past human activity worthy of expert investigation at some point.”<sup>8</sup>

**Architectural and Artistic Interest:** These are interests in the design and general aesthetics of a place. They can arise from conscious design or fortuitously from the way the heritage asset has evolved. More specifically, architectural interest is an interest in the art or science of the design, construction, craftsmanship and decoration of buildings and structures of all

types. Artistic interest is an interest in other human creative skills, like sculpture.”<sup>9</sup>

**Historic Interest:** “An interest in past lives and events (including pre-historic). Heritage assets can illustrate or be associated with them. Heritage assets with historic interest not only provide a material record of our nation’s history but can also provide meaning for communities derived from their collective experience of a place and can symbolise wider values such as faith and cultural identity.”<sup>10</sup>

### 3.2 ARCHAEOLOGICAL INTEREST

The building serves as physical evidence of settlement on the site dating back to at least the mid-19<sup>th</sup> century. The building has been altered a number of times, both historically and more recently and it appears that the house was historically two separate buildings, which have subsequently been enlarged and adjoined to form the house. Further phases of alteration have been undertaken in the first half of the 20<sup>th</sup> century, with a number of works also having been undertaken within recent months. However, it should be noted that the plan form of the building has been retained, although the plan form as it was in the mid-19<sup>th</sup> century has been slightly changed during the first half of the 19<sup>th</sup> century.

The archaeological interest of the building lies in its extant historic fabric, which is now largely restricted to its walls, roof and windows, with other isolated elements i.e., individual floor timbers and surviving doors. A number of unauthorised works have been undertaken to the building, which have resulted in the removal of plaster wall finishes, internal doors and frames, first floor structures, ceiling finishes and a number of structural interventions, all of which have impacted on the archaeological interest of the building.

<sup>7</sup> National Planning Policy Framework (2019) NPPF – Annex 2: Glossary (Online) Available at: [https://www.gov.uk/guidance/national-planning-policy-framework/annex-2-glossary#:~:text=Significance%20\(for%20heritage%20policy\),%2C%20architectural%2C%20artistic%20or%20historic.](https://www.gov.uk/guidance/national-planning-policy-framework/annex-2-glossary#:~:text=Significance%20(for%20heritage%20policy),%2C%20architectural%2C%20artistic%20or%20historic.) (Accessed on 22<sup>nd</sup> June 2022)

<sup>8</sup> Historic England (2019) Statement of Heritage Significance: Analysing Significance in Heritage Assets - Historic England Advice Note 12 (Online) Available at: <https://historicengland.org.uk/images-books/publications/statements-heritage-significance-advice-note-12/heag279-statements-heritage-significance/> (Accessed on 16<sup>th</sup> September 2020)

<sup>9</sup> Historic England (2019) Statement of Heritage Significance: Analysing Significance in Heritage Assets - Historic England Advice Note 12 (Online) Available at: <https://historicengland.org.uk/images-books/publications/statements-heritage-significance-advice-note-12/heag279-statements-heritage-significance/> (Accessed on 16<sup>th</sup> September 2020)

<sup>10</sup> Historic England (2019) Statement of Heritage Significance: Analysing Significance in Heritage Assets - Historic England Advice Note 12 (Online) Available at: <https://historicengland.org.uk/images-books/publications/statements-heritage-significance-advice-note-12/heag279-statements-heritage-significance/> (Accessed on 16<sup>th</sup> September 2020)

### **3.3 ARCHITECTURAL AND ARTISTIC INTEREST**

The building is modest and appears to have been designed as two wings, the south wings as the general living and sleeping quarters and the north wings being for use as services rooms and servants' quarters. This has led to a somewhat unusual yet interesting architectural form with each wing having its own hipped roof over, each of which are at differing heights with the rear north roof being at lower level. The south elevation is symmetrical suggesting conscious design has been employed here, as this is the elevation which faces the access lane and church and was once the backdrop to a formal garden to the south of the building. However, this cannot be said of the other elevations which appear to be somewhat more piecemeal and lacking some coherence due to the obvious difference in roof heights and the differing window styles and sizes.

Due to the modest nature of the building, it has little embellishment externally. The diagonal chimney stacks are of interest as well as the existing windows and pattern of fenestration.

### **3.4 HISTORIC INTEREST**

In terms of associative historic interest, the building is associated with its past occupants, however these have not been elucidated as part of this investigation. There is no known manifestation of these associations within the building fabric and as a result will not be harmed by future works to the building.

In terms of illustrative historic interest, the building is illustrative of a 19th century dwelling that likely belonged to someone higher up on the social scale and had the benefit of servants which is suggested by the historic plan form of the house.

### **3.5 STATEMENT OF SIGNIFICANCE**

The grade II listed designation of the building suggests that it is a building of importance from a national perspective in terms of its architectural and historic interest. The building appears to be of mid-19th century origins with possibly earlier origins, and phases of later alterations.

The significance of the building is embodied within its extant historic fabric, plan form layout, remaining internal features, many of which have been lost and are now very limited. The visual appearance of the building also contributes to its significance given its unusual yet interesting form and its mixture of symmetrical and piecemeal elements. The contribution by the buildings setting is limited as it is now reduced in size and the layout depicted on the plan of c.1851 has also been lost. The

poor condition of the existing stone-built garage / store has had a negative impact on the setting of the listed building on account of its dilapidated condition and the severely overgrown climbing wall plants. However, the relationship with St Marys Church and churchyard also contributes to the setting of the building and its significance by virtue of its possible historical associations with the church.



## SECTION 04

# DEVELOPMENT PROPOSALS

### 4.1 SUMMARY OF UNAUTHORISED WORKS

The following works have been undertaken without the benefit of listed building or the discharging of the relevant pre-commencement conditions (3/2022/0557) relating to the approved listed building consent (3/2021/0410);

#### Ground Floor Kitchen (South West Unit)

- New concrete lintels installed over existing external door, with reveals partially rebuilt at high level in concrete blockwork.
- Existing recess to south west corner of kitchen fully infilled with concrete blockwork.
- Existing timber ground floor structure removed.
- Existing staircase removed and temporary staircase installed.
- Plaster wall finishes removed.
- Existing skirting boards removed.
- Existing modern radiator and associated pipework removed from former fireplace recess. Recess infilled with concrete blockwork.
- Existing internal door and frames to the east side of the kitchen removed.
- Ceiling finished removed.

