

8 The Oaks, Wiswell Lane, Whalley, BB7 9FU



Proposed detached double garage and conversion of existing garage into games room.

Dip TP, MRTPI

**STATEMENT IN SUPPORT OF HOUSEHOLDER PLANNING APPLICATION FOR A DETACHED DOUBLE GARAGE AND CONVERSION OF EXISTING GARAGE INTO GAMES ROOM AT
8 THE OAKS, WISWELL LANE, WHALLEY BB7 9FU**

1 INTRODUCTION

- 1.1 This Planning Statement has been prepared by Judith Douglas Town Planning Ltd on behalf of the applicant for a new detached double garage at the front of the property and the conversion of the existing garage into a games room.
- 1.2 This Statement describes the application site, the proposed development and assesses its merits against the relevant up-to-date policies of the development plan, the National Planning Policy Framework and all other relevant material considerations.
- 1.3 It demonstrates that the proposed development is in accordance with the relevant policies of the adopted Ribble Valley Core Strategy (2014) and also accords with Government policy and guidance as detailed within the National Planning Policy Framework (2021).
- 1.4 The Statement should be read in conjunction with the accompanying information:
AST 2023 3/A/001 Site Location Plan
AST_23_3 -002 Ground Floor - As-built Layout
AST_23_3 -003 First Floor - As-built Layout
AST_23_3 -004 Second Floor - As-built Layout
AST_23_3 -005 Existing Elevations Sheet 1 of 2
AST_23_3 -006 Existing Elevations Sheet 2 of 2
AST_23_3 -013 Proposed Site Plan
AST_23_3 -016 Existing & Proposed Site Sections
AST_23_3 -017 Existing Site Plan
AST_23_3 -018 Proposed External Garage Elevations
AST_23_3 -019 Proposed Ground Floor Layout
AST_23_3 -020 Proposed Visualisations

2.0 THE APPLICATION SITE AND SURROUNDING AREA

- 2.1 8 The Oaks (Plot 1) is a recently completed detached house on a small housing development of 8 large, detached houses adjacent to Oakhill School. The properties are two and half storeys high, having rooms in the roof space and have attached double garages at the front.

There is a large area of parking at the front of the properties and each property stands within a large garden. Since planning permission was first granted, some homeowners have applied for permission to modify the design of their home to suit their needs. See planning history below. The majority of the houses are now complete and occupied.

- 2.2 The land comprising The Oaks slopes gently from east to west. Vehicle access to The Oaks is currently through the grounds of Oakhill School. This temporary access emerges across the eastern end of 8 The Oaks front garden. Eventually the vehicle access will permanently switch to the access through the new housing estate to the south and The Oaks will become a cul-de-sac. See condition 9 of 3/2018/1124. The permanent access passes along the north gable and garage to plot 7 and sweeps down to a central turning circle.
- 2.3 As the development is not yet complete, the existing boundary treatment along the northern side of the front garden of 8 The Oaks and along the boundary of new road serving The Oaks will soon change. Currently the demarcation between 8 The Oaks and the car park to Oakhill School is Heras fencing and there is an earth banking rising from the footway to The Oaks to the high fencing around the three tennis courts to Oakhill College. The approved boundary treatment along the northern boundary of The Oaks development will be described below as this provides the context to the proposed development for a new double garage at 8 The Oaks.



1. Site access and existing boundary between 8 The Oaks and the car park to Oakhill School



2. Permanent site access looking east. Fencing around Oakhill all-weather sports courts (tennis).

- 2.4 Oakhill School is a private day school and nursery which occupies the adjacent site to the north of The Oaks. Oakhill Leisure also operates from the same site. Their website indicates that the leisure facilities include a sports hall and 3 tennis courts 3G pitch and an all-weather football pitch. The sports facilities operate during the day and into the evening.

