

## REPORT

# Drainage Strategy

Northcote Hotel, Northcote Road, Langho

May 2023

Vectos Project Number: VD23863

**Drainage Strategy** Version - P01

vectos.co.uk



## **Report control**

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Client: Northcote Hotel

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#### Introduction

#### **Project Background**

- 1.1 Vectos SLR have been appointed by Northcote Hotel (the Client) to provide drainage services to produce a drainage strategy for a Proposed Pavilion restaurant.
- 1.2 This report provides the drainage strategy for the proposed new building and associated infrastructure and has been produced in accordance with the latest guidance.
- 1.3 The report is based on currently available information.
- 1.4 Proposals contained or forming part of this report represent the design intent and may be subject to alteration or adjustment in completing the detailed design for this project. Where such adjustments are undertaken as part of the detailed design and are deemed a material deviation from the intent contained in this document, prior approval shall be obtained from the relevant authority in advance of commencing such works.
- 1.5 Where the proposed design works to which this report refers are materially changed following the issue of the report, Vectos shall reserve the right to re-validate the findings and conclusions by undertaking appropriate further investigations at no cost to Vectos.

#### **Scope of the Assessment**

- 1.6 The Drainage Strategy is to be undertaken in accordance with the standing advice and requirements of the Environment Agency (EA), Lead Local Flood Authority and the Governments Planning Policy Guidance to the National Planning Policy Framework (NPPF).
- 1.7 The assessment will:
  - Consider the surface and foul water drainage proposals for the proposed development,
  - Provide recommendation for water quality treatment.
  - Replacement drainage for the existing building.
- 1.8 In 2021, the Government updated the National Planning Policy Framework (NPPF) which brought forward Sustainable Urban Drainage Systems (SuDS) as a material consideration in the determination of planning applications for all developments.
- 1.9 As the site is not considered a 'major' development by the Town and Country Planning (Development Management Procedure) (England 2015), a Drainage Strategy is not formally required to be submitted as part of the Reserved Matters Planning Application. However, the client has opted to provide one as part of the planning application to fully understand the implications of the drainage system for the development.
- 1.10 This report reviews the following information:



- Environment Agency Online Flood Mapping,
- CIRIA SuDS Manual
- British Geological Survey (BGS) online data
- United Utilities Sewer Maps
- Existing Site utilities survey

#### **Proposed Development.**

- 1.11 This Drainage Strategy covers the proposal to build the 283 sqm restaurant situated in the grounds of the existing Northcote Hotel. The building will consist of a commercial fine dining kitchen, bar, toilets, and space for circa 40 covers per siting. In addition, an access road and carpark are proposed to serve diners and residents from the hotel.
- 1.12 A copy of the proposed site plan is enclosed within *Appendix A* and is shown below in Figure 1.



Figure 1 – Proposed Block Plan (3DReid Architects 2023)



### **Existing Site Details**

#### Site Location and Land-use

- 1.13 The proposed site is located off Northcote Road, Langho, at an approximate National Grid Reference 370625, 434878. The postcode is BB6 8BE.
- 1.14 The site comprises an existing hotel which provides fine dining retreats, functions and accommodation to guests throughout the year. The location for the proposed restaurant is a parcel of land previously been used as part of a paddock. The grounds of the hotel consist of a small kitchen garden, manicured lawns, terrace setting and carpark for use by the hotel residents. Figure 2 shows the existing site and the surrounding environment.
- 1.15 The site is bordered by pastural land to the East, North and South, and by Northcote Road to the West.



Figure 2 - Aerial Photograph showing approximate location (© Google 2023)

#### **Existing Watercourses and Other Waterbodies**

- 1.16 No formal above ground watercourses or have been identified within the site.
- 1.17 There is an infiltration pond that appears to be form the basis of the drainage strategy for the detached accommodation block. The Site GPR survey, included in Appendix B, shows the connection from the accommodation block to the pond.



- 1.18 The nearest Main River is the river Ribble with flows approximately 2km to the north of the site.
- 1.19 There is field drainage in the nearby field to the west of the site. It is likely this watercourse is privately owned and managed by the landowner to provide land drainage for the arable fields.

#### **Existing Drainage**

1.20 The public sewer records have been obtained from United Utilities and are enclosed within *Appendix C*. An extract is included below in Figure 3.

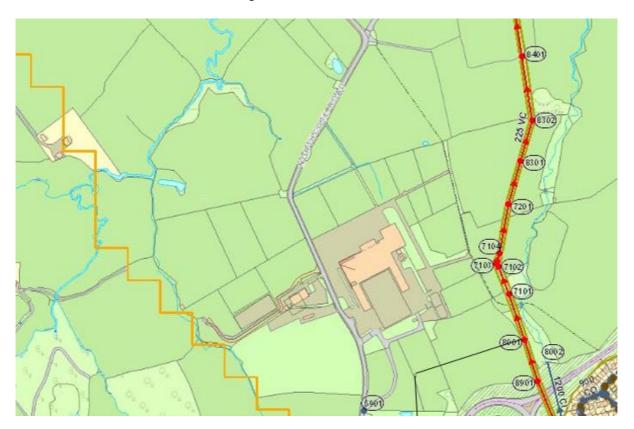


Figure 3 - Extract from United Utilities Sewer Record (© UU 2023)

1.21 The GPR survey shows a private foul water drainage connection through the northern boundary connecting to the United Utilities network which ultimately flows by gravity to the wastewater treatment works. The private route is shown as a black line in Figure 3.

#### **Topography**

1.22 A site-specific topographical survey has been undertaken and shows the ground elevations fall east to west with ground levels falling from 76.5mAOD to 70.70mAOD at Northcote Road. A copy of the topographical survey has been included on the GPR survey in Appendix B.

#### Geology

1.23 The British Geological Survey (BGS) information available online has identified the following geological succession underlying the sites:



- Bedrock Bowland Shale Formation- Mudstone,
- Superficial Deposits Till Devensian Diamicton
- 1.24 Soilscape data obtained from the Cranfield Soil and AgriFood Institute (CSAI), supported by DEFRA, indicates a 'slowly permeable seasonally wet acid loamy and clayey soils' profile with impeded drainage.
- 1.25 Given the above it is anticipated that infiltration rates will be slow and that surface water discharge via infiltration alone may not be feasible. A site-specific infiltration test has been carried out (Appendix D). Two boreholes were excavated and tested in March 2023. The boreholes showed limited infiltration in the tests at the low areas of the site.
- 1.26 The existing accommodation block uses the existing pond as an infiltration basin therefore it is clear that whilst infiltration at the lower areas of the site is limited. the upper elevations may achieve suitable rates.
- 1.27 The site is located within an area identified as Medium Low risk by the Environment Agency Groundwater Vulnerability Map. The site sits outside of a Source Protection Zone.

#### **Sources of Flood Risk**

- 1.28 The Environment Agency (EA) Flood Maps for Planning show the site is entirely within Flood Zone 1. A site classified as Flood Zone 1 is categorised as having a chance of flooding of less than 1 in 1000 (0.1%) as shown in Figure 4.
- 1.29 Figure 4 shows that the site is wholly situated in flood zone and therefore at very low risk of flooding from rivers and seas.





What the flood map shows

Figure 4 - Flood Maps for Planning - Rivers and Seas.

1.30 Figure 5 shows the surface water flood maps. There is some localised medium surface water risk on Northcote Road however this does not impact the site and there are no areas of flood risk within the site boundary. To that end, the site is at very low risk of flooding.



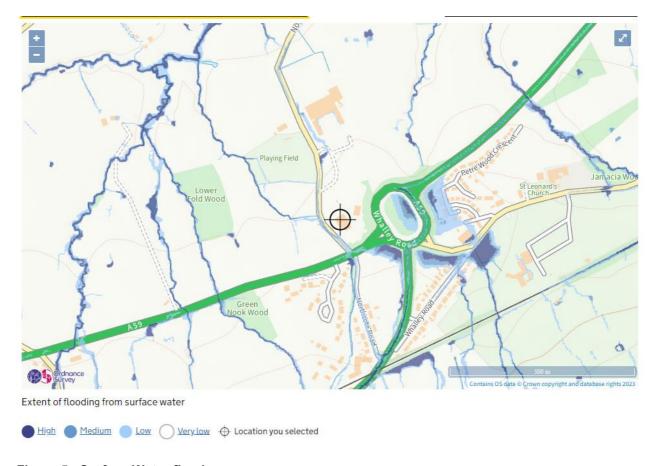


Figure 5 - Surface Water flood maps

- 1.31 The following EA flooding maps were consulted, and all showed the site within an unshaded area, further indicating Flood Zone 1 and a very low risk of flooding,
  - Flood Risk from Rivers or the Sea (fluvial),
  - Flood Risk from Surface Water,
  - Flood Risk from Reservoirs and infrastructure.



#### **Drainage Strategy**

1.32 Any new development site drainage should be designed in accordance with current best practice to provide adequate capacity not to flood for the critical 1 in 30-year storm event and flood water generated for up to the critical 1 in 100-year plus climate change storm event shall be constrained within the areas on site so not to cause damage to buildings, essential services or adjoining developments and services.

#### **Sustainable Drainage Systems (SuDS)**

- 1.33 Recent changes to guidance and opinion within the drainage community have led to greater focus on Sustainable Drainage Systems (SuDS) and long-term sustainable development. In addition to the industry being well-versed in controlling the volume of runoff via managed outfalls, the use of SuDS systems creates an environment where the quality of the water is also managed and improved.
- 1.34 CIRIA C753 the SuDS Manual has set out objectives to minimise the impacts from development on the quantity and quality of the runoff. The manual refers to the SuDS Management Train.