#### Ground Floor Living Room (South East Unit)

- Existing internal door and frames removed.
- Existing lintels to internal door removed and new concrete lintels installed.
- Existing timber floor structure removed.
- Plaster wall finishes removed.
- Ceiling finishes removed.
- Existing modern central heating radiators and associated pipework removed.
- Doors to built-in cupboard removed.
- Existing modern fireplace removed. Reveals of fireplace partially rebuilt in concrete blockwork and new concrete lintels installed over fireplace opening.
- Existing skirting boards removed.

#### Utility / Plant Room

- Existing internal door and frames removed.
- Ceiling linings removed and depth of rafters increased
- Existing concrete floor removed,

#### Ground Floor Internal Hallway

- Existing skirting boards removed.
- Existing ceiling finishes removed.
- Existing plaster wall finishes removed.
- Existing central heating radiator and associated pipework removed.
- Existing concrete floor removed.
- Existing transom window to east external door removed for off-site repair / refurbishment.
- Existing frames removed from the south wall opening. New concrete lintels installed over opening, with 1 no stone lintel being retained.

#### Ground Floor Lounge (North Unit)

- Existing skirting boards Removed.
- Plaster wall finishes partially removed.
- Existing central heating radiators and associated pipework removed.
- Existing timber floor structure removed.
- Recess formed to north wall. Reveals partially rebuilt in concrete brickwork.

#### First Floor Bedroom 01 (South East Unit)

- Removal of existing timber first floor structure and installation of new timber first floor structure.
- Existing skirting boards removed.
- Existing plaster wall finishes removed.
- Existing modern central heating radiator and associated pipework removed.
- Plasterboard lining to ceiling.
- Removal of access steps and installation of new temporary steps.
- Existing wall head rebuilt / consolidated.

#### First Floor Bedroom 02 (South West Unit):

- Existing internal door and frame removed.
- Existing ceiling removed and new timber ceiling structure installed.
- Existing central heating radiator and associated pipework removed.
- Existing plaster wall finishes removed.
- Existing skirting boards removed.
- Wall head to west external wall rebuilt / consolidated. Existing door and frames to the east wall removed.
- Existing partitions to east side of room / staircase removed and new timber stud partitions installed.

- Existing cill board removed to west window with wall rebuilt below in concrete blockwork.
- New concrete lintels installed over the west window.
- Existing timber first floor structure removed and new timber floor structure installed.

#### **First Floor Landing**

- West reveal of internal wall opening rebuilt in concrete blockwork and new concrete lintels installed over.
- New timber stud partition installed to the west side of the landing.
- Existing timber first floor structure removed and new timber floor structure installed.

#### **First Floor Bathroom**

- Existing internal door, frames and partition removed.
- Existing central heating radiator and associated pipework removed.
- Existing skirting boards removed,
- New timber stud boxing carcassing formed to the east end of the former bathroom s as to avoid the first-floor structure from bisecting across the transom window to the east external door below.
- Existing plaster wall finishes removed.
- Existing timber first floor structure removed and new timber floor structure installed.

#### **First Floor Bedroom 03 (North Unit)**

- Existing timber first floor structure removed and new timber floor structure installed.
- Existing internal door and frame removed.
- Plasterboard fixed to ceiling.
- Plaster wall finishes removed,
- Existing central heating radiator and associated pipework removed.
- Existing skirting boards removed,
- Existing wall head rebuilt / consolidated.

## **4.2 SUMMARY OF PROPOSALS**

The development proposals consist of the following works;

#### **Proposed Ground Floor Entrance Hall (South West Unit)**

- New hardwood skirting boards to be installed throughout to match new oak floor finish
- Replastering throughout using lime plaster.
- Existing temporary staircase to be removed and new permanent staircase installed, with under-stairs cupboard.

- New internal timber door and frame installed.
- Existing modern timber casement window to the west wall to be removed and replaced with a new sympathetic fixed frame window.
- 150mm insulation to be laid over concrete floor, with separating membrane, and 75mm sand / cement screed incorporating underfloor heating pipes.
- New plasterboard ceiling lining.

#### **Proposed Ground Floor Living Room (South East Unit)**

- 150mm insulation to be laid over concrete floor, with separating membrane, and 75mm sand / cement screed incorporating underfloor heating pipes.
- New hardwood skirting boards to be installed throughout to match new oak floor finish.
- Replastering throughout using lime plaster.
- New fireplace to be installed.
- Reinstate cupboard doors to built-in cupboard.
- Smoke detector to be installed to ceiling.
- New plasterboard ceiling lining.
- New internal door and frame.

#### **Proposed Ground Floor WC and Utility Room**

- New internal doors and frames.
- 150mm insulation to be laid over concrete floor, with separating membrane, and 75mm sand / cement screed.
- New hardwood skirting boards to be installed throughout to match new oak floor finish.
- Replastering throughout using lime plaster.
- Insulation to be fixed between rafters and insulated plasterboard to be fixed to underside of rafters.
- Extractor fans to be installed to ceilings and vented through roof to new in line slate vents.
- New internal stud partition.
- New boiler to be installed with flue vented through roof as previous.

#### **Proposed Internal Hallway**

- 150mm insulation to be laid over concrete floor, with separating membrane, and 75mm sand / cement screed.
- New hardwood skirting boards to be installed throughout to match new oak floor finish.
- Replastering throughout using lime plaster.
- New plasterboard ceiling lining.

#### **Proposed Ground Floor Kitchen (North Unit)**

- New hardwood skirting boards to be installed throughout to match new oak floor finish.
- Replastering throughout using lime plaster.



