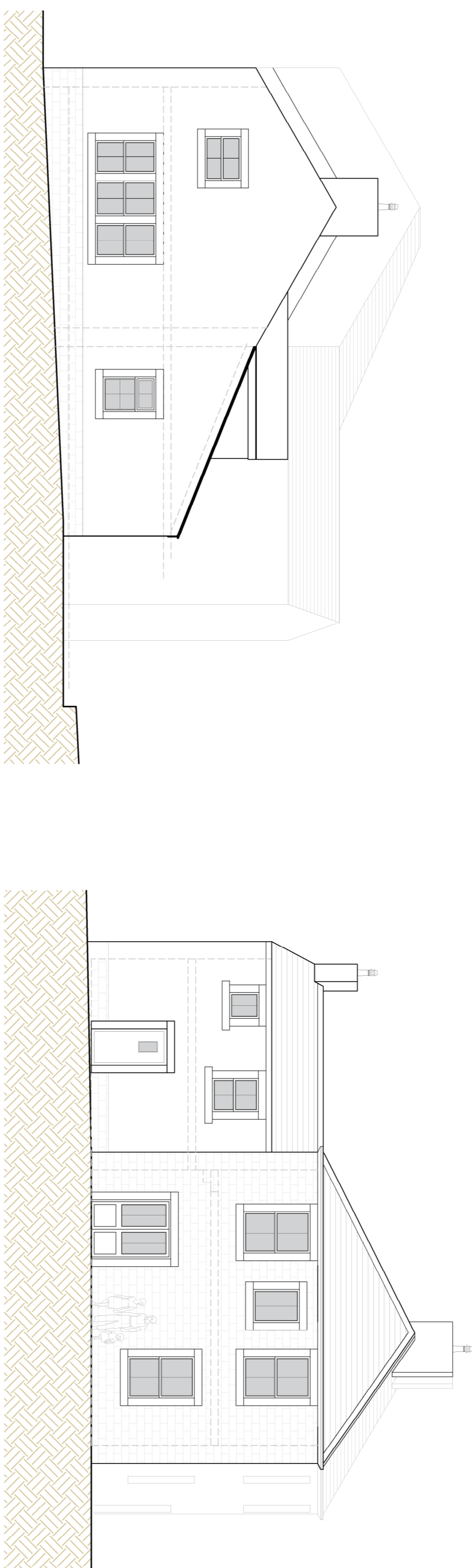
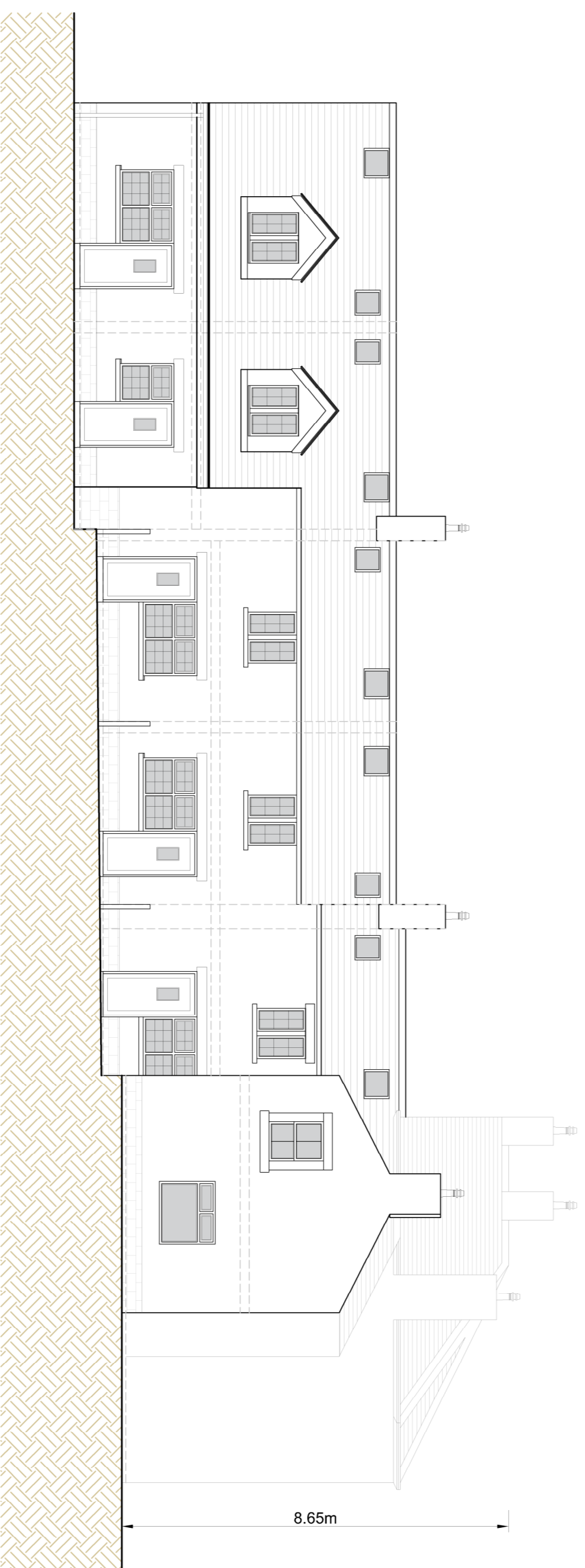