#### The SuDS Management Train

- 1.35 The 'Management Train Approach' should be central to the surface water drainage strategy of a proposed site. The main objective is treatment and control of runoff as near to source as possible, thus protecting downstream habitats and further enhancing the amenity value of the site. This concept uses a hierarchy of drainage techniques to incrementally reduce pollution, flow rates and volumes of storm water discharge from the site, and is as follows:
  - i) **Prevention** The use of good site design and housekeeping measures to prevent runoff and pollution and includes rainwater reuse.
  - ii) **Source Control** Control of runoff at source or as close to source as possible (e.g., cellular storage, petrol interceptors, flow attenuation devices).
  - iii) **Site Control** Management of water in a local area and can include below ground storage/attenuation, detention basins, tanks, oversized pipes.
  - iv) **Regional Control** Management of water from a site or various sites and can include wetlands and balancing ponds.
- 1.36 The drainage techniques for this development will seek to include, where possible, prevention, source control and site control measures.

#### The SuDS Design Philosophy

- 1.37 The SuDS philosophy for a development site is the promotion of Prevention, Source Control and Site Control Techniques:
- 1.38 The following design philosophy is proposed:



- Surface water treatment using the 'Management Train' approach to remove and isolate contamination prior to discharge.
- Surface water discharge to be attenuated to greenfield runoff rate (defined as Qbar).
- Site Control features, in the form of swales and permeable paving, to accommodate the additional surface water runoff generated by the development site.

#### **Proposed Foul Water Drainage Strategy**

- 1.39 There is an existing private foul water pipe that runs to the adopted combined sewer as shown in Figure 3. A new chamber will be added to the foul run and an additional rate of 0.017l.s is required. This is calculated using a Flows and Loads 4 calculation based on 50 covers.
- 1.40 An approximation of the foul rates from the existing hotel and proposed restaurant is 0.27l/s based on:
  - 60 Residents
  - 60 non-residential guests
  - 50 covers in the new restaurant.
- 1.41 This is considered an overestimation of usage and shows the pipe has sufficient capacity to deal with expected flows.
- 1.42 Any discharge rate needs to be agreed with the UU through an indirect section s106 application.

#### **Proposed Surface Water Drainage Strategy**

- 1.43 Current guidance recommends the use of the Drainage Hierarchy when developing a surface water strategy for any site. The purpose of the Drainage hierarchy is to ensure consideration is firstly given to sustainable methods of discharge of surface water runoff by sustainable methods such as infiltration which promotes the 'at source' methodology set out in the SuDS Management Train principals. The Drainage hierarchy is as follows:
  - Infiltration
  - Watercourse
  - Surface Water Sewer
  - Combined Water Sewer
- 1.44 As part of this drainage strategy each management method is assessed for suitability.

#### Infiltration



- 1.45 Infiltration is the preferred primary method of drainage discharge, however the geological strata specified by the BGS, and the soil profile detailed by Soilscapes, indicates poor infiltration potential. Due to the small area of the site and subsequent small quantity of attenuation required, it is proposed that relatively slow infiltration rates, coupled with large basin evaporation, will be a suitable discharge method.
- 1.46 Infiltration testing has shown that the lower sections will not support infiltration year around therefore a hybrid system is proposed. Permeable paving is proposed for driveway construction where appropriate to allow infiltration to function.

#### Watercourse or Waterbody

1.47 There is an un-named drainage channel on the west side of the road however a gravity connection to this ditch will require confirmation of invert level, third party land to install the outlet and permission to discharge. This will also require a S50 build under agreement with the Highways Authority for the installation of a private asset under a public road. Therefore, due to the complexity of obtaining the permissions, this option has not been considered any further.

#### Surface Water Sewer

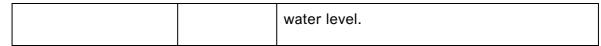
1.48 There is no suitable surface water sewer for connection.

#### **Combined Water Sewer**

- 1.49 The UU Sewer Record shows a combined sewer to the north. A restricted discharge to the existing network by an onsite pumping manhole is proposed in events where infiltration cannot provide adequate discharge.
- 1.50 Table 1 summarises the options for the surface water disposal:

Surface Water Disposal	Potential	Description
Infiltration	<b>√</b>	Infiltration and evaporation will be used as the primary discharge method.
Watercourse	×	There is an unnamed drainage ditch however it is not practical to provide a connection.
Surface Water Public Sewer	Х	There are no suitable public surface water sewers available.
Combined Public Sewer	<b>√</b>	There is a connection to the adopted combined network. The connection will be used when the onsite infiltration is not available and to drain the areas with high



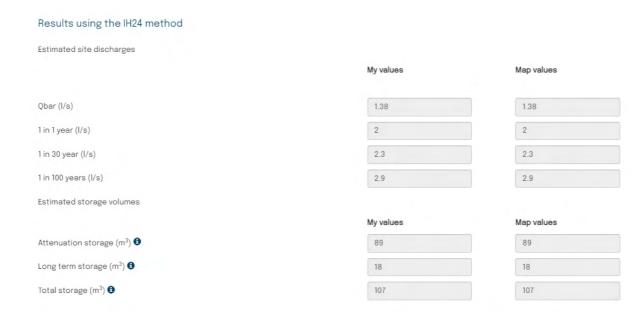


**Table 1 - Surface Water Disposal** 

1.51 Based on the information provided above the preferred method of surface water disposal is discharge via infiltration and evaporation with an installed pump chamber to drain the lower areas of the site.

#### **Discharge Rate**

- 1.52 As the site infiltration has proven challenging in the lower end of the site. A discharge rate to the adopted combined sewer is requested for surface water.
- 1.53 The site is considered greenfield due to the field location, the proposed site discharge rate will be restricted to Greenfield Qbar or 2L/s (whichever is greater).
- 1.54 Based on a site area of 0.16Ha, the Greenfield Qbar rate has been calculated at 1.38 L/s. As per the guidance, the discharge rate has been set at 2L/s minimum due to minimum orifice size to minimise blockage risk.



- 1.55 Flows will naturally be restricted by the use of permeable paving and swales, however as the proposed primary drainage system will be discharging via infiltration. For the section of the road near the entrance in the area where infiltration has been proven unsuccessful, a pump manhole will be installed to lift water to the connection to the combined network at a rate of 2l/s. Storage within the access road build up is sufficient to storage water from the 100-year plus 50% climate change 6-hour storm should there be a pump failure.
- 1.56 Should a positive drainage network be connected to the UU network then permission will be sought to discharge at the agreed rate with the network being controlled by an online flow control.



#### **Proposed Strategy**

- 1.57 A Drainage Strategy Sketch, showing potential SuDs features, is enclosed within *Appendix E*.
- 1.58 The carpark and access road have proposed permeable surfaces to allow water to discharge through to the subbase. Where the bottom of the subbase is within 1m of the water table an impermeable linear will be used to prevent any ground water from entering the pump. Where possible, the permeable paving will be left unlined to promote infiltration.
- 1.59 Runoff generated from the buildings will discharge to adjacent permeable paving or to the tree pit in the turning area.
- 1.60 Volume estimation has been carried out and the following has been calculated:
  - Entrance 35m<sup>3</sup>
  - Remaining impermeable areas 124m³
- 1.61 This storage is provided predominately in the subbase however depending on cost and practical implications, a geo-cellular tank under the assess tank may be used.
- 1.62 Should infiltration be proved unachievable across the site, then a combination of gravity and pumping will be required to lift all surface water to the sewer.
- 1.63 All discharge consents, permits and permissions will need to be formally approved by the LLFA, Cheshire East Council, and the Environment Agency prior to construction.

#### **Existing Pond Relocation**

1.64 There is an existing infiltration pond on site which is part of the drainage strategy for the accommodation block. The design proposal may relocate the pond to an area that will not achieve the same discharge therefore, in order to maintenance a functioning strategy, an infiltration tank is proposed with approximately 110m³ storage to mitigate rainfall up to and including 1 in 100-year plus 50% Climate Change. A design using a tank and pond combined may be achievable and will be detailed at detail design.

#### **Water Quality**

1.65 As discussed above, there has been a recent ambition to improve the quality of water discharge. The CIRIA SuDS Manual C753 (2015) provides a simple framework named the SuDS Indices method to provide guidance on the level and method of treatment recommended for different scenarios. Figure 5 and 6 provides the pollution hazard indices for different land use classifications and SuDS component mitigation Indices respectively.



Land use	Pollution hazard level	Total suspended solids (TSS)	Metals	Hydro- carbons
Residential roofs	Very low	0.2	0.2	0.05
Other roofs (typically commercial/ industrial roofs)	Low	0.3	0.2 (up to 0.8 where there is potential for metals to leach from the roof)	0.05
Individual property driveways, residential car parks, low traffic roads (eg cul de sacs, homezones and general access roads) and non-residential car parking with infrequent change (eg schools, offices) ie < 300 traffic movements/day	Low	0.5	0.4	0.4
Commercial yard and delivery areas, non-residential car parking with frequent change (eg hospitals, retail), all roads except low traffic roads and trunk roads/motorways¹	Medium	0.7	0.6	0.7
Sites with heavy pollution (eg haulage yards, lorry parks, highly frequented lorry approaches to industrial estates, waste sites), sites where chemicals and fuels (other than domestic fuel oil) are to be delivered, handled, stored, used or manufactured; industrial sites; trunk roads and motorways!	High	0.82	0.82	0.92

Figure 5 - Pollution Hazard Indices for land use classification (Table 26.2 CIRIA SuDS Manual 2015)

