

STRUCTURAL APPRAISAL REPORT

Phynis Farm, Slaidburn

Barn A

for

United Utilities Property Services

Job No.14619

October 2022

Rev.0



Structural Appraisal

Phynis Farm Barn A

1. INTRODUCTION

Booth King Partnership Limited was instructed by United Utilities Property Solutions to carry out an inspection and prepare a report on the structure of Barn A, Phynis Farm, Slaidburn.

The aim of the inspection was to determine the overall/generic condition of the main loadbearing elements of the property in order to:

- confirm its suitability for conversion,
- advise if any major repair work is required.

2. SCOPE

The inspection was limited specifically to a non-intrusive, visual inspection of exposed and readily accessible, structural, load-bearing elements. Except where noted, external works, perimeter walls and/or fences were not inspected. No opening up works were carried out and no samples were taken for testing. We have not specifically inspected for infestation or rot, as this is specialist work, however, where we have noticed evidence of such, we have recommended further investigations.

In addition, unless specifically noted, the inspection did not cover drainage items, rain water systems, finishes, electrical or plumbing installations or any other aspect which is not part of the load-bearing structure.

3 INFORMATION AVAILABLE

None.

4. THE INSPECTION

The survey work was carried out during a visit to the building on Wednesday 12 October 2022. The weather at the time of the inspection was rainy.

Opening-up or digging of trial holes was not carried out. Foundations were not inspected. Samples were not taken for chemical or strength testing.

The inspection of the outside of the building was done from ground or first floor level. Long ladders or staging were not available to allow a closer inspection of the roof or perimeter walls at high level.

Lighting levels in the buildings was limited. No electrical lighting was available. Observations were made by torchlight where possible.

A number of photographs, in digital format, were taken. These are available for inspection at the Ramsbottom office of Booth King Partnership Limited. Salient photographs which illustrate significant issues are included in this report at Appendix A.

5. FINDINGS

5.1 BUILDING FORM, STRUCTURE AND USAGE

Barn A is one of a cluster of agricultural buildings around a farmyard. Barn A is the major barn to the North West of the site, adjacent to the farmhouse.

The building comprises a traditional two-storey structure of masonry walls and stone flag tiled pitched roofs supported on timber rafters, purlins and trusses. To the north is a former single storey shipon of more modern construction, which has lost its roof. The elevational walls of the original building are random rubble stone with dressed stone coins and arch lintel. The shipon is concrete block walls.

The form of construction of the building suggests it was built in the 19th Century.

The building is orientated such that the front elevation faces approximately south east (see Figure 1 below).