- 150mm insulation to be laid over concrete floor, with separating membrane, and 75mm sand / cement screed incorporating underfloor heating pipes.
- New plasterboard ceiling lining.
- Heat detector installed to ceiling.

#### **Proposed First Floor Ensuite (South West Unit)**

- New plasterboard ceiling lining.
- Extractor fan to be installed and vented through roof void to inline slate vent.
- New hardwood skirting boards to be installed throughout to match new oak floor finish.
- Replastering throughout using lime plaster.
- New timber cill board to be installed to west window.
- New sanitaryware installed with incoming water supply and waste drainage to be connected into existing foul water drainage system via new internal soil pipe with air admittance valve.
- New internal doors and frames.
- Existing partitions to east side / staircase to be retained and lined with plasterboard and plaster skim finish.

#### **Proposed first Floor Bedroom 01 (South East Unit)**

- New hardwood skirting boards to be installed throughout to match new oak floor finish.
- New internal door and frame.
- Removal of temporary steps and installation of permanent steps.
- Replastering throughout using lime plaster.
- Plaster skim finish to plasterboard ceiling.

#### **Proposed First Floor Dressing Room**

- New door and frame.
- Existing partition to be lined with plasterboard and plaster skim finish.
- Retention of existing studwork boxing.
- Existing roof structure to be lined out with plasterboard with plaster skim finish.
- East wall to be drylined with timber studwork, with insulation, plasterboard and plaster skim finish.
- Replastering throughout using lime mortar.
- New hardwood skirting boards to be installed throughout to match new oak floor finish.

#### **Proposed First Floor Landing**

- New hardwood skirting boards to be installed throughout to match new oak floor finish.
- Replastering throughout using lime plaster.
- New plasterboard ceiling lining.
- Existing timber studwork to be retained and insulation and plaster board lining to be fixed and plaster skim finish.

#### **Proposed First Floor Bedroom 02 (North Unit)**

- New hardwood skirting boards to be installed throughout to match new oak floor finish.
- Replastering throughout using lime plaster.
- Plaster skim finish to plasterboard ceiling.
- New internal door and frame.
- Existing window to the west wall to be repaired / refurbished in-situ due to fragility of frame. To be cleaned down and repainted. All cracked and missing glazing to be replaced with float glass to match existing.

#### **Externals**

- Existing external waste pipes and soil stack to be removed from the east elevation and wall penetrations made good.
- Existing cement render wall finish to the west elevation to be carefully removed and underlying stone to be finished with breathable paint.

## SECTION 05

# PLANNING POLICY CONTEXT

### 5.1 NATIONAL LEGISLATION

The Priory is a grade II listed building and as such, the building benefits from statutory protection in the form of national legislation, namely the Planning (Listed Buildings and Conservation Areas) Act 1990 due to their special architectural and historic interest. The Act is the legislative foundation in terms of decision making in relation to both listed buildings and conservation areas.

Section 66 of the Act states that;

*“In considering whether to grant planning permission for development which affects a listed building or its setting, the local planning authority or, as the case may be, the Secretary of State shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses*

The building is also located within the defined boundary of the Gisburn Conservation Area. The conservation area was formerly designated as such in October 1974 and benefits from statutory protection within the Planning (Listed Buildings and Conservation Areas) Act 1990 due to its special architectural and historic interest.

Section 72 of the Act states that;

*“In the exercise, with respect to any buildings or other land in a conservation area ... special attention shall be paid to the desirability of preserving or enhancing the character or appearance of that area”.*

### 5.2 NATIONAL PLANNING POLICY

The relevant national planning policies are contained within the National Planning Policy Framework (NPPF) 2021, which sets out the Governments economic, environmental and social planning policies for England and how these policies should be applied. The overarching principle of the NPPF is that of achieving ‘sustainable development’.

It is chapter 16 of the NPPF which addresses the national planning considerations in relation to the historic environment and how sustainable development within the historic environment can be achieved. The general principle suggested by these policies is that development which does not give due regard to the conservation of heritage assets will not be considered as ‘sustainable development’ and will therefore be considered as unacceptable and will not be supported by decision making

bodies. The policies within the NPPF highlight the need to assess the significance of Heritage Assets and their setting which are to be affected by design proposals for change in order to inform this change and requires that the impact of any such change is assessed.

### 5.3 LOCAL PLANNING POLICY

The relevant local planning policies pertaining to the historic environment are contained within the Ribble Valley Borough Council Adopted Core Strategy which forms the central document of the Local Development Framework (LDF), establishing the vision, underlying objectives and key principles that will guide the development of the borough.

The relevant Local Planning policies consist of the following;

#### Key Statement EN5: Heritage Assets

The Historic Environment and its Heritage Assets and their settings will be conserved and enhanced in a manner appropriate to their significance for their heritage value; their important contribution to local character, distinctiveness and sense of place; and to wider social, cultural and environmental benefits. This will be achieved through:

Recognising that the best way of ensuring the long-term protection of heritage assets is to find an optimum viable use that strikes the correct balance between economic viability and impact on the significance of the asset. Keeping Conservation Area Appraisals under review to ensure that any development proposals respect and safeguard the character, appearance and significance of the area.

Carefully considering any development proposals that adversely affect a designated heritage asset or its setting in line with the Development Management policies. Requiring all development proposals to make a positive contribution to local distinctiveness/sense of place. The consideration of Article 4 Directions to restrict permitted development rights where the exercise of such rights would harm the historic environment.

#### Policy DME4: Protecting Heritage Assets

There will be a presumption in favour of the conservation and enhancement of the significance of heritage assets and their settings.



## 1. Conservation Areas

Proposals within, or affecting views into and out of, or affecting the setting of a conservation area will be required to conserve and where appropriate enhance its character and appearance and those elements which contribute towards its significance. This should include considerations as to whether it conserves and enhances the special architectural and historic character of the area as set out in the relevant conservation area appraisal. Development which makes a positive contribution and conserves and enhances the character, appearance and significance of the area in terms of its location, scale, size, design and materials and existing buildings, structures, trees and open spaces will be supported.