		Mitigation indices <sup>1</sup>		
Type of	SuDS component	TSS	Metals	Hydrocarbons
Filter strip		0.4	0.4	0.5
Filter drai	n	0.42	0.4	0.4
Swale		0.5	0.6	0.6
Bioretenti	on system	0.8	0.8	0.8
Permeabl	e pavement	0.7	0.6	0.7
Detention	basin	0.5	0.5	0.6
Pond <sup>4</sup>		0.73	0.7	0.5
Wetland		0.83	0.8	0.8
systems <sup>5,6</sup> Notes		acceptable levels for frequent events up to approximately the 1 in 1 year return period event, for inflow concentrations relevant to the contributing drainage area		
Notes				
1 SuDS o	omponents only deliver the		n guidance with respect to hyd	raulics and treatment set out in
1 SuDS o relevant 2 Filter dr	technical component cha ains can remove coarse s		purpose will have significant in	nplications with respect to
SuDS or relevant Filter dr mainten Ponds a to the m	technical component cha ains can remove coarse sance requirements, and t and wetlands can remove aintenance requirements cifically designed to retain	apters. sediments, but their use for this this should be taken into accour coarse sediments, but their use and amenity value of the syste	purpose will have significant in at in the design and Maintenan for this purpose will have sign m. Sediment should normally b	
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1 SuDS of relevant 2 Filter dr mainten 3 Ponds a to the mare spector water 4 Where a same m 5 See Ch practice	itechnical component chains can remove coarse a nance requirements, and it and wetlands can remove aintenance requirements cifically designed to retain a wetland is not specifical itigation indices as a pon apter 14 for approaches is currently under develo	apters. sediments, but their use for this his should be taken into accour coarse sediments, but their use and amenity value of the systen sediment in a separate part of the designed to provide signification.	purpose will have significant in the design and Maintenan for this purpose will have sign. Sediment should normally the the component, where it cannot the entry enhanced treatment, it should nance. A British Water/Environ	nplications with respect to ce Plan.  ifficant implications with respect be removed upstream, unless the ot easily migrate to the main bo unld be considered as having the ment Agency assessment code st protocol for systems intended

Figure 6 - Indicative SuDS Mitigation indices (Table 26.3 the CIRIA SuDS Manual 2015)

1.66 The selection of treatment should ensure that the SuDS mitigation component index (Figure 6) exceeds the pollution hazard index Figure 5.



1.67 The carpark is anticipated to be used by visitors to the restaurant and will mostly be used by passenger vehicles, therefore the Pollution Hazard index is likely to be considered low. To that end, all surface water will initially enter the system through permeable paving.

#### **Residual Risk and Exceedance**

1.68 The system has been designed for up to the 1 in 100-year plus CC event. Should an event exceed these conditions, or any part of the system fail, the flood water will outfall to the surrounding fields.



### **Maintenance Strategy**

- 1.69 This section is intended to give an overview of the operation and maintenance for the drainage features included in the drainage strategy. Where proprietary products area specified, the manufacturer's instructions and recommendations should be followed in priority to this document unless noted otherwise due to project constraints.
- 1.70 The recommended operations and frequencies are typical only and should be more frequently initially to ensure that that are no unforeseen issues with the operation and then adjusted to suit the site requirements.
- 1.71 The maintenance regime of the site also needs to consider the response to extreme pollution events. A response action plan should be developed and communicated to all those involved in the operation of a site.
- 1.72 The proposed drainage is to retain under the management of the property management company for the duration of its implementation.

#### Components

- 1.73 The following components have been included in the drainage design,
  - Inspection Chambers
  - Pipes
  - Permeable Pavement
  - Pump
- 1.74 The maintenance strategy should be implemented to ensure the drainage network is cleaned regularly and the routine maintenance regime should be documented.
- 1.75 Significant sediment deposition is likely in areas used for storage, so a post storm clean-up operation may be required to remove litter, vegetation, sewerage debris and larger objects.
- 1.76 Sediment/material removal should be undertaken in consultation with the environmental regulator to confirm appropriate protocols; especially where run-off is taken from potentially contaminated areas such as filter drains and associated chambers.

#### **Inspection Chambers**

- 1.77 Inspection chambers can be located downstream of under-drained permeable pavement structures and at both ends of any proposed pipe networks to provide an access point for jetting maintenance.
- 1.78 The appropriate health and safety equipment must be used when accessing chambers. Confined space certificates must be held by any personnel entering a manhole and the appropriate permits should be obtained from the Maintenance Manager prior to any access. The chamber will be designed in accordance with the SSG and Building Regulations Part H guidance which includes



appropriately sized covers and access ladders, however untethered enter is not recommended. A suitable hoist and harness system should be used.

#### **Pipes**

- 1.79 Pipes are proprietary products, and the materials can vary across the site, and as such where used the manufacture's recommendations should be followed. Regardless of the product used the pipes will be fully compliant with the Vectos drainage specification.
- 1.80 Access for maintenance is provided through access chambers and headwall outlets.
- 1.81 A regular inspection and maintenance regime is important to identify when the pipes may have been obstructed and may not be draining correctly, thus exposing the accesses to a greater level of flood risk.

Maintenance Schedule	Required Actions	Typical Frequency
Monitoring (to be undertaken more regularly within the first year of operation and adjusted as required)	Initial Inspection should be provided as post construction CCTV survey.	N/A
Regular maintenance/inspection	Inspect for evidence of poor operation via water level in chambers, if required, take remedial action.	3-monthly, 48 hours after large storms.
	Check and remove large vegetation growth near pipe runs	Monthly or as required.
Remedial Action	Rod through poorly performing runs as initial remediation.	As required
	If continued poor performance, jet and CCTV survey runs	As Required.

**Table 2 - Pipes and Chambers Regime** 

#### **Permeable Pavement**

- 1.82 Maintenance regimes for permeable paving will change depending on whether the system is bound or unbound. Concrete block paving (CBPP) systems are a popular choice, and 'under normal conditions will work perfectly well with no maintenance' (Marshalls 2023)
- 1.83 Most permeable paving systems are proprietary, and manufacturer's instructions and recommendations should be followed in priority to this document.



	Pump chamber
1.84	The pump is a proprietary and should be maintained in accordance with the supplier requirements.



#### **Conclusions**

- 1.85 This document sets out the proposed drainage strategy for a new restaurant at Northcote Hotel
- 1.86 The development site is currently occupied by paddock land and is approximately 0.6ha
- 1.87 A site-specific topographical survey and GPR has been undertaken and included.
- 1.88 The flood maps provided by the Environment Agency locate the site entirely within Flood Zone 1.
- 1.89 The surface water runoff generated from buildings and the carpark will be captured by permeable paving, discharge via infiltration (positive soakaway testing required) where possible. Where infiltration has been proven to not be achievable, a surface water pump will be used to discharge water at 2l/s to the combined sewer via the existing network.
- 1.90 Modelling has been carried out to show that 160m³ of storage is required for all events up to and including the 100-year event plus 40% climate change. Storage will be provided within the permeable paving and tanks where appropriate.
- 1.91 The existing surface water discharge from the accommodation block uses the pond that will be relocated as the drainage strategy. Therefore, an alternative solution using infiltration tank is proposed to accommodate the runoff in lieu of the pond being located in an area unsuitable for infiltration.



## Appendix A



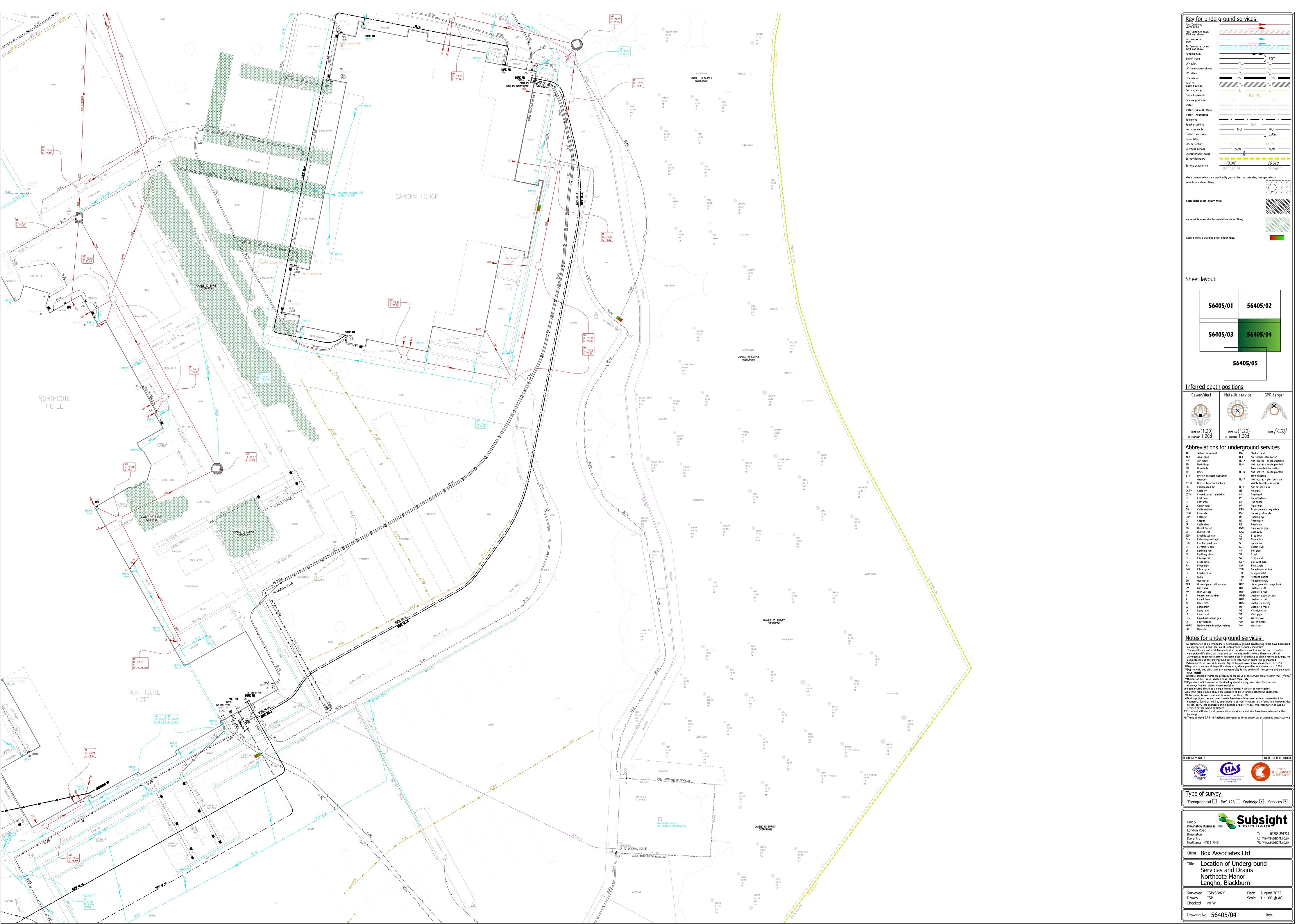


## Appendix B













## Appendix C





### **CON29DW Commercial Search**

Responses to a drainage and water enquiry for commercial premises or development sites.