FIGURE 1 SITE AERIAL VIEW

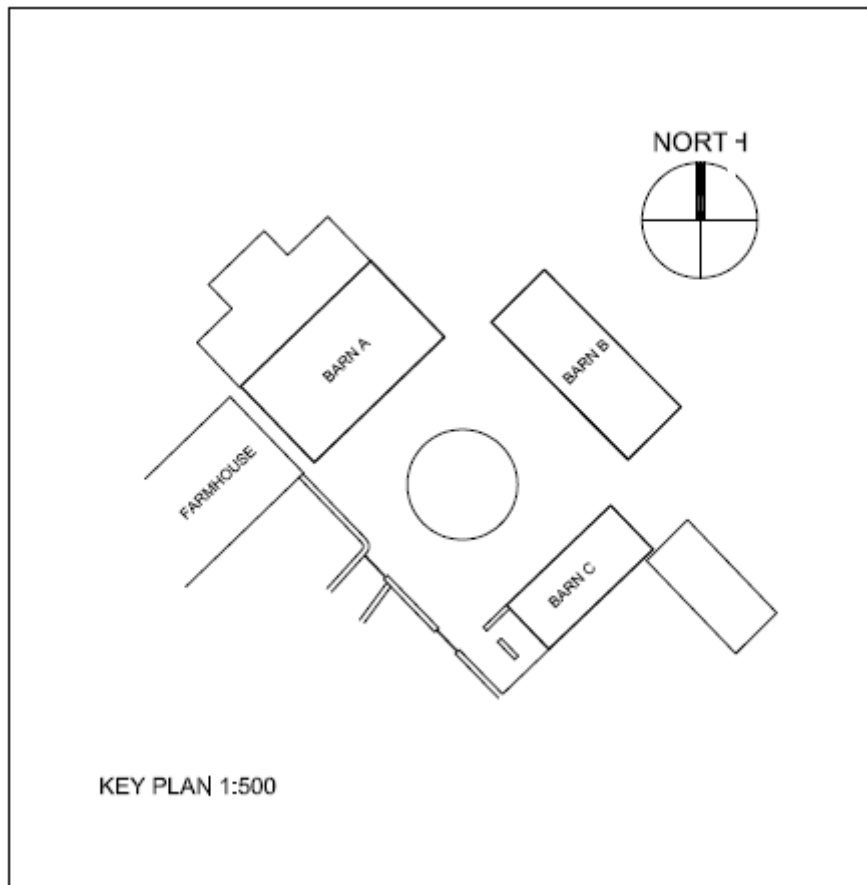


FIGURE 2 SITE PLAN

5.2 CONDITION AND OBSERVATIONS OF STRUCTURAL ELEMENTS

5.2.1 GENERAL OBSERVATIONS

It appears that the building is currently disused.

Generally the walls, which are thick stone, were noted to be reasonably plumb.

The stonework of the perimeter walls is generally in good condition although some repointing would be advisable.

The ridge of the pitched roof is acceptably straight, although there is a noticeable belly on the south east pitch which may be indicative of a local timber failure.

Internally there are timber stalls and a loft to the Northern half, and there is a stage to the southern end.

Externally in the shipon the ground has been covered with a concrete slab, set out in stalls.

The floor of the barn appears to be cobbled, although this has been covered in rubbish and detritus.