In the conservation areas there will be a presumption in favour of the conservation and enhancement of elements that make a positive contribution to the character or appearance of the conservation area.

### 2. Listed buildings and other buildings of significant heritage interest

Alterations or extensions to listed buildings or buildings of local heritage interest, or development proposals on sites within their setting which cause harm to the significance of the heritage asset will not be supported.

Any proposals involving the demolition or loss of important historic fabric from listed buildings will be refused unless it can be demonstrated that exceptional circumstances exist.

### 3. Registered historic parks and gardens of special historic interest and other gardens of significant heritage interest

Proposals which cause harm to or loss of significance to registered parks, gardens or landscapes of special historic interest or other gardens of significant local heritage interest, including their setting, will not be supported.

### 4. Scheduled monuments and other archaeological remains

Applications for development that would result in harm to the significance of a scheduled monument or nationally important archaeological sites will not be supported.

Developers will be expected to investigate the significance of non-designated archaeology prior to determination of an application. Where this demonstrates that the significance is equivalent to that of designated assets, proposals which cause harm to the significance of non-designated assets will not be supported.

Where it can be demonstrated that that the substantial public benefits of any proposals outweigh the harm to or loss of the above, the council will seek to ensure mitigation of damage through preservation of remains in situ as the preferred solution. Where this is not justified developers

will be required to make adequate provision for excavation and recording of the asset before or during excavation.

Proposals should also give adequate consideration of how the public understanding and appreciation of such sites could be improved.

In line with NPPF, Ribble Valley aims to seek positive improvements in the quality of the historic environment through the following:

- a) monitoring heritage assets at risk and; i) supporting development/re-use proposals consistent with their conservation; core strategy adoption version 99 ii) considering use of legal powers (building preservation notices, urgent works notices) to ensure the proper preservation of listed buildings and buildings within the conservation areas.
- b) Supporting redevelopment proposals which better reveal the significance of heritage assets or their settings.
- c) Production of design guidance.
- d) Keeping conservation area management guidance under review.
- e) Use of legal enforcement powers to address unauthorised works where it is expedient to do so.
- f) Assess the significance and opportunities for enhancement of non-designated heritage assets through the development management process.

## Gisburn Conservation Area Appraisal (2005)

This documents, produced on behalf of Ribble Valley Borough Council, provides a detailed description and analysis of the various features that contribute and form the special architectural and historic interest of the Gisburn Conservation Area. It also describes specific strengths, weaknesses, opportunities and threats in relation to the special architectural and historic interest of the conservation area,

## Gisburn Conservation Area Management Plan (2005)

This document provides brief guidance and advice for assisting in the preservation and enhancement of aspects of the Gisburn Conservation Area

## SECTION 06

# HERITAGE IMPACT ASSESSMENT

### 6.1 ASSESSMENT OF HERITAGE IMPACT

The following section is intended to assess the impact of the unauthorised works and the proposals on both the listed building and conservation area following a review of the design proposals and the unauthorised works already undertaken.

#### Impact on the Listed Building:

There is no prescribed or overarching method for assessing heritage impact. However, the following magnitudes of impact have been used to assess the impact of the unauthorised works and the intended internal alterations.

Magnitude of Impact	
High Beneficial Impact	The proposed development will significantly enhance the heritage asset or the ability to better reveal or enhance its heritage values and overall significance. Works of this magnitude are welcomed.
Medium Beneficial Impact	The proposed development will considerably enhance the heritage asset or the ability to better reveal or enhance its heritage values and overall significance. Works of this magnitude are welcomed.
Low Beneficial Impact	The proposed development will provide a minor enhancement to the heritage asset or the ability to better reveal or enhance its heritage values and overall significance. Works of this magnitude are welcomed.
Neutral Impact	The proposed development will cause neither harm nor benefit / enhancement to the heritage asset, its values, significance or setting. Proposals will sustain existing significance and special interest without adverse harm.
Low Adverse Impact	The proposed development will cause minor harm to the heritage asset, its heritage values, significance or setting. Changes of this magnitude may be considered acceptable if suitable positive mitigation can be provided.
Medium Adverse Impact	The proposed development will cause clearly discernible harm to the heritage asset, its heritage values, significance or setting. Works of this magnitude should generally be avoided but may be considered acceptable if suitable positive mitigation can be provided.
High Adverse Impact	The proposed development will cause severe harm to the heritage asset and will substantially harm its significance. Will cause obvious disruption or destruction of features contributing to significance and harm to its setting. Such works of this magnitude should be avoided.

### UNAUTHORISED WORKS

Element of Works	Justification	Impact of Proposal	Mitigation
<b>Ground Floor</b>			
New concrete lintels installed over existing external door, with reveals partially rebuilt at high level in concrete blockwork.	Required in order to ensure structural integrity of the existing fabric and to safeguard remaining historic fabric.	A small area of wall fabric has been removed in order to facilitate the repairs to the walling at this location. However overall, the works have improved the structural integrity of the building and have safeguarded the remaining historic fabric.	N/A.
Existing recess to south west corner of kitchen fully infilled with concrete blockwork.	Assumed to have been filled in order to provide a level / flat wall surface.	No historic fabric has been removed however the presence of the recess has been lost. However, the	N/A. This location has been recorded on drawings and documents pertaining to previous planning application