Client: Client ref: Northcotes Hotel

Dan Eddon

4th Floor Oxford Place 61 Oxford Street, Manchester, M1 6EQ

FAO:

The following records were searched in compiling this report:

The map of public sewers
The map of waterworks
Water and sewerage billing records
Adoption of public sewers records
Building over public sewer records
Adoption of public water mains records
Water supply clarification

Order number: UUPS-ORD-471157 Received date: 10/03/2023 Response date: 10/03/2023

#### Property address: NORTHCOTE HOTEL NORTHCOTE ROAD, LANGHO, BLACKBURN, BB6 8BE

Please Note - We must make you aware that due to the introduction of the open market with effect from 1st April 2017 for commercial customers, Property Searches will no longer be able to resolve issues regarding some discrepancies within the report. Due to the change in the structure of the market the retailer is now responsible for taking ownership of certain issues, particularly relating to billing/tariff charges as well as, but not limited to change of usage of a property.

#### **Enquiries and Responses**

The records were searched by Donna Camblin for United Utilities who does not have, nor is likely to have, any personal or business relationship with any person involved in the sale of the property.

This search report was prepared by Donna Camblin for United Utilities who does not have, nor is likely to have, any personal or business relationship with any person involved in the sale of the property.

#### How to contact us:

United Utilities Water Limited Property Searches Haweswater House Lingley Mere Business Park Great Sankey Warrington WA5 3LP

Telephone: 0370 7510101

E-mail: propertysearches@uuplc.co.uk

#### What is included:

- 1. Summary of findings and key
- 2. Detailed findings of the CON29DW
- 3. Guidance for interpretation
- 4. Terms and conditions
- 5. Complaints policy

If you are planning works anywhere in the North West, please read our access statement before you start work to check how it will affect our network. http://www.unitedutilities.com/work-near-asset.aspx.











## To help understand the implications of the drainage and water enquiries report a summary guide to the content of the full report is provided below.

- ✓ This response represents the typical situation for a property.
- This response represents an uncommon situation for a property and the purchaser should carefully consider its implications.
- The attention of the purchaser is drawn to this response. The purchaser may wish to make further investigations into this situation.

Question	Report Schedule	Answer	
1.1	Where relevant, please include a copy of an extract from the public sewer map.	Yes & in vicinity	✓
1.2	Where relevant, please include a copy of an extract from the map of waterworks.	Yes & in vicinity	✓
2.1	Does foul water from the property drain to a public sewer?	Connected	✓
2.2	Does surface water from the property drain to a public sewer?	Not connected	×
2.3	Is a surface water drainage charge payable?	No	×
2.4	Does the public sewer map indicate any public sewer, disposal main or lateral drain within the boundaries of the property?	None	<b>✓</b>
2.4.1	Does the public sewer map indicate any pumping station or any other ancillary apparatus within the boundaries of the property?	None	✓
2.5	Does the public sewer map indicate any public sewer within 30.48 metres (100 feet) of any buildings within the property?	None	Ъ
2.5.1	Does the public sewer map indicate any public pumping station or any other ancillary apparatus within 50 metres of any buildings within the property?	None	✓
2.6	Are any foul sewers or lateral drains serving or which are proposed to serve the property the subject of an existing adoption agreement or an application for such an agreement?	Not applicable (established)	✓
2.6.1	Are any surface water pipes or lateral drains serving, or which are proposed to serve the property, the subject of an existing adoption agreement or an application for such an agreement?	Not applicable	✓
2.7	Has a sewerage undertaker approved or been consulted about any plans to erect a building or extension on the property over or in the vicinity of a public sewer, disposal main or drain?	None	✓
2.8	Is the building which is or forms part of the property at risk of internal flooding due to overloaded public sewers?	No	✓
2.9	Please state the distance from the property to the nearest boundary of the nearest sewage treatment works.	Yes	✓
3.1	Is the property connected to mains water supply?	Connected	✓
3.2	Are there any water mains, resource mains or discharge pipes within the boundaries of the property	Yes	×





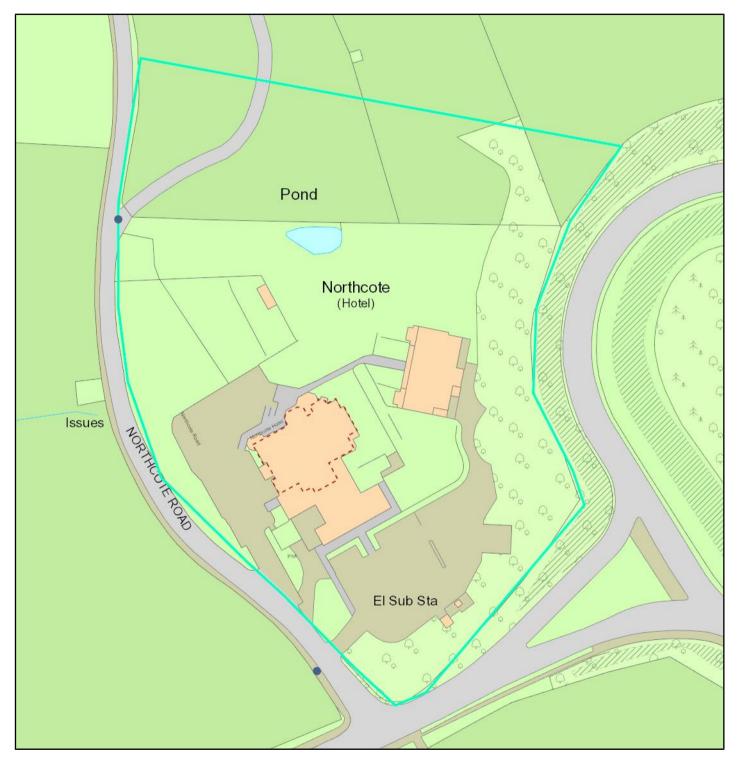
Question 3.3	Report Schedule Is any water main or service pipe serving or which is proposed to serve the property the subject of an existing adoption agreement or an application for such an agreement?	<b>Answer</b> No	✓
3.4	Is the building at risk of receiving low water pressure or flow?	No	✓
3.5	What is the clarification of the water supply for the property?	Very Soft	✓
3.6	Is there a meter installed at the property?	Yes	<b>✓</b>
3.7	Please include details of the location of any water meter serving the property.	External	<b>✓</b>
4.1.1	Who is responsible for providing the sewerage services for the property?	United Utilities	<b>✓</b>
4.1.2	Who is responsible for providing the water services for the property?	United Utilities	<b>✓</b>
4.2	Who bills the property for sewerage services?	Retailer sewer	✓
4.3	Who bills the property for water services?	Retailer water	✓
5.1	Is there Consent, on this property, to discharge Trade Effluent under S118 of the Water Industry Act (1991) into the public sewerage system?	No	✓
6.1	Is there a wayleave/easement agreement giving the Water and/or Sewerage Undertaker the right to lay or maintain assets or right of access to pass through private land in order to reach the Company's assets?	No	✓
6.2	On the copy extract from the public sewer map, please show manhole cover, depth and invert levels where the information is available.	Not included	✓





#### **SEWER RECORD**

#### NORTHCOTE HOTEL NORTHCOTE ROAD, LANGHO, BLACKBURN, BB6 8BE



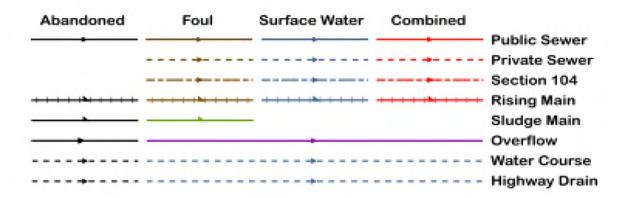
The position of underground apparatus shown on this plan is approximate only and is given in accordance with the best information currently available. The actual positions may be different from those shown on the plan and private pipes, sewers or drains may not be recorded. United Utilities Water PLC will not accept any liability for any damage caused by the actual positions being different from those shown.