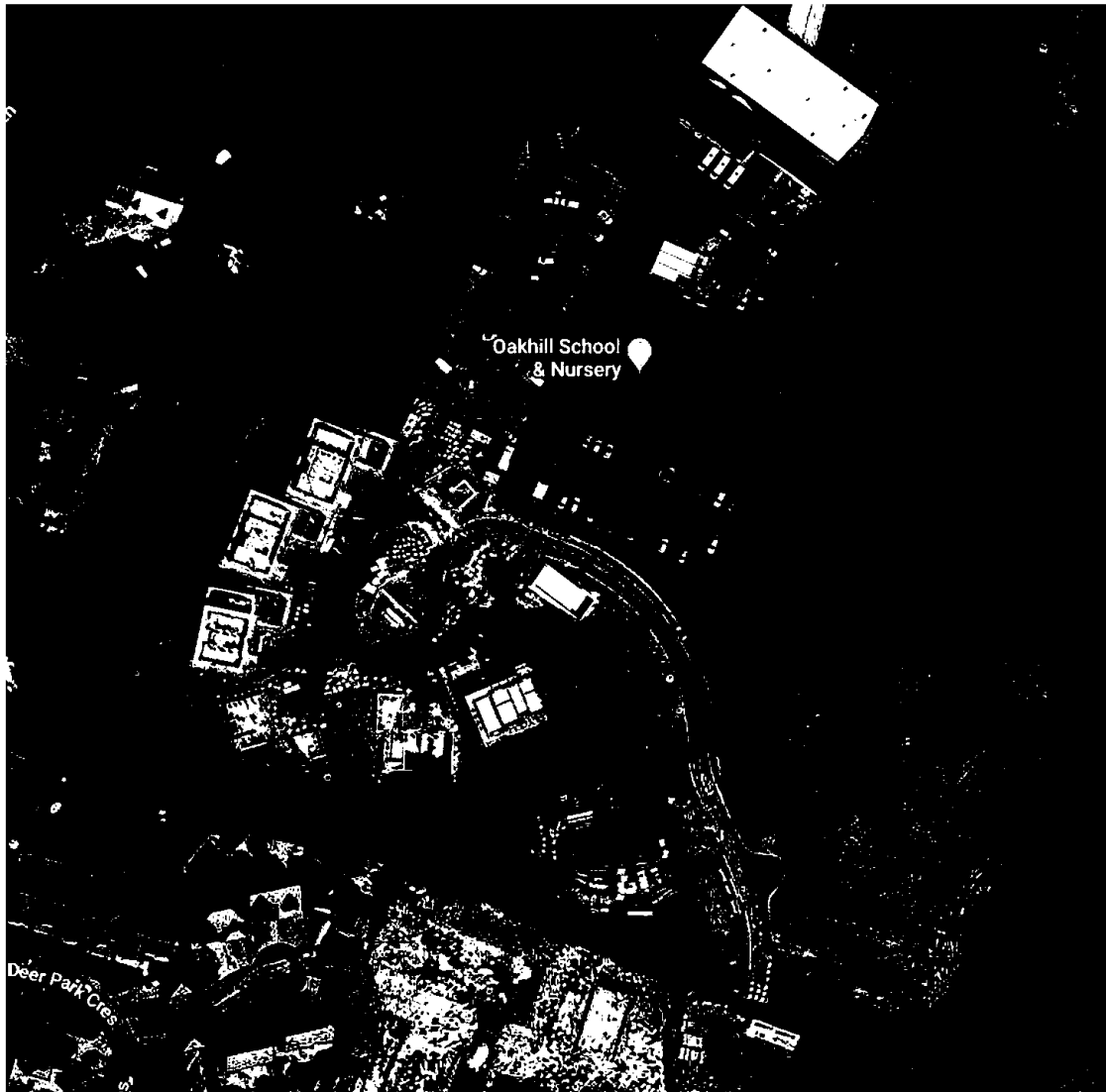
The website indicates the sports facilities are open:

Monday-Thursday 6.30am -10pm

Friday 6.30am - 9pm

Saturday Sunday and Bank Holidays 8am-4pm

The main car park for the school is the north of 8 The Oaks and the front elevation of the Oak looks towards the access road for The Oaks and the end of the tennis courts which are at a higher level.



3 Google map aerial image of The Oaks under construction. Oakhill School and Leisure car park and all-weather tennis courts.

