

GENERAL NOTES FOR THE DEVELOPMENT

Toilet/en-suites and kitchen drainage. All wastes from sinks to be 38mmØ with 75mm deep seal traps. WC wastes to be 100mmØ encased in sound insulated ducts where they pass through rooms. Anti syphonic traps to be used where 50mmØ common waste pipes are used for one or more appliance. Waste pipes are to be connected to SVP or BIG. Waste pipes to fall at a minimum 1:55 with support brackets at 600mm centres. Rodding access to be provided at the head of each run.

Existing drainage is only evident on the building frontage to Old Langho Road. This is the only foul drainage point. There is top water drainage to the building perimeter. This will be subject to a full inspection as the premises was a former bed and breakfast premises prior to finalising the details. Any drainage running under structures/slabs etc or with less than 450mm cover shall be encased in 150mm concrete with flexible joints at every pipe joint, comprising 18mm compressible boards, pre cut to pipe diameter and to height and width equal to concrete cross section.

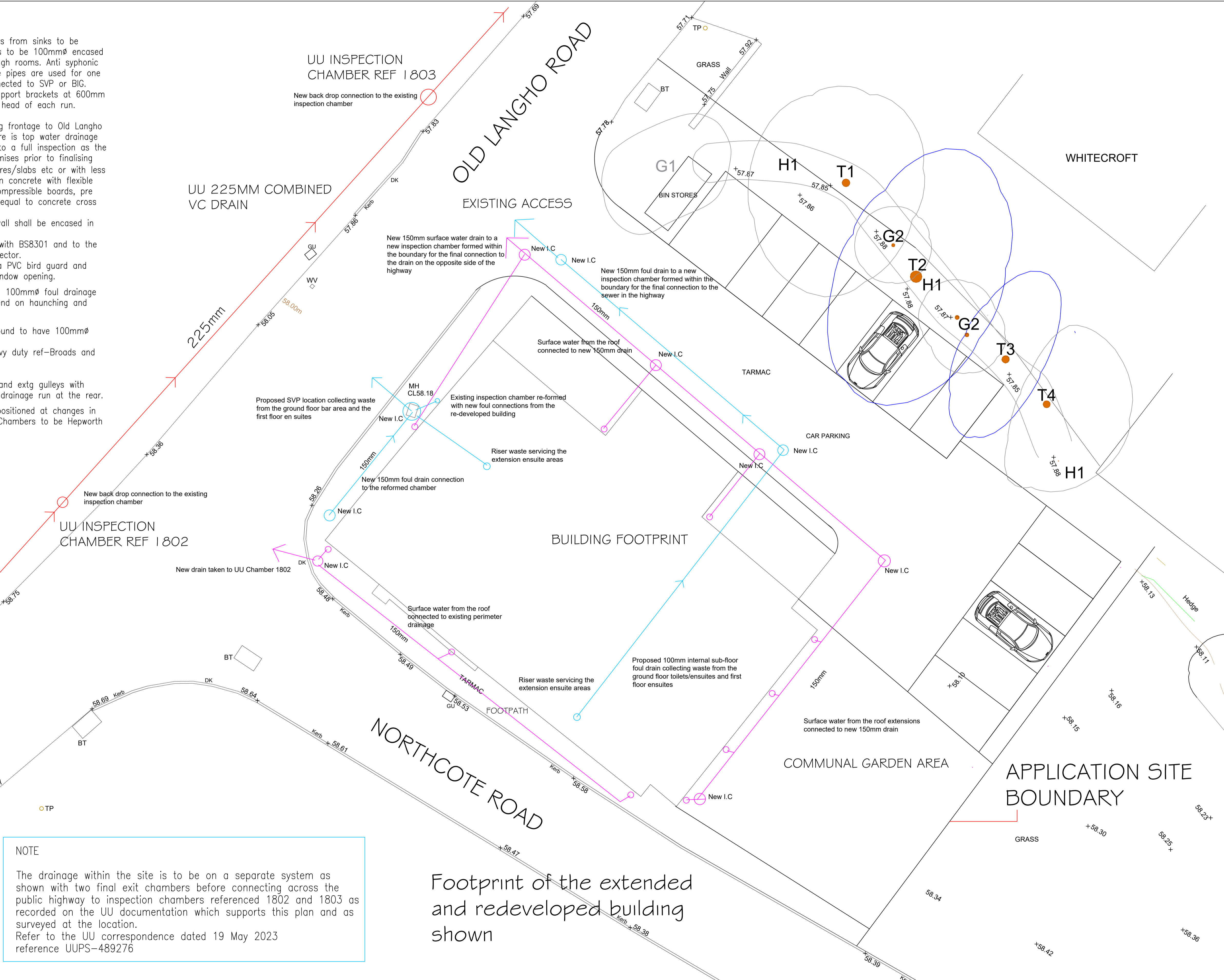
Drains below foundation level within 1m of a wall shall be encased in concrete upto level of foundation. Generally the drainage shall be in accordance with BS8301 and to the satisfaction of the Local Authority Building Inspector. External soil and vent pipes to be fitted with a PVC bird guard and terminate a minimum of 900mm above any window opening.

100mmØ soil and vent pipes connected by new 100mmØ foul drainage run to new below ground system with a rest bend on haunching and rodding eye in the face.

Precast gulley pots with 150mm concrete surround to have 100mmØ outlet connected to drainage system. Grating and cover to be grade E 200x200 heavy duty ref-Broads and Co. or similar approved.

38mmØ kitchen wastes to terminate over new and extg gulleys with vertical back inlet. Gulleys to be connected to drainage run at the rear.

New polypropylene inspection chambers to be positioned at changes in direction and junctions of new drainage runs. Chambers to be Hepworth Superseve or similar approved.



NOTE

The drainage within the site is to be on a separate system as shown with two final exit chambers before connecting across the public highway to inspection chambers referenced 1802 and 1803 as recorded on the UU documentation which supports this plan and as surveyed at the location. Refer to the UU correspondence dated 19 May 2023 reference UUPS-489276

Footprint of the extended and redeveloped building shown

Notes.		
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REV A - UU COMBINED SEWER SHOWN		
Project.		
KEEPERS COTTAGE PROPOSED BOUTIQUE HOTEL		
Client.		
FORTIS HOSPITALITY SOLUTIONS (GLOBAL) LTD		
Drawing title:		
DRAINAGE STRATEGY PLAN		
Status.		
Scale.		
1:100 AT A1		
Drawn by:	Checked:	PH
Date.		
23 MAY 2023		
Project no.	Fig. no.	Rev.
PHA/750	5000	A