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## **Wastewater Symbology**



All point assets follow the standard colour convention: red – combined brown - foul blue – surface water purple - overflow

- Manhole
- Head of System
- Extent of Survey
- Rodding Eye
- Inlet
- Discharge Point
- Vortex
- Penstock
- Washout Chamber
- Valve
- Air Valve
- Non Return Valve
- Soakaway
- Gully
- Cascade
- Flow Meter
- Hatch Box
- Oil Interceptor
- <sup>™</sup> Summit
- Drop Shaft
- Orifice Plate

- Side Entry Manhole
- Outfall
- Screen Chamber
- Inspection Chamber
- Bifurcation Chamber
- Lamp Hole
- T Junction / Saddle
- Catchpit
- Valve Chamber
- ▼ Vent Column
- Vortex Chamber
- Penstock Chamber
- Sewer Overflow
- Ww Treatment Works
- Ww Pumping Station
- Septic Tank
- Control Kiosk
- Change of Characteristic





# **Clean Water Symbology**



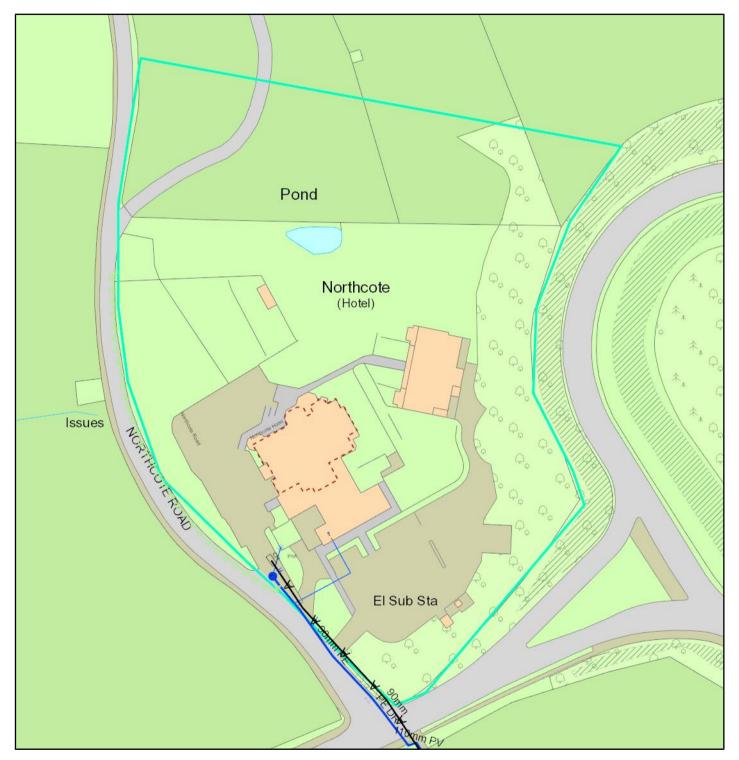
Symbology for proposed assets is the same as above, but shown in green Symbology for abandoned assets is the same as above, but shown in black





#### **WATER RECORD**

# NORTHCOTE HOTEL NORTHCOTE ROAD, LANGHO, BLACKBURN, BB6 8BE



The position of underground apparatus shown on this plan is approximate only and is given in accordance with the best information currently available. The actual positions may be different from those shown on the plan and private pipes, sewers or drains may not be recorded. United Utilities Water PLC will not accept any liability for any damage caused by the actual positions being different from those shown.

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#### Question 1.1

Where relevant, please include a copy of an extract from the public sewer map.

#### Answer

#### A copy of an extract of the public sewer map within the vicinity of the property is included.

Guidance

- 1. The Water Industry Act 1991 defines Public Sewers as those which (United Utilities) have responsibility for. Other assets and rivers, water courses, ponds, culverts or highway drains may be shown for information purposes only.
- 2. Any private sewers or lateral drains which are indicated on the extract of the public sewer map as being subject to an agreement under Section 104 of the Water Industry Act 1991 are not an 'as constructed' record. It is recommended these details be checked with the developer.
- 3. The Sewerage Undertaker has a statutory right of access to carry out work on its assets, subject to notice. This may result in employees of the Sewerage Undertaker or its contractors needing to enter the property to carry out work

#### Question 1.2

#### Where relevant, please include a copy of an extract from the map of waterworks.

Answer

A copy of an extract of the map of waterworks is included, showing water mains, resource mains or discharge pipes in the vicinity of the property.

Guidance

The "water mains" in this context are those which are vested in and maintainable by the Water Undertaker under statute.

Assets other than public water mains may be shown on the plan, for information only. Water Undertakers are not responsible for private supply pipes connecting the property to the public water main and do not hold details of these. These may pass through land outside of the control of the seller, or may be shared with adjacent properties. The buyer may wish to investigate whether separate rights or easements are needed for their inspection, repair or renewal.

If an extract of the public water main record is enclosed, it will show known public water mains in the vicinity of the property. It should be possible to estimate the likely length and route of any private water supply pipe connecting the property to the public water network.

The presence of a public water main running within the boundary of the property may restrict further development within it. Water Undertakers have a statutory right of access to carry out work on their assets, subject to notice. This may result in employees of the Water Undertaker or its contractors needing to enter the property to carry out work.

#### Question 2.1

## Does foul water from the property drain to a public sewer?

# Answer

### Records indicate that foul water from the property drains to a public sewer.

Guidance

Sewerage Undertakers are not responsible for any private drains or sewers that connect the property to the public sewerage system, and do not hold details of these.

The property owner will normally have sole responsibility for private drains serving the property and may have shared responsibility, with other users, if the property is served by a private sewer which also serves other properties. These may pass through land outside of the control of the seller and the buyer may wish to investigate whether separate rights or easements are needed for their inspection, repair or renewal.

If foul water does not drain to the public sewerage system the property may have private facilities in the form of a cesspit, septic tank or other type of treatment plant.

If an extract from the public sewer map is enclosed, this will show known public sewers in the vicinity of the property and it should be possible to estimate the likely length and route of any private drains and/or sewers connecting the property to the public sewerage system.

# Question 2.2

# Does surface water from the property drain to a public sewer?





**Answer** 

Records indicate that surface water from the property does not drain to a public sewer. If the property was constructed after the 6th April 2015 the surface water drainage may be served by a sustainable drainage system.

Guidance

Sewerage Undertakers are not responsible for any private drains or sewers that connect the property to the public sewerage system and do not hold details of these.

The property owner will normally have sole responsibility for private drains serving the property and may have shared responsibility with other users, if the property is served by a private sewer which also serves other properties. These may pass through land outside of the control of the seller and the buyer may wish to investigate whether separate rights or easements are needed for their inspection, repair or renewal.

In some cases, Sewerage Undertakers' records do not distinguish between foul and surface water connections to the public sewerage system. If on inspection the buyer finds that the property is not connected for surface water drainage, the property may be eligible for a rebate of the surface water drainage charge. Details can be obtained from the Sewerage Undertaker.

If surface water does not drain to the public sewerage system the property may have private facilities in the form of a soakaway or private connection to a watercourse. If an extract from the public sewer map is enclosed, this will show known public sewers in the vicinity of the property and it should be possible to estimate the likely length and route of any private drains and/or sewers connecting the property to the public sewerage system.

Question 2.3

Is a surface water drainage charge payable?

Answer

Records indicate that a surface water drainage charge is not applicable for the property.

Guidance

Since 1st April 2017 commercial customers can choose their retailer for clean, waste or both services. For more information on any applicable surface water charges you will need to contact the current owner of the property to find out who the current retailer is. Details of the retailer for a property can be found on the current occupiers bill. For a list of all potential retailers of water and waste water services for the property please visit www.open-water.org.uk.

Please note if the property was constructed after 6th April 2015 the Surface Water drainage may be served by a Sustainable Drainage System. Further information may be available from the Developer.

Question 2.4

Does the public sewer map indicate any public sewer, disposal main or lateral drain within the boundaries of the property?

Answer

The public sewer map included indicates that there are no public sewers, disposal mains or lateral drains within the boundary of the property. However from the 1st October 2011 there may be additional public sewers, disposal mains or lateral drains which are not recorded on the public sewer map which may further prevent or restrict development of the property. If you are considering any future development at this property which may require build over consent, please complete the enquiry form by accessing the following link http://www.unitedutilities.com/planning-wastewater-guidance.aspx.

Guidance

The approximate boundary of the property has been determined by reference to the Ordnance Survey record. A property of this type will normally be served by a shared sewer passing through the boundaries of several properties. It is therefore likely that a public sewer or lateral drain is present within the property boundary.

Please note that from 1st October 2011 the majority of private sewers and lateral drains connected to the public network as of 1st July 2011 transferred into public ownership and therefore it is possible there may be additional public assets which may not be shown on the public sewer plan.

The presence of public assets running within the boundary of the property may restrict further development. If there are any plans to develop the property further enquiries should be made to United Utilities Build Over department.

United Utilities Water has a legal right of access to carry out work on its assets, subject to notice. This may result in employees of the Company or its contractors needing to enter the property to carry out work.





#### Question 2.4.1

Does the public sewer map indicate any pumping station or any other ancillary apparatus within the boundaries of the property?

Answer

The public sewer map included indicates that there is no public pumping station or other ancillary apparatus within the boundaries of the property. However, from the 1st October 2016 private pumping stations which serve more than one property will be transferred into public ownership but may not be recorded on the public sewer map until that time

Guidance

From 1 October 2016 United Utilities will be responsible for private pumping stations (though we may take ownership of some stations before this date) that either:

\* serve a single property, and are outside the property boundary or

Only private pumping stations installed before 1st July 2011 will be transferred into our ownership. United Utilities will be responsible for all associated costs, maintenance, repairs and any necessary upgrade work.

Where the property is part of a very recent or ongoing development and the sewers/pumping station are not the subject of an adoption application, buyers should consult with the developer to ascertain the extent of private drains, sewers and pumping stations for which they will hold maintenance and renewal liabilities.

#### Question 2.5

Does the public sewer map indicate any public sewer within 30.48 metres (100 feet) of any buildings within the property?

Answer

The public sewer map included indicates that there are no public sewers within 30.48 metres (100 feet) of a building within the boundary of the property. However from the 1st October 2011 private sewers will be transferred into public ownership and may not be recorded on the public sewer map and it is our professional opinion that there will be a public sewer within 30.48 (100 feet) of a building within the boundary of the property.

Guidance

From 1st October 2011 there may be additional lateral drains and/or public sewers which are not recorded on the public sewer map but are also within 30.48 metres (100 feet) of a building within the property.

The presence of a public sewer within 30.48 metres (100 feet) of the building(s) within the property can result in the Local Authority requiring a property to be connected to the public sewer.

The measure is estimated from the Ordnance Survey record, between the building(s) within the boundary of the property and the nearest public sewer.

Sewers indicated on the extract of the public sewer map as being subject to an agreement under Section 104 of the Water Industry Act 1991 are not an 'as constructed' record. It is recommended that these details are checked with the developer, if any.

Assets other than public sewers may be shown on the copy extract for information only.

# Question 2.5.1

Does the public sewer map indicate any public pumping station or any other ancillary apparatus within 50 metres of any buildings within the property?