FRONT ELEVATION



SIDE ELEVATION



REAR ELEVATION  
PROPOSED ELEVATIONS

SCALE 1:100 A1

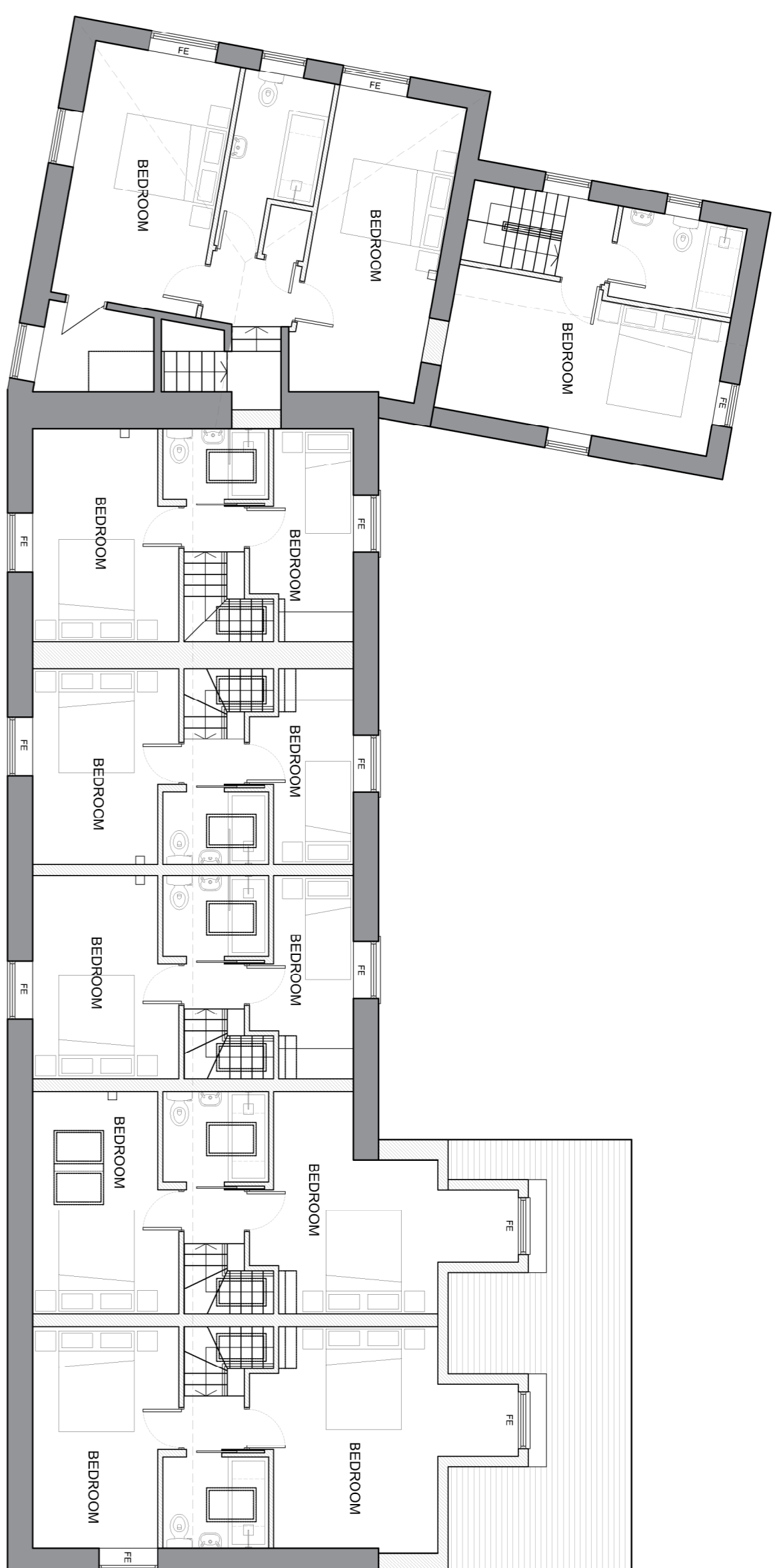


**MATERIALS**

- EXTERNAL WALLS** Coursed stonework  
Through coloured render spar dashed - Off white
- ROOF** Reclaimed slate  
Painted timber fascia boards etc - Black
- WINDOWS** Painted timber double glazed windows - White  
Stone surrounds  
Velux roof lights
- DOORS** Painted timber entrance and french doors - White
- RAINWATER** Black UPVC rainwater pipes and gutters