		recess makes a negligible contribution to the significance of the building and no longer served its original purpose as a cupboard.	and therefore a record of this is available within the public domain and is included within the Historic Environment Record for the building.
Existing timber and concrete floor structures to the ground floor removed.	The existing timber floor structures to the ground floor were in poor condition and were found to be ground bearing or supported on loose stones or onto the earth below as opposed to being suspended which was impacting on their condition. The new floor is required to comply with current building regulations as a new structural element.	The timbers did not appear to be historic suggesting that the floors have been replaced previously, possibly in line with the works which were undertaken c.1930's.	N.A.
Existing staircase removed, including partitions at first floor level and temporary staircase installed.	It has been acknowledged by our client that the stair case was removed by the builder in error due to a miscommunication regarding the removal of the floors.	The existing staircase was likely installed during the 1930's phase of internal alterations. The historic plans from the mid-19 <sup>th</sup> century shows the staircase orientated in the opposite direction, meaning that the staircase that has been removed was not original and itself had a negligible contribution to the significance of the building.	New permanent timber staircase to be installed.
Plaster wall finishes removed throughout.	The plaster wall finishes were removed in preparation for replastering which was approved under the previous listed building consent application, however the plaster was removed prior to the discharge of the relevant planning condition. Plaster removal was undertaken to remove areas of cracked and defective finishes and to facilitate walling repairs.	It is unknown if the plaster finishes removed were historic or more recent and as such the impact of the plaster removal is not fully known but is not expected to have had a significant impact on the significance of the listed building.  The plaster removal has allowed for the revealing of areas of historic rebuilding as well as the revealing of the route of the chimney flues, all of which contribute to the history of the building and its significance.	Replastering to be undertaken using lime-based plaster.
Existing skirting boards removed throughout.	The existing skirting boards were removed as part of the removal of the ground floor	The skirting boards make little contribution to the significance of the listed	Install new skirting to replace.

	and first floor structures and as part of the plaster removal works.	building as the 'torus' type skirtings present appeared to be relatively modern,	
Existing modern central heating radiators and associated pipework removed.	Removal required due to intended installation of underfloor heating however removal was undertaken prior to the discharge of the relevant planning condition.	No obvious foreseeable impact on the significance of the listed building, given the modern nature of the existing heating system.	N/A as works have already been undertaken.
Kitchen fireplace recess infilled with blockwork.	Assumed to have been filled in order to provide a level / flat wall surface.	No historic fabric has been removed however the presence of the recess has been lost. However, this makes a limited contribution to the significance of the building as the fireplace has also been removed at some point in the past.	N/A. This location has been recorded on drawings and documents pertaining to previous planning application and therefore a record of this is available within the public domain and is included within the Historic Environment Record for the building.
Removal of internal doors and frames.	Internal doors and frames were removed as part of the floor and plaster removal works.	Most of the internal doors date from the 1930's internal alterations, with several later doors also present to the ground floor and as such make a negligible contribution to the buildings significance. However approximately two earlier doors present throughout the building have been removed, likely to be 19 <sup>th</sup> century in date.	N/A.
Existing lintels to ground floor living room internal door removed and new concrete lintels installed.	Required in order to ensure structural integrity and stability of the existing fabric and to safeguard remaining historic fabric.	A small area of non-significant fabric has been removed in order to facilitate the repairs to the walling at this location. Overall, the works have improved the structural integrity of the building and have safeguarded remaining historic fabric.	N/A.
Existing doors to built in cupboard to living room removed.	Exact reason for removal of cupboard door is unknown.	The cupboard doors do not make a specific significant contribution to the significance of the building and appeared to be relatively modern in nature.	Doors to be replaced / reinstated.
Existing modern fireplace to the ground floor living room removed. Reveals of fireplace	The existing fireplace was removed to allow for the installation of an antique	The existing fireplace was modern and did not contribute the significance of	Images of the proposed fireplace can be provided.



partially rebuilt in concrete blockwork and new concrete lintels installed over fireplace opening.	fireplace. The partial rebuilding of the fireplace recess was required in order to ensure structural integrity of the existing fabric and to safeguard remaining historic fabric.	the building and was harmful to its internal character. The fireplace recess has been retained and a new antique fireplace in keeping with the historic character of the fireplace is to be retained.	
Ceiling lining to ground floor boiler room removed and depth of rafters increased with timber battens.	The ceiling lining was removed as part of the conversion of the former boiler room in order to fit insulation to improve energy efficiency. Approval was granted under the previous listed building consent; however, the relevant condition was not discharged prior to commencement of the works.	The existing ceiling lining was modern in nature and did not contribute to the significance of the building.	The new ceiling lining will also be sloped to match the previous.
Existing transom window to east external door of ground floor internal hallway removed for off-site repair / refurbishment.	The window is in poor condition and repair / refurbishment works are required in order to safeguard this feature of the listed building.	The repair of the window will safeguard this element of historic fabric whilst enhancing the east elevation of the building through the improved condition of the window.	N/A.
Existing frames removed from the south wall opening to ground floor internal hallway. New concrete lintels installed over opening, with 1 no stone lintel being retained.	Existing timber frames with arched head appears to be later in origin, probably 20 <sup>th</sup> century and was likely removed as part of the plaster and floor removal works. The structural works above were required in order to ensure structural integrity and stability of the existing fabric and to safeguard remaining historic fabric.	The timber frames / architrave removed was likely to be 20 <sup>th</sup> century in date and as such made only a negligible contribution to the significance of the building on account of its later date.	N/A.
Recess formed to north wall of ground floor lounge. Reveals partially rebuilt in concrete brickwork and concrete lintels installed over.	Recess former to accommodate proposed Aga and extract ventilation system above. The partial rebuilding has been undertaken in order to ensure structural integrity and stability of the existing fabric and to safeguard existing fabric.	Likely to have resulted in the loss of some historic walling, however the structural works have improved the structural integrity and stability of this area and will safeguard remaining historic fabric.	N/A.