Answer

The public sewer map included indicates that there is no public pumping station or other ancillary apparatus within 50 metres of any buildings within the property. However, from 1st October 2016 private pumping stations which serve more than one property will be transferred into public ownership but may not be recorded on the public sewer map until that time.

Guidance

From 1 October 2016 United Utilities will be responsible for private pumping stations (though we may take ownership of some stations before this date) that either:

<sup>\*</sup> serves two or more properties





Only private pumping stations installed before 1st July 2011 will be transferred into our ownership. United Utilities will be responsible for all associated costs, maintenance, repairs and any necessary upgrade work.

If you think there might be a private pumping station on your land or near your business property, please let us know by completing this questionnaire with as much information as possible, please visit our website http://www.unitedutilities.com/ppstransfer.aspx.

Where the property is part of a very recent or ongoing development and the sewers/pumping station are not the subject of an adoption application, buyers should consult with the developer to ascertain the extent of private drains, sewers and pumping stations for which they will hold maintenance and renewal liabilities.

#### Question 2.6

Are any foul sewers or lateral drains serving or which are proposed to serve the property the subject of an existing adoption agreement or an application for such an agreement?

#### Answer

The property is part of an established development and is not subject to an adoption agreement

Guidance

This enquiry is of interest to purchasers of new property who will want to know whether or not the property will be linked to a public sewer.

Where the property is part of a very recent or ongoing development and the sewers are not the subject of an adoption application, buyers should consult with the developer to ascertain the extent of private drains and sewers for which they will hold maintenance and renewal liabilities.

Final adoption is subject to the developer complying with the terms of the adoption agreement under Section 104 of the Water Industry Act 1991.

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#### Question 2.6.1

Are any surface water pipes or lateral drains serving, or which are proposed to serve the property, the subject of an existing adoption agreement or an application for such an agreement?

### Answer

The property is part of an established development and is not subject to an adoption agreement.

Guidance

This enquiry is of interest to purchasers of new property who will want to know whether or not the property will be linked to a public sewer.

Where the property is part of a very recent or ongoing development and the sewers are not the subject of an adoption application, buyers should consult with the developer to ascertain the extent of private drains and sewers for which they will hold maintenance and renewal liabilities.

Final adoption is subject to the developer complying with the terms of the adoption agreement under Section 104 of the Water Industry Act 1991.

# Question 2.7

Has a sewerage undertaker approved or been consulted about any plans to erect a building or extension on the property over or in the vicinity of a public sewer, disposal main or drain?

Answer

There are no records in relation to any approval or consultation about plans to erect a building or extension on the property over or in the vicinity of a public sewer, disposal main or drain. However, the sewerage undertaker might not be aware of a building or extension on the property over or in the vicinity of a public sewer, disposal main or drain.

Guidance

From the 1st October 2011 private sewers, disposal mains and lateral drains were transferred into public ownership and the sewerage undertaker may not have granted approval or been consulted about any plans to erect a building or extension on the property over or in the vicinity of these assets.

Received Date: 10/03/2023 Response Date: 10/03/2023

<sup>\*</sup> serve a single property, and are outside the property boundary or

<sup>\*</sup> serves two or more properties.





Prior to 2003 United Utilities Water Limited had sewerage agency agreements with the local authorities therefore details of any agreements/consents or rejections may not have been forwarded on to our offices before this date.

Buildings or extensions erected over a sewer in contravention of building controls may have to be removed or altered.

#### Question 2.8

Is the building which is or forms part of the property at risk of internal flooding due to overloaded public sewers?

Answer

The building is not recorded as being at risk of internal flooding due to overloaded public sewers. From the 1st October 2011 private sewers, disposal mains and lateral drains were transfered into public ownership it is therefore possible that a property may be at risk of internal flooding due to an overloaded public sewer which the sewerage undertaker is not aware of. For further information it is recommended that enquiries are made of the vendor.

Guidance

- 1. A sewer is "overloaded" when the flow from a storm is unable to pass through it due to a permanent problem (e.g. flat gradient, small diameter). Flooding as a result of temporary problems such as blockages, siltation, collapses and equipment or operational failures are excluded.
- 2. "Internal flooding" from public sewers is defined as flooding, which enters a building or passes below a suspended floor. For reporting purposes, buildings are restricted to those normally occupied and used for residential, public, commercial, business or industrial purposes.
- 3. These are defined as properties that have suffered or are likely to suffer internal flooding from public foul, combined or surface water sewers due to overloading of the sewerage system more frequently than the relevant reference period (either once or twice in ten years) as determined by the Sewerage Undertaker's reporting procedure.
- 4. Flooding as a result of storm events proven to be exceptional and beyond the reference period of one in ten years are not included.
- 5. Properties may be at risk of flooding but not included where flooding incidents have not been reported to the Sewerage Undertaker.
- 6. Public sewers are defined as those for which the Sewerage Undertaker holds statutory responsibility under the Water Industry Act 1991.
- 7. It should be noted that flooding can occur from private sewers and drains which are not the responsibility of the Sewerage Undertaker.
- 8. This report excludes flooding from private sewers and drains and the Sewerage Undertaker makes no comment upon this matter. For reporting purposes buildings are restricted to those normally occupied and used for residential, public, commercial, business or industrial purposes.

### Question 2.9

Please state the distance from the property to the nearest boundary of the nearest sewage treatment works.

Answer

The nearest Sewage Treatment Works is 0.87 miles (1.4 km), North East of the property. The name of the Sewage treatment works is Billington WwTW. The owner is United Utilities

Guidance

The nearest sewage treatment works will not always be the sewage treatment works serving the catchment within which the property is situated i.e. the property may not necessarily drain to this works.

The Sewerage Undertaker's records were inspected to determine the nearest sewage treatment works.

It should be noted therefore that there may be a private sewage treatment works closer than the one detailed above that has not been identified. As a responsible utility operator, United Utilities Water Limited seeks to manage the impact of odour from operational sewage works on the surrounding area.

This is done in accordance with the "Code of Practice on Odour Nuisance from Sewage Treatment Works" issued via the Department of Environment, Food and Rural Affairs (DEFRA).





This Code recognises that odour from sewage treatment works can have a detrimental impact on the quality of the local environment for those living close to works.

However DEFRA also recognises that sewage treatment works provide important services to communities and are essential for maintaining standards in water quality and protecting aquatic based environments. For more information visit www.unitedutilities.com.

Question 3.1 Is the property connected to mains water supply?

Answer Records indicate that the property is connected to mains water supply.

Guidance If the property is suplied by private water mains please note that details of private supplies are not kept by the Water

Undertaker. The situation should be checked with the current owner of the property.

Question 3.2 Are there any water mains, resource mains or discharge pipes within the boundaries of the property

Answer The map of waterworks indicates that there are water mains, resource mains or discharge pipes within the

boundaries of the property.

Guidance The boundary of the property has been determined by reference to the Ordnance Survey record.

The presence of a public water main within the boundary of the property may restrict further development within it. Water Undertakers have a statutory right of access to carry out work on their assets, subject to notice.

water ordertakers have a statutory right of access to early out work on their assets, subject to notice.

This may result in employees of the Water Undertaker or its contractors needing to enter the property to carry out work.

Question 3.3 Is any water main or service pipe serving or which is proposed to serve the property the subject of an

existing adoption agreement or an application for such an agreement?

Answer Records confirm that water mains or service pipes serving the property are not the subject of an existing

adoption agreement or an application for such an agreement.

Guidance This enquiry is of interest to purchasers of new premises who will want to know whether or not the property will be

linked to the mains water supply.

Question 3.4 Is the building at risk of receiving low water pressure or flow?

Answer Records confirm that the building is not recorded by the water undertaker as being at risk of receiving low

water pressure or flow.

Guidance The boundary of the property has been determined by reference to the Ordnance Survey record. "Low water pressure" means water pressure below the regulatory reference level which is the minimum pressure when demand

pressure" means water pressure below the regulatory reference level which is the minimum pressure when demand on the system is not abnormal. Water undertakers report properties receiving pressure below the reference level, provided that allowable exclusions do not apply (i.e. events which can cause pressure to temporarily fall below the reference level). Reference level: The reference level of service is a flow of 9l/min at a pressure of 10m head on the customer's side of the main stop tap (mst). The reference level applies to a single property. The reference level of service must be applied on the customer's side of a meter or any other company fittings that are on the customer's side of the main stop tap. Where a common service pipe serves more than one property, the flow assumed in the reference level must be appropriately increased to take account of the total number of properties served. Surrogate for the reference level: Because of the difficulty in measuring pressure and flow at the mst, companies may measure against a surrogate reference level. Companies should use a surrogate of 15m head in the adjacent distribution main unless a different level can be shown to be suitable. In some circumstances companies may need to use a surrogate pressure greater than 15m to ensure that the reference level is supplied at the customer's side of the mst (for example in areas with small diameter or shared communication pipes).





There are a number of circumstances under which properties identified as receiving low pressure should be excluded from the reported figure. The aim of these exclusions is to exclude properties which receive a low pressure as a result of a one-off event and which, under normal circumstances (including normal peaks in demand), will not receive pressure or flow below the reference level. Companies must maintain verifiable, auditable records of all the exclusions that they apply in order to confirm the accuracy and validity of their information. Allowable exclusions includes Abnormal demand, Planned maintenance, One off incidents, Low pressure incidents of short duration and common supply.

#### Abnormal demand:

This exclusion is intended to cover abnormal peaks in demand and not the daily, weekly or monthly peaks in demand, which are normally expected. Water undertakers exclude figures from properties which are affected by low pressure only on those days with the highest peak demands. During the yearly report water undertakers may exclude, for each property, up to five days of low pressure caused by peak demand.

#### Planned maintenance:

Water undertakers will not report low pressures caused by planned maintenance. It is not intended that water undertakers identify the number of properties affected in each instance. However, water undertakers must maintain sufficiently accurate records to verify that low-pressure incidents that are excluded because of planned maintenance, are actually caused by maintenance.