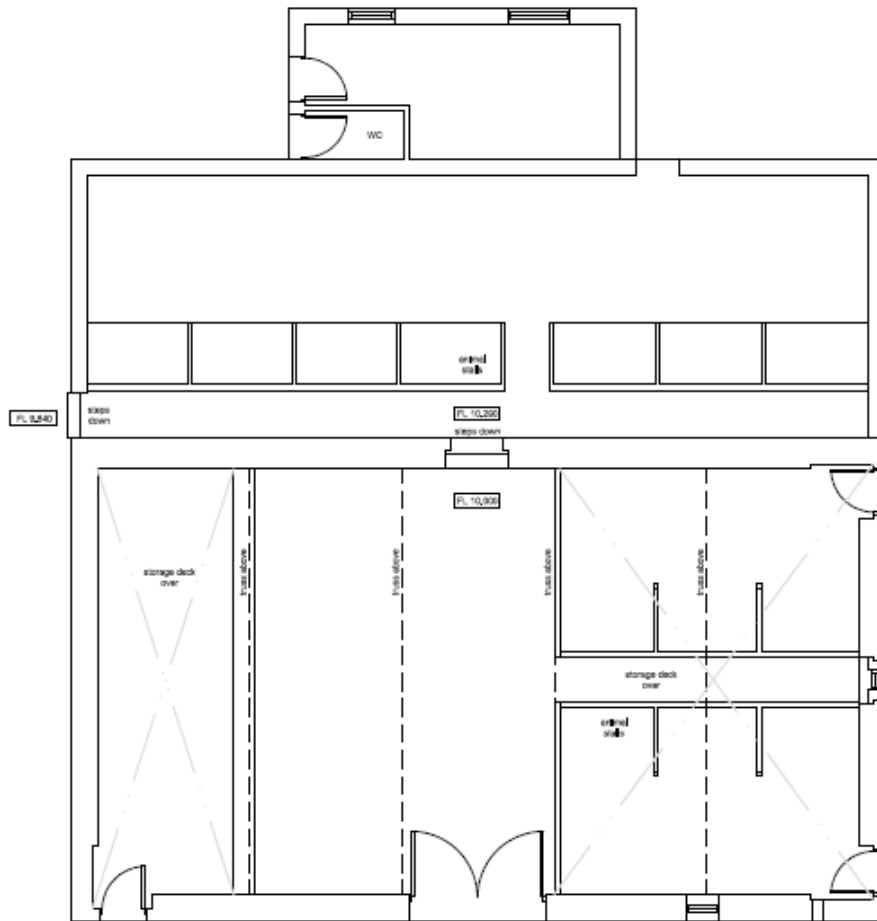


FIGURE 3 GROUND FLOOR PLAN

5.2.2 DETAILED OBSERVATIONS

The following detailed observations were recorded. Internally rooms are given references which are shown on Figures 2 and 3. When left and right are used in the descriptions of observation for walls, this refers to an observer's left and right when looking towards the wall.

OUTSIDE

Walls are straight and acceptably plumb.

External lintels and mullions are typically stone. There is a stone arch lintel over the cart door. These are generally sound with no obvious significant movement.

Some repointing is required generally.

Gutters and rainwater pipes are missing in several places.

INTERNALLY

The ground floor is generally thought to be cobbled, although this could not be observed everywhere. In the stalls there are areas of concrete flooring.

There are some slipped and missing tiles and these are allowing water ingress.

As a result of water ingress there are indications of rot to some roof timbers, most noticeable to the purlins and rafters on the South East pitch towards the middle of the roof.

The primary roof trusses are substantial, with the ties being a single piece of timber for the full span of the barn. For the most part the trusses seem to be dry and not showing excessive deflections' trusses bear into the walls and their ends could not be inspected.

The northern pitch seems to have been re-roofed at some time in the recent past with a roofing felt between the rafters and battens. In some places the felt is torn, and the sky can be seen through the holes. This is not the case for the southern pitch.

Timbers supporting the loft have been affected by woodworm.

6. CONCLUSIONS AND RECOMMENDATIONS

The main structure including load bearing walls, pitched roof timbers appear to be sound and would be amenable to sympathetic conversion to residential usage provided the following issues are addressed:

- The building should be inspected by a specialist in rot and infestation. Recommendations arising from that inspection should be actioned.
- Rainwater pipes and gutters are missing in places. All waterproofing and rainwater goods require replacement to protect the building fabric.
- There is partial sarking felt below the stone tiles on the pitched roofs. This should be repaired/replaced/installed during the conversion works.
- There is local evidence of rot to some roof timbers. It is clear that water ingress has occurred.
- These truss ends must be inspected by a specialist as these are bearing into the masonry walls, and as we note, the guttering is in poor condition.
- There is evidence of woodwork infestation to the hayloft supporting timbers. It is possible that this also applies to the roof timbers. These should be inspected by the specialist and treated as appropriate. It is unlikely that the hayloft structure would be retained as part of the conversion due to the low head height.

7. DISCLAIMER

This report is for the use of United Utilities Property Solutions in connection with this appointment and the benefit is not to be extended to any third party without the written permission of Booth King Partnership Ltd.

The opinions expressed are based purely on the conditions as readily seen and our interpretation of the evidence does not benefit from long-term observation. Our

inspection has only covered the major aspects of the structure that it was possible to inspect.

We have not 'broken out' to determine the condition of those parts of the structure which are covered, unexposed or inaccessible and are therefore unable to report that any such part is free from defect.

A detailed inspection of the structure has not been carried out for rot and infestation nor has the structure been fully checked for dampness. This is specialist work and is not within the scope of this investigation and report.

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APPENDIX A - PHOTOGRAPHS



Front Elevation



Rear elevation, missing tiles at eaves and gutters, allowing water to run down the wall. Pointing is in reasonable condition.



Gable Wall, adjacent to farmhouse, pointing in good condition



North Gable



Gale wall, sandstone door surround is weathered, but not structurally significant. Blockwork to shipon block bonded into stone coins.



Suspected rot in purlin and rafter due to water ingress.



Interior view showing trusses, and hayloft. Note holes in roof.



Woodwork affected timber in stalls