3.0 SITE HISTORY

3.1 The planning applications below are recorded on the Council's website.

Application	Address	Development	Decision
3/2021/0465	Oakhill College Wiswell Lane Whalley BB7 9AF	Resubmission of application 3/2018/1124 relating to a house type amendment for Plot 8 . Materials to match the rest of the development.	Approved 10.06.2021
3/2021/1083	Oakhill College Wiswell Lane Whalley BB7 9AF	Resubmission of application 3/2018/1124, relating to house type amendment for Plot 7 . Amendment to approved house type to add rear snug/dining extension and change double garage to swimming pool and increased first floor accommodation.	Approved 13.01.2021
3/2020/0958	Oakhill College Wiswell Lane Whalley BB7 9AF	Variation of condition 2 of planning permission 3/2018/1124 to allow additional two storey extension to side, new window and minor internal changes for Plot 1 and Plot 6 .	Approved 11.12.2020
3/2020/0922	Oakhill College Wiswell Lane Whalley BB7 9AF	Variation of condition 2 (Plans for Plot 4) of application 3/2018/1124	Approved 08.12.2020
3/2020/0903	Oakhill College Wiswell Lane Whalley BB7 9AF	Variation of condition 2 (Plans for Plot 5) of application 3/2018/1124	Approved 08.12.2020
3/2020/0844	Oakhill College Wiswell Lane Whalley BB7 9AF	Change form of ground floor window in side elevation from the layout approved in application 3/2020/0305.	Approved 15.10.2020
3/2020/0342	Oakhill School Wiswell Lane Whalley BB7 9AF	Variation of condition 2 (plans) of planning permission 3/2018/1124 to allow amendments to the approved design of plot 6 .	Approved 05.06.2020
3/2020/0305	Oakhill School Wiswell Lane Whalley BB7 9AF	Variation of condition no 2 of 3/2018/1124 to allow amendments to the approved design of plot 3 .	Approved 27.05.2020
3/2020/0290	Oakhill School Wiswell Lane Whalley BB7 9AF	Variation of Condition 2 of planning permission 3/2018/1124 to allow amendments to the approved design of plot 2 .	Approved 27.05.2020
3/2019/0788	Oakhill School Wiswell Lane Whalley BB7 9AF	Discharge of condition 3 (materials), 6 (provisions for building dependent species of conservation concern) and 7 (boundary treatment) from planning permission 3/2018/1124.	Approved 12.09.2019
3/2018/1124	Oakhill School Wiswell Lane Whalley BB7 9AF	Erection of eight two-storey, open-market dwellings with means of access, associated works and landscaping.	Approved 16.04.2018

4.0 THE PROPOSED DEVELOPMENT

4.1 This application seeks planning permission to construct a detached double garage measuring, 7.756m wide by 6.788 deep with a height to the eaves of 2.855m and to ridge 5.72m. It will be constructed in stone and render with a blue slate roof to match the existing property. The garage doors will be removed from the existing garage and re-used in the proposed garage.

The front elevation of the existing garage will be modified to replace the existing doors with four aluminium windows and the walls extended in stone and render to match. The finished floor level of the proposed garage will be 1.75m higher than the existing due to the slope of the land. A stepped path is proposed from the pedestrian door at the rear of the garage to the house. The garage is large enough to store cycles. The existing resin bound driveway will be extended up to the proposed garage doors.

5.0 DEVELOPMENT PLAN POLICY

5.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004 refers to the development plan as a whole and requires planning applications to be determined in accordance with the plan unless material considerations indicate otherwise. In this case the relevant parts of the development plan comprise the Ribble Valley Core Strategy (2014) and the National Planning Policy Framework (2021).

5.2 The following policies of the Ribble Valley Core Strategy ('the Core Strategy') are relevant to the determination of this application:

Policy DMG1: General Considerations
Policy DMG2: Strategic Considerations
Policy DMG3: Transport and Mobility
Policy DMH5: Residential and Curtilage Extensions.

5.3 The National Planning Policy Framework (2021) ('the Framework') sets out the Government's planning policies for England and how they should be applied. It requires local planning authorities to apply a presumption in favour of sustainable development which means, as paragraph 11c explains, that development which accords with an up-to-date development plan should be approved without delay.

5.4 In determining planning applications, paragraph 38 of the Framework expects local planning authorities to approach decisions in a positive and creative way. They should work proactively with applicants to secure developments that will improve the economic, social and environmental conditions of the area. Decision-makers at every level should seek to approve applications for sustainable development where possible.

6 PLANNING POLICY AND EVALUTION

6.1 The main matters for consideration in these applications are-

- Potential impact of the development on residential amenity Policy DMG1 and DMH5.

