

DESIGN AND ACCESS STATEMENT

November 2022

To Accompany Planning Application for:

New extension to replace former police cell
Townend
Slaidburn
Lancashire
BB7 3EP



MASON GILLIBRAND
ARCHITECTS

16 Willow Mill | Fell View | Caton | Lancaster | LA2 9RA
01524 771 377
www.masongillibrand.co.uk

INTRODUCTION

Mason Gillibrand Architects Ltd. have been appointed as project architects to act on the clients' agent Mr John Forrester on behalf of the Slaidburn Estate for submission of this planning application.

This statement has been written to accompany the planning application as part of the submission to Ribble Valley Borough Council Planning and should be read in conjunction with the application drawings and supporting documents.

This application is for a Full Planning Consent for the demolition of an existing flat roofed single storey former police cell and the erection of a single storey utility room upon the same footprint annexed onto the gable of an existing row of three terraced houses

The proposals seek to provide additional residential accommodation to the existing end terraced house, as part of an upgrade to the existing accommodation

THE SITE

The site is located on Townend Lane in village of Slaidburn, a civil parish within the Ribble Valley District of Lancashire. The parish is within the Forest of Bowland- an area of Outstanding Natural Beauty (ANOB) Owing to its location and historical significance Slaidburn is within a designated conservation area.



The Red line indicates the application boundary. The Blue line indicates the ownership boundary of Town End

PROPOSAL

DESIGN PROPOSAL, LAYOUT & SCALE

The current disused police cell is annexed on the end terrace of a row of three terraced dwellings. The existing cell building is no longer fit for purpose and is in a very poor state of repair and structural condition due to subsidence. The proposal is to demolish the police cell and erect a small single storey extension to occupy part of the footprint of the former cell. The actual extension will actually be considerably smaller than the former cell building and is designed with a more traditional aesthetic appropriate scale and proportion to complement the terrace row.

The extension is significantly smaller than the existing structure and it will also be set back from the highway, to show reverence to the host terrace

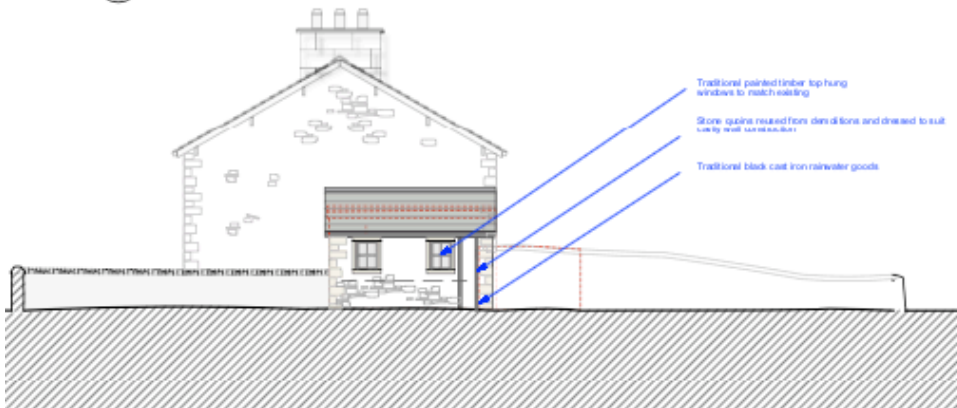
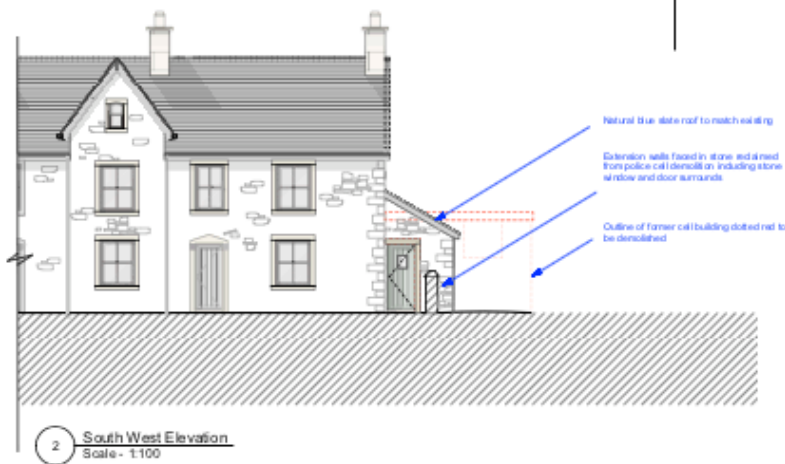
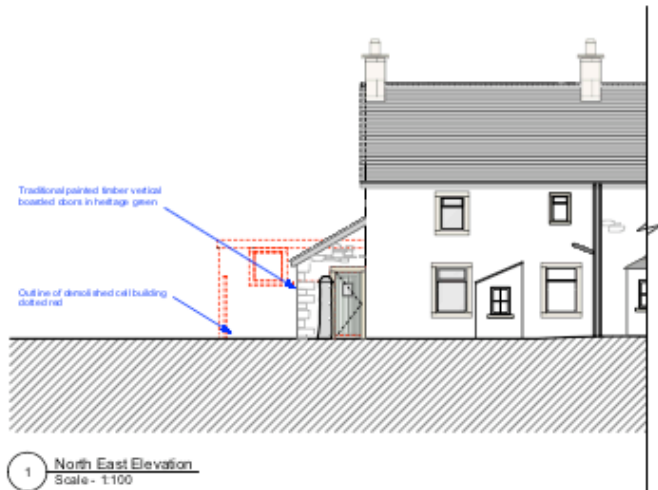
We have approached the design with the intention of offering a scheme that works to the client's brief of requirements, but also sits well in proportion to the neighbouring dwellings.

The design and materials have been chosen as they are readily available on site from the demolition of the existing structure and these we consider blend well with the existing terrace and their reuse ensures the development is very sustainable.

Because of the location in the designated conservation area- we have elected to design a very traditional structure to complement as closely as possible, in terms of materiality and detailing, the main host building.

WALLS - MATERIALS

The walls to the proposed extension are to be cavity constructed with a matching sandstone outer facing with stone quoined corners. It is proposed that the stone from the existing structure is to be reused and dressed to suit the stone outer leaf. Similarly, the existing stone door and window surrounds are to be reused to form the new windows and doors surrounds.



Proposed elevations

WINDOWS AND DOORS - MATERIALS

Traditional painted timber top hung windows are proposed and painted vertically boarded timber doors with a small centralised glazed viewing panel.

The new windows and doors are proposed to be set behind the stone surrounds to match the windows and doors on the main house street frontage.

ROOF - MATERIALS

Natural blue slate to match the existing slate on the terrace is proposed. The pitch of the roof on the extension is to be the same as that on the main house and the projecting verge detail on the terrace gables end is to be replicated on both ends of the extension

HIGHWAYS AND PARKING

The proposed extension will not affect the existing parking capacity on-site

ACCESS

Access is from off Townend Lane off the existing footpath and would be unchanged.

LANDSCAPING

A small section of stone flagged curtilage will be formed outside both the front and rear entrance doors. This alteration will have no impact on the highway or affect any visibility to road users.

BIODIVERSITY

The existing building has a relatively modern flat roof therefore there is no risk to the Bats. There is no known biodiversity requirement applicable for the site.