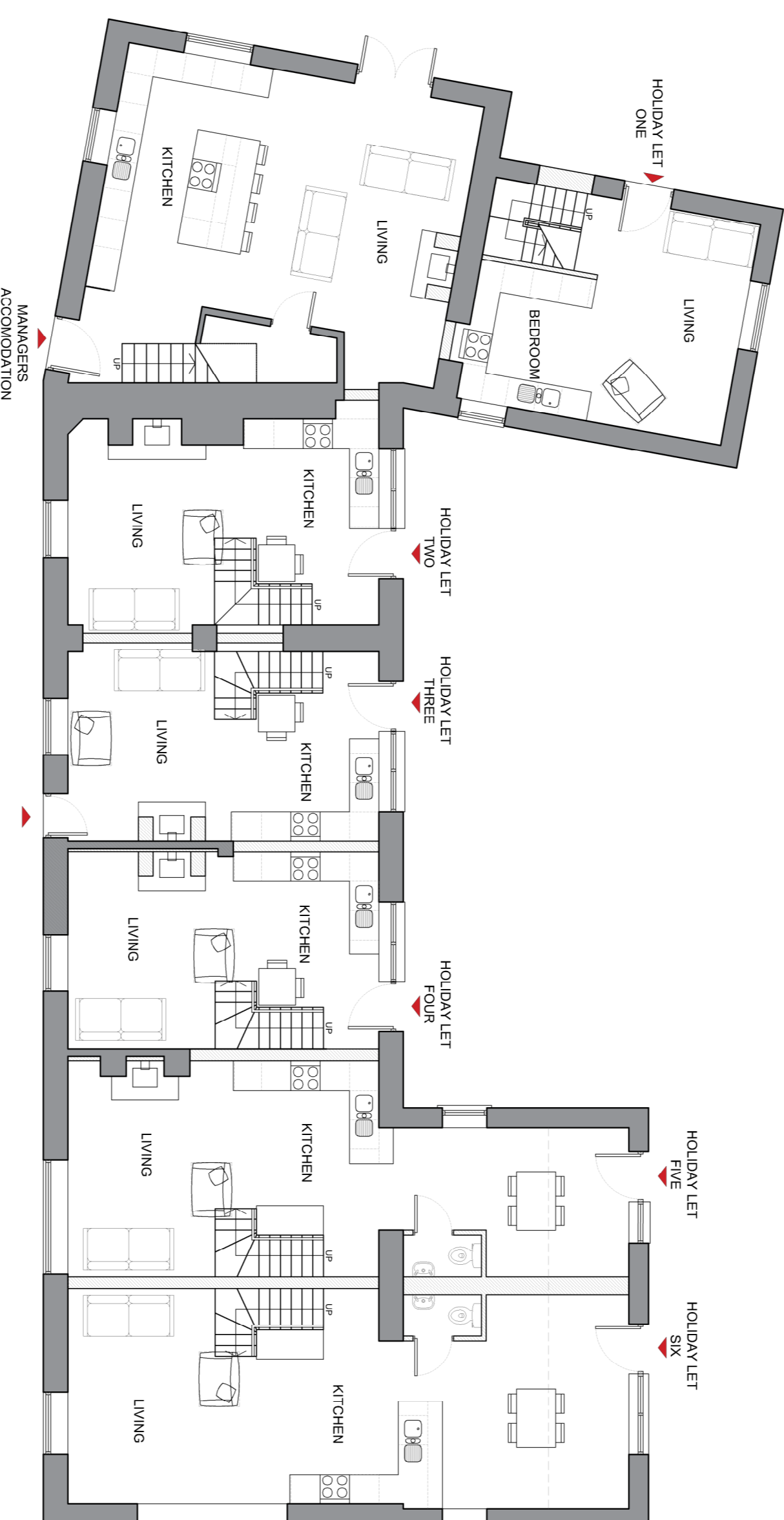
**ADDITIONAL NOTES**

FE Fire Escape window  
To open without obstruction to at least 0.33m<sup>2</sup> and at least 450mm high and 450mm wide. The bottom of the unpermeable area should be no more than 1100mm above the finished floor level.



PROPOSED FIRST FLOOR PLAN

SCALE 1:100 A1



PROPOSED GROUND FLOOR PLAN

SCALE 1:100 A1

SCHEDULE OF ACCOMMODATION			
	GROUND FLOOR	FIRST FLOOR	TOTAL
HOLIDAY LET ONE - 1 BED	25.2 m <sup>2</sup>	22.1 m <sup>2</sup>	47.3 m <sup>2</sup>
HOLIDAY LET TWO - 2 BED	27.5 m <sup>2</sup>	24.1 m <sup>2</sup>	51.6 m <sup>2</sup>
HOLIDAY LET THREE - 2 BED	25.3 m <sup>2</sup>	22.4 m <sup>2</sup>	47.7 m <sup>2</sup>
HOLIDAY LET FOUR - 2 BED	25.7 m <sup>2</sup>	23.2 m <sup>2</sup>	48.9 m <sup>2</sup>
HOLIDAY LET FIVE - 2 DOUBLE BED	43.8 m <sup>2</sup>	32.9 m <sup>2</sup>	76.5 m <sup>2</sup>
HOLIDAY LET SIX - 2 DOUBLE BED	50.3 m <sup>2</sup>	35.3 m <sup>2</sup>	85.6 m <sup>2</sup>
MANAGERS ACCOMMODATION	47.4 m <sup>2</sup>		47.4 m <sup>2</sup>

**SUBJECT TO PLANNING APPROVAL FROM RIBBLE VALLEY BOROUGH COUNCIL**

**BRAMLEY - PATE + PARTNERS**  
Chartered Architects - Telephone (01772) 335357