- Potential impact on the visual amenity of the area Policy DMG1

Residential Amenity

- 6.2 Photograph 4 shows the view across the front garden of 8 The Oaks towards the front garden of 7 The Oaks. There is approximately a 13.5m gap between the windows to the proposed games room and the joint boundary with 7 The Oaks. This combine with the fact the proposed windows face towards the driveway in the front garden of the neighbours' property means that there is no unacceptable loss of privacy to the occupants of 7 The Oaks. The proposal complies with the requirements of DMG1 in this respect.



4 Looking south across the front of 8 The Oaks towards 7 the Oaks

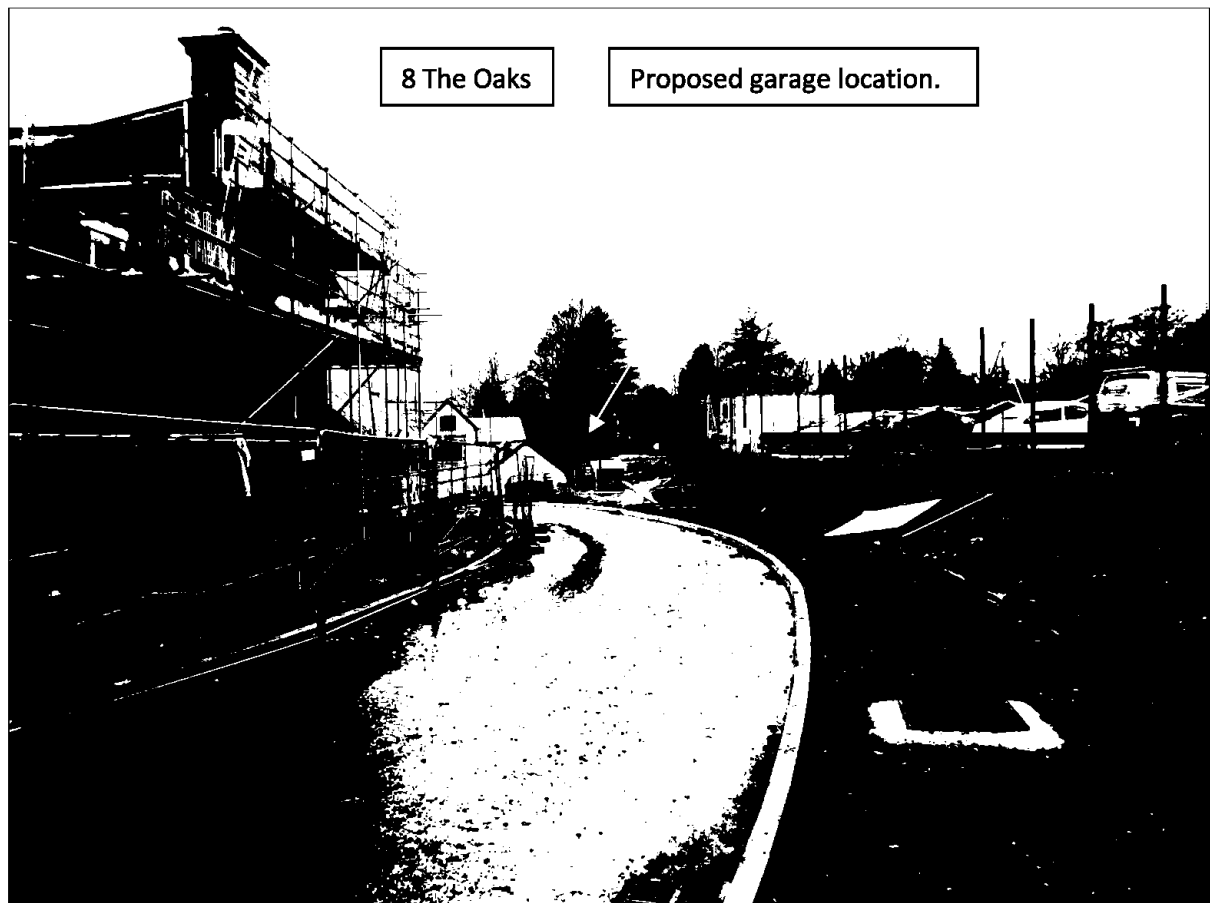
Visual amenity

- 6.3 The submitted drawings indicate that the proposed garage will be at a higher level than the existing garage and positioned in the front garden of the property. The images in the proposed visualisation illustrated how the proposed garage will related to the existing house and surrounding land levels. This shows a pleasing arrangement which will not appear out of place.
- 6.4 The site is still under construction, and it is important to consider how it will appear when it is complete and the existing vehicle access through Oakhill School is closed off. The approved landscaping scheme to the overall development indicated that two trees would be planted in the front garden to 8 the Oaks (Plot 1). The planting of these trees is not compromised by the proposed garage development. The position of these proposed trees is shown on drawing AST-23-3-013 Proposed site plan.