First Floor			
Removal of timber first floor structures, including floor boards and ceiling lings to underside. Installation of new modern timber floor structures throughout the first floor.	The first-floor structures were in poor condition with evidence of timber decay and insect infestation and as a result removal was undertaken and new floor structures installed to current building regulations.	The age of the floor structures was unknown and as a result the impact of removal cannot be fully understood. But given they were in poor condition; their replacement has addressed an existing weakness and vulnerability to the building.	N/A.
Plasterboard to bedroom 01 ceiling.	Existing ceilings had been affected by water ingress and renewal is required.	No obvious harmful impact on the significance of the listed building.	Existing ceilings had been affected by water ingress and renewal is required.
Installation of new timber ceiling structure to the first-floor bedroom 02.	New ceiling required to replace that which was removed.	The reinstatement of the ceiling will contribute to the restoring of the integrity and completeness of the buildings interior.	N/A.
Existing wall heads rebuilt / consolidated.	The wall heads were comprised of loose masonry and were in poor condition and rebuilding was required.	Required in order to maintain structural integrity and stability and to safeguard historic fabric. However, a small amount of wall fabric was likely removed to undertake this.	N/A.
Removal of access steps to first floor bedroom 01 and installation of new temporary steps.	The steps were removed as part of the floor removal works. The access steps were likely installed as part of the 1930's internal alterations and re-ordering and are not shown on the 19 <sup>th</sup> century plans.	The steps make a negligible contribution to the significance of the building and their removal has not harmfully impacted on the significance of the building.	N/A.
Existing staircase removed and temporary staircase installed.	It has been acknowledged by our client that the stair case was removed by the builder in error due to a miscommunication regarding the removal of the floors.	The existing staircase was likely installed during the 1930's phase of internal alterations. The historic plans from the mid-19 <sup>th</sup> century shows the staircase orientated in the opposite direction, meaning that the staircase that has been removed was not original and itself had a negligible contribution to the significance of the building.	New permanent timber staircase to be installed.
Plaster wall finishes removed throughout.	The plaster wall finishes were removed in preparation for replastering which was approved under the previous	It is unknown the plaster finishes removed were historic or more recent and as such the impact of the	Replastering to be undertaken using lime-based plaster.



	<p>listed building consent application, however the plaster was removed prior to the discharge of the relevant planning condition. Plaster removal was undertaken to remove areas of cracked and defective finishes and to facilitate walling repairs.</p>	<p>plaster removal is not fully known but is not expected to have had a significant impact on the significance of the listed building.</p> <p>The plaster removal has allowed for the revealing of areas of historic rebuilding as well as the revealing of the route of the chimney flues, all of which contribute to the history of the building and its significance.</p>	
Existing skirting boards removed throughout.	The existing skirting boards were removed as part of the removal of the ground floor and first floor structures and as part of the plaster removal works.	The skirting boards make little contribution to the significance of the listed building as the 'torus' type skirtings present appeared to be relatively modern,	Install new skirting to replace.
Removal of internal doors and frames.	Internal doors and frames were removed as part of the floor and plaster removal works.	Most of the internal doors date from the 1930's internal alterations, with several later doors also present to the ground floor and as such make a negligible contribution to the buildings significance. However approximately two earlier doors present throughout the building have been removed, likely to be 19 <sup>th</sup> century in date.	N/A.
Existing cill board to west window of first floor bedroom 02 removed with wall rebuilt below in concrete blockwork and new lintels over window head.	Existing cill board removed to facilitate wall rebuilding below. Rebuilding of wall sections undertaken to improve structural integrity and stability and to safeguard historic fabric.	The cill board itself would make a negligible contribution to the significance of the building. The rebuilding works are likely to have involved the removal of small amounts of wall fabric.	New painted timber cill board to be installed.
West reveal of internal wall opening to first floor landing rebuilt in concrete blockwork and new concrete lintels installed over.	Required in order to ensure structural integrity of the existing fabric and to safeguard remaining historic fabric.	A small area of wall fabric has been removed in order to facilitate the repairs to the walling at this location. However overall, the works have improved the structural integrity of the building and have safeguarded the remaining historic fabric.	N/A.

New timber stud partition installed to the west side of the landing.	The timber studwork was installed due to the single skin nature of the external wall at this location which is expected to be an area of past infill walling. The studwork, once insulated, will contribute to the energy efficiency of the building.	The studwork will not alter the existing plan form of the building and is a reversible intervention should removal ever be required and will contribute to the energy efficiency of the building without impacting on historic fabric.	N/A.
New timber stud boxing formed to the east end of the former bathroom to avoid the first-floor structure from bisecting across the transom window to the east external door below.	The timber studwork / boxing has been formed as a termination of the floor structure at this location to avoid bisecting the transom window to the east elevation external door below.	This intervention maintains the full internal appearance of the window without impacting on its historic fabric.	N/A.
Existing sloped ceiling finishes renewed to first floor bedroom 03.	The existing ceiling finishes have been affected by past water ingress and renewal was required.	The lath and plaster structure has been retained were present and the new plasterboard and intended plaster finish will not adversely impact on the interior appearance of the room and maintains its current appearance.	N/A.

## PROPOSED WORKS

Element of Works	Justification	Impact of Proposal	Mitigation
<b>Ground Floor</b>			
New hardwood skirting boards to be installed throughout to match new oak floor finish.	The existing skirting boards were removed as part of the works already undertaken and replacements are required throughout. The proposed skirtings are to be hardwood (oak) in order to match the proposed oak floor finishes.	No obvious harmful impact on the significance of the listed building. Will contribute to a sense of completeness to the buildings interior.	N/A.
Replastering throughout using lime plaster.	The proposed plastering will help to maintain a comfortable internal living environment whilst the pointing will ensure walls remain stable through the renewal of pointing where required. The use of lime-based materials will maintain the performance of the wall	No obvious foreseeable impact on the significance of the listed building. The walls require finishing to a suitable standard expected of that of a dwelling. The use of lime will maintain the performance and vapour permeability of the wall fabric.	Method statement and lime plaster specification has been provided.