#### One-off incidents:

This exclusion covers a number of causes of low pressure; mains bursts; failures of company equipment (such as pressure reducing valves or booster pumps); fire fighting and action by a third party. However, if problems of this type affect a property frequently, they cannot be classed as one-off events and further investigation will be required before they can be excluded.

Low pressure incidents of short duration:

Properties affected by low pressures that only occur for a short period, and for which there is evidence that incidents of a longer duration would not occur during the course of the year, may be excluded.

A company must maintain a minimum pressure in the communication pipe of seven metres static head (0.7 bar). If pressure falls below this on two occasions, each occasion lasting more than one hour, within a 28-day period, the company must automatically make a GSS payment to the customer. There are exceptions to the requirement to make a GSS payment if the pressure standard is not met. These are: a payment has already been made to the same customer in respect of the same financial year; it is impractical for the company to have identified the particular customer as being affected, and the customer has not made a claim within three months of the date of the latter occasion; industrial action by the company's employees makes it not feasible to maintain the pressure standard; the act or default of a person other than the company's representative make it not feasible to maintain the pressure standard; or the pressure falls below the minimum standard due to necessary works taking place or due to a drought.

It should be noted that low water pressure can occur from private water mains, private supply pipes (the pipework from the external stop cock to the property) or internal plumbing which are not the responsibility of the Water Undertaker. This report excludes low water pressure from private water mains, supply pipes and internal plumbing and the Water Undertaker makes no comment upon this matter. For reporting purposes buildings are restricted to those normally occupied and used for residential, public, commercial, business or industrial purposes.

### Question 3.5

# What is the clarification of the water supply for the property?

**Answer** 

The water supplied to the property has an average water hardness of 41mg/l calcium carbonate, which is defined as very soft by United Utilities

Guidance

The hardness of water is due to the presence of calcium and magnesium minerals that are naturally present in the water. The usual signs of a hard water supply are scaling inside kettles, poor lathering of soaps and scum.

What is water hardness?





Hard water is formed when water passes through or over limestone or chalk areas and calcium and magnesium ions dissolve into the water. The hardness is made up of two parts: temporary (carbonate) and permanent (non-carbonate) hardness. When water is boiled, calcium carbonate scale can form, which can deposit on things like kettle elements. The scale will not stick to kettles that have a plastic polypropylene lining but will float on the surface. The permanent hardness that comprises calcium and magnesium sulphate does not go on to form scale when heated or boiled.

How is water hardness measured?

Hardness is usually expressed in terms of the equivalent quantity of calcium carbonate (CaCO3) in milligrams per litre or parts per million. You may also see hardness expressed as degrees of hardness in Clark (English) degrees, French or German degrees. Interconversion between the different measurements can be made by using the appropriate conversion factors below. There are no standard levels as to what constitutes a hard or a soft water. Table 1 gives an indication of the equivalents of calcium and calcium carbonate and the relative degree of hardness.

Water quality standards

There are no regulatory standards for water hardness in drinking water.

Water hardness in the North West

The majority of raw water in the United Utilities region comes from upland surface water reservoirs. The water in the reservoirs has little chance of passing through rocks and to dissolve the minerals that make water hard. Therefore, the majority of water in this region is soft or very soft. We supply water from a number of boreholes in the south of the region that are reasonably hard, but these tend to be blended with softer sources to meet demand. No water supply in the North West is artificially softened.

Can hard water be softened?

Yes, water can be softened artificially by the installation of a water softener or the use of 'jug type' filters. Medical experts recommend that a non-softened supply is maintained for drinking purposes because softened water may contain high levels of sodium. Softeners should be fitted after the drinking water tap and comply with the requirements of the Water Supply (Water Fittings) Regulations 1999. They should be maintained in accordance with manufacturers' instructions.

If you're interested in finding out more about the quality of your drinking water, please visit www.unitedutilities.com/waterquality and enter your postcode.

The Drinking Water Inspectorate is responsible for ensuring the quality of public water supplies. Visit their website at: www.dwi.defra.gov.uk.

Question 3.6 Is there a meter installed at the property?

Answer Records indicate that the property is served by a water meter

Guidance Not applicable

**Answer** 

Guidance

Question 3.7 Please include details of the location of any water meter serving the property.

Records indicate that the property is served by a water meter, which is located externally to the building

within the property boundary. We have the location as Right hand side of the main entrance.

Where the property is not served by a meter the current occupier can contact the retailer directly to advise on the

current charging method, details of the retailer can also be found on the current occupiers bill.

Question 4.1.1 Who is responsible for providing the sewerage services for the property?





Answer United Utilities Water Limited, Haweswater House, Lingley Mere Business Park, Lingley Green Avenue, Great

Sankey, Warrington, WA5 3LP

Guidance Not applicable

Question 4.1.2 Who is responsible for providing the water services for the property?

Answer United Utilities Water Limited, Haweswater House, Lingley Mere Business Park, Lingley Green Avenue, Great

Sankey, Warrington, WA5 3LP

Guidance Not Applicable

Question 4.2 Who bills the property for sewerage services?

Answer Since 1st April 2017 commercial customers can choose their retailer. If you wish to know who currently bills

the property for sewerage services you will need to contact the owner of the property to find out who the

retailer is.

Guidance For a list of all potential retailers of wastewater services for the property please visit www.open-water.org.uk

Question 4.3 Who bills the property for water services?

Answer Since 1st April 2017 commercial customers can choose their retailer. If you wish to know who currently bills

the property for water services you will need to contact the owner of the property to find out who the retailer

is.

Guidance For a list of all potential retailers of water services for the property please visit www.open-water.org.uk

Question 5.1 Is there Consent, on this property, to discharge Trade Effluent under S118 of the Water Industry Act (1991)

into the public sewerage system?

Answer There is no record of a Trade Effluent consent at this property. Applications for Trade Effluent consents

should be submitted via your retailer for info please visit

https://www.unitedutilities.com/services/wholesale-services/trade-effluent/

Guidance The owner/occupiers of Trade Premises do not have the right to discharge Trade Effluent to the public wastewater network. Any Trade Effluent Discharge Consent will be issued under Section 118 of the Water Industry Act 1991 and

will be subject to conditions set by the Sewerage Undertaker.

Generally these conditions are to ensure:

a) The Health and Safety of staff working within the wastewater network and at wastewater treatment plants.

b) The apparatus of the wastewater network is not damaged.

c) The flow of the contents of the wastewater network is not restricted.

d) Equipment, plant, and processes at treatment works are not disrupted or damaged.

e) Treatment of sewage sludge is not impeded and sludges are disposed of in an environmentally friendly manner.

f) Final effluent discharge from wastewater treatment plants has no impact on the environment or prevents the receiving waters from complying with EU Directives.

g) Potential damage to the environment via storm water overflows is minimised.





Disputes between an occupier of a Trade Premise and the Sewerage Undertaker can be referred to the Director General of Water Services (OFWAT).

Protecting Public Sewers - Discharges Section 111 of the Water Industry Act 1991, places prohibition on the discharge of the following into a public sewer, drain or a sewer that communicates with a public sewer.

i) Any matter likely to injure the sewer or drain, to interfere with the free flow of its contents or to affect prejudicially the treatment or disposal of its contents.

ii) Any chemical refuse or waste steam or any liquid of temperature higher than 43.3 degrees Celsius (110 degrees Fahrenheit).

iii) Any petroleum spirit or carbide of calcium. On summary conviction offences under this Section carry a fine not exceeding the statutory maximum or a term of imprisonment not exceeding two years, or both.

Please note any existing consent is dependant on the business being carried out at the property and will not transfer automatically upon change of ownership.

Question 6.1 Is there a wayleave/easement agreement giving the Water and/or Sewerage Undertaker the right to lay or maintain assets or right of access to pass through private land in order to reach the Company's assets?

Answer There is no record of a formal easement affecting this property.

Guidance Not Applicable

Question 6.2 On the copy extract from the public sewer map, please show manhole cover, depth and invert levels where

the information is available.

Answer If a copy of an extract from the public sewer map, showing manhole cover, depth and invert levels (where the

information is available) is required an upgrade to a Commercial A1 sewer, A3 water report will be needed.

Please contact propertysearches@uuplc.co.uk for support.

Guidance Not applicable





#### **Appendix 1- General interpretation**

1. (1) In this Schedule-

"the 1991 Act" means the Water Industry Act 1991(a);

"the 2000 Regulations" means the Water Supply (Water Quality) Regulations 2000(b);

"the 2001 Regulations" means the Water Supply (Water Quality) Regulations 2001(c);

"adoption agreement" means an agreement made or to be made under Section 51A(1) or 104(1) of the 1991 Act (d);

"bond" means a surety granted by a developer who is a party to an adoption agreement;

"bond waiver" means an agreement with a developer for the provision of a form of financial security as a substitute for a bond;

"calendar year" means the twelve months ending with 31st December;

"discharge pipe" means a pipe from which discharges are made or are to be made under Section 165(1) of the 1991 Act;

"disposal main" means (subject to Section 219(2) of the 1991 Act) any outfall pipe or other pipe which-

a) is a pipe for the conveyance of effluent to or from any sewage disposal works, whether of a sewerage undertaker or of any other person; and (b) is not a public sewer;

"drain" means (subject to Section 219(2) of the 1991 Act) a drain used for the drainage of one building or any buildings or yards appurtenant to buildings within the same curtilage:

"effluent" means any liquid, including particles of matter and other substances in suspension in the liquid; "financial year" means the twelve months ending with 31st March;

"lateral drain" means-

- (a) that part of a drain which runs from the curtilage of a building (or buildings or yards within the same curtilage) to the sewer with which the drain communicates or is to communicate; or
- b) (if different and the context so requires) the part of a drain identified in a declaration of vesting made under Section 102 of the 1991 Act or in an agreement made under Section 104 of that Act (e);

"licensed water supplier" means a company which is the holder for the time being of a water supply licence under Section 17A(1) of the 1991 Act(f);