6.5 Condition 5 of planning permission 3/2018/1124 for the development of the whole site at The Oaks refers to approved landscaping scheme drawing 0011 Rev A. Drawing 0011 Rev A indicates important landscaping elements which help to separate the housing development from the activities at the school. This shows along the northern boundary of The Oaks development:

- A 2m high composite close boarded fence along the northern boundary of 8 The Oaks and two proposed trees in the front garden.
- A pedestrian gateway into the ground of Oakhill School.
- A 2m high acoustic boundary fence along the all-weather pitch (tennis courts)
- A heavily planted area to form a demarcation zone between the acoustic fencing and the new footpath along the access road.

6.6 This landscaping and boundary treatment scheme is yet to be implemented. Once it is in place it will change the current appearance of the site and provide the setting for the proposed garage.



5 View along the gable of plot 7 towards 8 The Oaks. An acoustic fence is approved along the line of the mesh fencing to sports court (temporary car park) and dense planting is approved along the banking below.

- 6.7 All of the properties at The Oaks are large imposing properties and the double garages appear modest in comparison, On entering the main part of the site along the side of plot 7 the you are at the highest level on the site. The proposed garage will be at a lower level to plot 7 and will be viewed with the dwelling 8 The Oak behind it. The heavily planted banking on the northern side of the access will provide some screening as will the tree to be planted adjacent to the east side of the proposed garage. See photograph 5
- 6.8 When viewed from within the central part of The Oaks the proposed garage will be seen against the backdrop of the 2m high composite fencing the tree planting in the garden of 8 The Oaks and other trees to be planted in the front gardens of the properties. It will help to partly screen the elevated all-weather sports pitch particularly when viewed from plots 1-4.
- 6.9 The approved stone boundary wall at 8 The Oaks will also help to visually connect the garage to the garden area of 8 The Oaks. The proposed design of the detached garage and its location on the site will complement the existing development and helps screen the activities on the adjacent sports pitches used by the school and Oakhill Leisure.



6 Outlook from the front of 8 The Oaks towards the car park and elevated sports pitch.

- 6.10 8 The Oaks is positioned adjacent to the car park to Oakhill School and Oakhill Leisure. Oakhill Leisure operates into the evening and the sports facilities are used by both the school

and Oakhill Leisure. The proposed garage will enhance the buffer between the house and the activities at Oakhill School and Leisure for the occupiers of the property. The outlook from the front of the house is towards the elevated sports pitch. The approved screening between the house and the elevated sports pitch is a 2m composite closed boarded fence and the trees to be planted in the garden. The white container in photograph 6 is on the sports pitch. The Heras fencing is approximately 2m high. The positioning of the proposed garage in the front garden will enhance the screening and afford a greater sense of privacy for the house from the sports activities at Oakhill. It will also provide a buffer to the traffic movements on the car park. See photographs 6.

Other matters.

- 6.10 As the development is not increasing the number of bedrooms and ample parking is provided the proposal complies with the Lancashire County Council car parking standards.

7 CONCLUSION

- 7.1 This Planning Statement has been prepared on behalf of the applicant for a new detached double garage at the front of the property and the conversion of the existing garge into a games room. It has been demonstrated that the application complies with the requirements of policy DMG1 and provides a high standards of design. It is sympathetic to the design of the existing development, in term of layout, style, use of materials and scale. The design of the scheme is appropriate to its context and will sustain the visual quality and character of this new development. The development will have no adverse impact on the amenities of neighbouring residents as such the proposal also complies with policy DMH5. The proposed retains adequate parking for vehicles and cycles in compliance with policy DMG3. The development meets the aspiration of the NPPF to achieve well-designed places.
- 7.2 It has been demonstrated that the proposal is complaint with the provisions of the National Planning Policy Framework and the adopted Ribble Valley Core Strategy in relation to residential amenity and visual amenity. In the light of all the issues detailed within this Statement, the presumption in favour of sustainable development should be applied and the application supported.