	fabric in terms of moisture permeability.		
Existing temporary staircase to be removed and new permanent staircase installed, with under-stairs cupboard.	A new staircase is required in order to replace that which was originally removed as part of the works already undertaken.	A new staircase will ensure the integrity of the interior and the internal plan form of the building is restored.	N/A.
New internal timber doors and frames installed throughout.	Required to replace doors and frames previously removed.	No obvious harmful impact on the significance of the listed building. Will contribute to a sense of completeness to the building's interior.	N/A.
Existing modern timber casement window to the west wall to be removed and replaced with a new sympathetic fixed frame window.	The existing window is modern and its appearance is harmful to the appearance of the building.	The proposed window will match the existing windows in appearance and is therefore more sympathetic to the appearance of the benefit and provides a minor enhancement.	Proposed window details have been provided.
150mm insulation to be laid over concrete floor, with separating membrane, and 75mm sand / cement screed incorporating underfloor heating pipes.	Required as part of the proposed floor build up following the removal of the existing floor.	No foreseeable harmful impact. The proposed insulation and underfloor heating will contribute to the energy efficiency of the building as well as a comfortable internal environment.	N/A.
New plasterboard ceiling linings throughout.	Required to reinstate ceilings that were previously removed. Ceiling linings will be fixed to the underside of the existing modern floor structures at first floor level.	No foreseeable harmful impact on the significance and fabric of the listed building. Will restore an element of integrity and completeness to the buildings interior.	N/A.
Installation of new fireplace to ground floor living room.	New fireplace required to replace that which was previously removed.	No foreseeable harmful impact. The new fireplace is historic in nature and is more in keeping and sympathetic to the internal character of the building.	N/A.
Smoke detector to be installed to the ground floor living room.	Required as a means of fire detection and alert due to the installation of a new fireplace and is required under current building regulations.	No foreseeable harmful impact on the significance of the listed building.	N/A.



Reinstate cupboard doors to built in cupboard to living room.	Required to reinstate doors that were previously removed.	No foreseeable harmful impact on the significance of the listed building and the works restores the cupboard to a previous state.	
Insulation to be fixed between rafters and insulated plasterboard to be fixed to underside of rafters to proposed ground floor WC and Utility Room.	Required as part of the conversion of the former boiler room to a habitable use.	This will have no foreseeable harmful impact on the listed building. The proposal would improve the energy efficiency of the building as well as reinstating a ceiling lining to this area of the building.	N/A
Extractor fans to be installed to ceilings and vented through roof to new in line slate vents.	Internal extractors required under current building regulations.	This will have no foreseeable harmful impact on the listed building. The extractors will terminate to an 'inline' slate vent to reduce visual impact externally.	N/A.
New internal stud partition to form proposed ground floor WC and Utility Room.	Required to sub-divide the existing space into the proposed WC and Utility Room.	No obvious foreseeable negative impact on the significance of the listed building. The dividing wall is to be a timber stud partition which is reversible should removal be required in the future. This intervention would enhance the existing building through improved internal living environment as well as a suitable standard of living.	N/A.
New boiler to be installed to proposed Utility Room with flue vented through roof as previous.	New oil-fired boiler is required to replace older oil-fired boiler.	This intervention would improve the energy efficiency of the building. The flue pipe would penetrate the roof covering as previous causing no increased amount of harm as a result.	N/A.
Heat detector to be installed to proposed kitchen.	Required as a means of fire detection and alert due to the installation of a new aga and is required under current building regulations.	No foreseeable harmful impact on the significance of the listed building.	N/A.

First Floor			
Plasterboard ceiling linings with plaster skim finish.	Existing ceilings had been affected by water ingress and renewal is required.	No obvious harmful impact on the significance of the listed building.	N/A.
New hardwood skirting boards to be installed throughout to match new oak floor finish.	The existing skirting boards were removed as part of the works already undertaken and replacements are required throughout. The proposed skirtings are to be hardwood (oak) in order to match the proposed oak floor finishes.	No obvious harmful impact on the significance of the listed building. Will contribute to a sense of completeness to the building's interior.	N/A.
New internal doors and frames.	Required to replace those that were removed.	No obvious harmful impact on the significance of the listed building.	N/A.
Extractor fan to be installed and vented through roof void to inline slate vent to proposed first floor bathroom.	Internal extractor required under current building regulations.	This will have no foreseeable harmful impact on the listed building. The vent will terminate to an 'inline' slate vent to reduce visual impact externally.	N/A.
Replastering throughout using lime plaster.	The proposed plastering will help to maintain a comfortable internal living environment whilst the pointing will ensure walls remain stable through the renewal of pointing where required. The use of lime-based materials will maintain the performance of the wall fabric in terms of moisture permeability.	No obvious foreseeable impact on the significance of the listed building. The walls require finishing to a suitable standard expected of that of a dwelling and require pointing where existing mortar has perished. The use of lime will maintain the performance and vapour permeability of the wall fabric.	Method statement and lime plaster specification has been provided.
New timber cill board to west window of proposed first floor bathroom.	Existing cill board removed to facilitate wall rebuilding below.	The cill board does not make a specific contribution to the significance of the building and its removal has had a negligible impact.	New painted timber cill board to be installed.
New sanitaryware installed with incoming water supply and waste drainage to be connected into existing foul water drainage system via new internal soil pipe with air admittance valve.	Required as part of proposed bathroom.	No obvious foreseeable negative impact on the significance of the listed building. Work to be undertaken with care to prevent harm to historic fabric.	N/A.
Existing partitions to east side of proposed bathroom / staircase to be retained and	The partitions have replaced earlier walls which were removed and were likely	No obvious foreseeable negative impact on the significance of the listed	N/A.

lined with plasterboard and plaster skim finish.	installed as part of the 1930's internal re-ordering.	building. Will restore an element of integrity and completeness to the interior of the building and its plan form.	
Removal of temporary steps and installation of permanent steps to first floor bedroom 01	The steps were removed as part of the floor removal works. The access steps were likely installed as part of the 1930's internal alterations and re-ordering and are not shown on the 19 <sup>th</sup> century plans.	The reinstallation of the steps will restore a previously existing feature, although a modern feature and one which makes a negligible contribution to the significance of the building.	N/A.
Existing partition to proposed first floor dressing room to be lined with plasterboard and plaster skim finish.	The partition restores a previously removed wall.	This intervention will restore an element to integrity and completeness to the interior of the building as well as its internal plan form.	N/A.
Retention of boxing to proposed first floor dressing room.	The timber studwork / boxing has been formed as a termination of the floor structure at this location to avoid bisecting the transom window to the east elevation external door below.	This intervention maintains the full internal appearance of the window without impacting on its historic fabric.	N/A.
East wall of proposed first floor dressing room to be drylined with timber stud work, with insulation, plasterboard, and plaster skim finish.	The timber studwork is required due to the single skin nature of the external wall at this location which is expected to be an area of past infill walling. The studwork, once insulated, will contribute to the energy efficiency of the building.	The studwork will not alter the existing plan form of the building and is a reversible intervention should removal ever be required and will contribute to the energy efficiency of the building without impacting on historic fabric.	N/A.
Existing timber studwork to west wall of first floor landing to be retained and insulation and plasterboard lining to be fixed and plaster skim finish.	The timber studwork was installed due to the single skin nature of the external wall at this location which is expected to be an area of past infill walling. The studwork, once insulated, will contribute to the energy efficiency of the building.	The studwork will not alter the existing plan form of the building and is a reversible intervention should removal ever be required and will contribute to the energy efficiency of the building without impacting on historic fabric.	N/A.
Existing window to the west wall of proposed bedroom 02 to be repaired / refurbished in-situ due to fragility of frame. To be cleaned down and repainted. All cracked and missing	The window is in poor condition and has several broken glazing panes and repair of the window is required in order to safeguard its historic fabric.	The refurbishment and repair of the window will safeguard its historic fabric and provide a minor enhancement to the appearance of the building.	



glazing to be replaced with float glass to match existing.			
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EXTERNALS			
Existing external waste pipes and soil stack to be removed from the east elevation and wall penetrations made good.	The pipe work will be redundant due to the relocation of the first-floor bathroom and removal is required.	The removal of the existing external soil and waste pipes will have no undue impact on the significance of the listed building and will result in a minor enhancement to the buildings visual appearance through the removal of exposed drainage.	Details of removal have been provided.
Existing cement render wall finish to the west elevation to be carefully removed and underlying stone to be finished with breathable paint.	The west elevation is the only elevation which has been finished with a cement render and is a material that is incompatible and harmful with the fabric of the listed building and reduces the moisture permeability of the fabric.	The removal of the render should be undertaken carefully by hand to prevent damage to the underlying stonework. The removal of the cement render is will have a beneficial impact on the historic fabric as well as the visual appearance of the building.	Method statement for render removal has been provided.
Removal of existing timber porch to the west elevation.	The porch is of poor quality and condition and its removal is desirable.	The removal of the existing porch will result in a minor enhance to the appearance of the listed building.	Method statement for its removal has been provided.

#### Impact on the Conservation Area:

The vast majority of the works which have been undertaken and are yet to be undertaken are contained within the building interior and as such will have no impact on the character and appearance of the conservation area and therefore its significance. The replacement of the modern timber casement window to the west elevation of the former ground floor kitchen is to be replaced with a new window of a more sympathetic style to match the majority of the windows to the building and would provide a minor enhancement to the Conservation Area and offer a small amount of heritage benefit which is also a public benefit. The proposed external 'in-line' slate vents will have a negligible impact on the conservation area as they will match the existing slates. A further enhancement will also be offered through the removal of the existing waste / soil pipes to the east elevation. The removal of the porch to the west elevation will also result in a minor enhancement to the character and appearance of the Gisburn Conservation Area.

#### Impact on non-scheduled below ground archaeological remains:

In their earliest consultation response (undated) on the application (ref: 3/2022/0557) they confirmed that any possible buried remains associated with the existing building would not be informative and any possible impact caused by the loss of such deposits would be low to negligible.

The suggestion of a former medieval building once occupying the site would mean that more significant archaeological remains may be present. Following a site visit with the Ribble Valley Borough Council Conservation Officer and the Lancashire County Council Archaeologist on Tuesday 16<sup>th</sup> August 2022, a subsequent letter was received from the Lancashire County Council Archaeologist (dated 16<sup>th</sup> August 2022) who confirmed that following the excavation works which had been undertaken, he saw no evidence of the disturbing of any earlier archaeological remains and confirmed that an archaeological watching brief was not justified.

## APPENDIX A

### THE PRIORY: LIST ENTRY

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House, early C19th. Slobbered rubble with hipped slate roof overhanging at eaves. 2 storeys. Windows sashed with glazing bars which intersect at their heads. The plain stone surrounds have pointed heads on the ground floor and hoods on the 1st floor. The central chimney has 3 diagonal caps. The east wall is of one bay and has a 1st floor window similar to those to the south. The door below on the ground floor has a plain stone surround with pointed head. On the north side, against part of the rear wall, is an outshut. In its east wall it has a door with plain stone surround having a pointed head above a flat lintel. The space between the lintel and the arch is glazed with intersecting glazing bars. Adjoining the outshut at the north is a wing with separate hipped roof. It is of one bay towards the east and has mullioned windows with elliptical heads to the lights, and hoods. The ground floor one is of 4 lights, the 1st floor one of 2 lights. On the north side is a chimney with 2 diagonal caps.

## APPENDIX B

# GISBURN CONSERVATION AREA: SUMMARY OF SPECIAL INTEREST

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The Gisburn Conservation Area was designated on 3 October 1974. The special interest that justifies the designation of the Chatburn Conservation Area derives from the following features:

- The absence of 20th-century development along the Main Street, with its attractive mix of 17th, 18th and 19th-century houses, and its high proportion of listed and visually striking buildings;
- Its medieval church and churchyard;
- The S-shaped curves of the Main Street, which present different vistas to travellers passing through the village;
- The setting of houses along the main street well back from the road and fronted by large areas of cobbled pavement or set up on terraces with retaining walls and steps to the front doors;
- The tranquil Park Lane, with its 'polite' architecture, gatehouses and park boundary walls.