"maintenance period" means the period so specified in an adoption agreement as a period of time-

- (a) from the date of issue of a certificate by a Sewerage Undertaker to the effect that a developer has built (or substantially built) a private sewer or lateral drain to that undertaker's satisfaction; and
- (b) until the date that private sewer or lateral drain is vested in the Sewerage Undertaker;

"map of waterworks" means the map made available under Section 198(3) of the 1991 Act (g) in relation to the information specified in subsection (1A);

"private sewer" means a pipe or pipes which drain foul or surface water, or both, from premises, and are not vested in a Sewerage Undertaker;

"public sewer" means, subject to Section 106(1A) of the 1991 Act(h), a sewer for the time being vested in a Sewerage Undertaker in its capacity as such, whether vested in that undertaker-

- (a) by virtue of a scheme under Schedule 2 to the Water Act 1989(i);
- (b) by virtue of a scheme under Schedule 2 to the 1991 Act (j);
- (c) under Section 179 of the 1991 Act (k); or
- (d) otherwise;

"public sewer map" means the map made available under Section 199(5) of the 1991 Act (I);

"resource main" means (subject to Section 219(2) of the 1991 Act) any pipe, not being a trunk main, which is or is to be used for the purpose of(a) conveying water from one source of supply to another, from a source of supply to a regulating reservoir or from a regulating reservoir to a source of supply; or

(b) giving or taking a supply of water in bulk;

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"sewerage services" includes the collection and disposal of foul and surface water and any other services which are required to be provided by a Sewerage Undertaker for the purpose of carrying out its functions;

"Sewerage Undertaker" means the company appointed to be the Sewerage Undertaker under Section 6(1) of the 1991 Act for the area in which the property is or will be situated;

"surface water" includes water from roofs and other impermeable surfaces within the curtilage of the property;

"water main" means (subject to Section 219(2) of the 1991 Act) any pipe, not being a pipe for the time being vested in a person other than the water Undertaker, which is used or to be used by a Water Undertaker or licensed water supplier for the purpose of making a general supply of water available to customers or potential customers of the undertaker or supplier, as distinct from for the purpose of providing a supply to particular customers:

"water meter" means any apparatus for measuring or showing the volume of water supplied to, or of effluent discharged from any premises; "water supplier" means the company supplying water in the water supply zone, whether a water undertaker or licensed water supplier;

"water supply zone" means the names and areas designated by a Water Undertaker within its area of supply that are to be its water supply zones for that year; and

"Water Undertaker" means the company appointed to be the Water Undertaker under Section 6(1) of the 1991 Act for the area in which the property is or will be situated.

(2) In this Schedule, references to a pipe, including references to a main, a drain or a sewer, shall include references to a tunnel or conduit which serves or is to serve as the pipe in question and to any accessories for the pipe.

- (a) 1991 c. 56
- (b) S.I. 2000/3184. These Regulations apply in relation to England.
- (c) S.I. 2001/3911. These Regulations apply in relation to Wales.
- (d) Section 51A was inserted by Section 92(2) of the Water Act 2003 (c. 37). Section 104(1) was amended by Section 96(4) of that Act.
- (e) Various amendments have been made to Sections 102 and 104 by Section 96 of the Water Act 2003.
- (f) Inserted by Section 56 of and Schedule 4 to the Water Act 2003.
- (g) Subsection (1A) was inserted by Section 92(5) of the Water Act 2003.
- (h) Section 106(1A) was inserted by Section 99 of the Water Act 2003.
- (i) 1989 c. 15.
- (j) To which there are various amendments made by Section 101(1) of and Schedule 8 to the Water Act 2003.
- (k) To which there are various amendments made by Section 101(1) of and Schedule 8 to the Water Act 2003.
- (I) Section 199 was amended by Section 97(1) and (8) of the Water Act 2003.





#### Appendix 2 - DRAINAGE AND WATER ENQUIRY (COMMERCIAL) AGREEMENT

The Customer and the Client are asked to note the provisions of this Agreement, which govern the basis on which this drainage and water report is supplied.

#### **Definitions**

'Client' means the person, company or body who is the intended recipient of the Report with an actual or potential interest in the Property (including, where relevant, their mortgage lender).

'Company' means United Utilities Water Limited who produce the Report; its registered office being at Haweswater House, Lingley Mere Business Park, Lingley Green Avenue, Great Sankey, Warrington WA5 3LP, company number 2366678.

'Customer' means the person, company, firm or other legal body placing the Order, either on their own behalf as Client, or, as an agent for a Client. 'Order' means any request completed by the Customer requesting the Report.

'Property' means the address or location supplied by the Customer in the Order.

'Report' means the drainage and water report prepared by the Company in respect of the Property.

#### Agreement

- 1.1 The Company agrees to supply the Report to the Customer and the Client subject to this Agreement. The scope and limitations of the Report are described in clauses 2 and 3 of this Agreement. Where the Customer is acting as an agent for the Client, the Customer shall be responsible for bringing this Agreement (including, without limitation, any limitations and exclusions contained in it) to the attention of the Client and ensuring their acceptance of it pursuant to clause 1.2.
- 1.2 The Customer and the Client agree that the placing of an Order for a Report and the subsequent provision of a copy of the Report to the Customer and/or the Client indicates their acceptance of this Agreement and the Company shall be entitled to rely on this notwithstanding the Customer's failure to comply with clause 1.1.
- 1.3 The Company's cancellation policy in relation to an Order shall form part of this Agreement and is detailed at <a href="https://propertysearches.unitedutilities.com/cancellation/">https://propertysearches.unitedutilities.com/cancellation/</a>

#### Report

- 2.1 Whilst the Company will use reasonable care and skill in producing the Report, it is provided to the Customer and the Client on the basis that they acknowledge and agree to the following:-
- 2.2 The information contained in the Report can change on a regular basis so the Company cannot be responsible to the Customer and/or the Client for any change in the information contained in the Report after the date on which the Report was produced.
- 2.3 The Report does not give details about the actual state or condition of the Property nor should it be used or taken to indicate or exclude actual suitability or unsuitability of the Property for any particular purpose, or relied upon for determining saleability or value, or used as a substitute for any physical investigation or inspection. Further advice and information from appropriate experts and professionals should always be obtained.
- 2.4 The information contained in the Report is based upon the accuracy, completeness and legibility of the address, drawn boundaries and/or plans supplied by the Customer in the Order.
- 2.5 The Report provides information as to the indicative location and connection status of existing services and other information in relation to drainage and water enquiries and should not be used or relied on for any other purpose. The Report may contain opinions or general advice to the Customer and the Client. The Company, subject to clauses 3.4 and 3.7 and without prejudice to the other provisions of this Agreement, accepts no liability in relation to any such opinion or general advice or any other information contained in the Report (including, without limitation, any inaccuracies, errors or omissions) unless and only to the extent that such liability arises as a direct result of the Company's negligence (if relevant).





- 2.6 The position and depth of apparatus shown on any maps attached to the Report are approximate, and are furnished as a general guide only, and no warranty as to its correctness is given or implied. The exact positions and depths should be obtained by excavation trial holes and the maps must not be relied on in the event of excavation or other works made at the Property and/or in the vicinity of the Company's apparatus and, subject to clause 3.7, the Company accepts no liability in relation to any such reliance.
- 2.7 In providing the Report the Company will comply with the Drainage & Water Searches Network (DWSN) Standards, https://www.con29dw.co.uk/about-dwsn/#standards

#### Liability

- 3.1 The Company shall not be liable to the Customer and/or the Client for any failure defect or non-performance of its obligations arising from any failure to provide or delay in providing the Report to the extent that such failure or delay is due to an event or circumstance beyond the reasonable control of the Company including but not limited to any delay, failure of or defect in any machine, processing system or transmission link or any failure or default of a supplier or sub-contractor of the Company or any provider of any third party information except to the extent that such failure or delay is directly caused by the negligence of the Company.
- 3.2 Where a Report is requested for an address falling within a geographical area where two different entities separately provide Water and Sewerage Services, then any liability imposed on the Company pursuant to this Agreement for information contained in the Report which has been provided by the other entity shall be subject to the provisions of this Agreement and shall, without prejudice to the other provisions of this Agreement (including without limitation clauses 3.3 to 3.7), not exceed the liability that would have been imposed on the other entity had it supplied that information directly to the Customer.
- 3.3 The Report is produced only for use in relation to individual commercial property transactions (i.e. single commercial units, mixed sales of a building or area of land used for non-residential purposes, dual use of a dwelling house, farms sold with agricultural land and/or buildings, a group of holiday homes or an entire new development or a plot of land/additional area with a single or no building) and which requires the provision of drainage and water information and cannot be used for residential properties (i.e. a single dwelling house together with any associated land). Subject to clauses 3.4 to 3.7, the Company's entire liability to the Client howsoever arising under or in connection with the Report and/or this Agreement and whether in contract, negligence or any other tort or for breach of statutory duty or otherwise shall not exceed £10,000,000 (ten million pounds). The Company shall not in any circumstances (whether for breach of contract, negligence or any other tort, under statute or statutory duty, restitution or otherwise at all) be liable to the Client for any indirect or consequential loss or damage whatsoever caused and howsoever arising under or in connection with the Report and/or this Agreement
- 3.4. The plans attached to the Report are provided pursuant to the Company's statutory duty to make such plans available for inspection (notwithstanding the provisions of this clause) and your attention is drawn to the notice on the plan(s) attached to the Report which applies to the plan(s) and its/their contents. For the avoidance of doubt, nothing in this Agreement shall be interpreted as, or deemed to be, in any way an acknowledgement or acceptance by the Company that a common law duty of care exists between the Company, the Customer and/or the Client in relation to those plans (including, without limitation, the provision of such plans and the information contained within them) and/or any other information contained in the Report.
- 3.5 Subject to clause 3.7, the Company's entire liability to the Customer howsoever arising under or in connection with this Agreement and whether in contract, negligence or any other tort or for breach of statutory duty or otherwise shall not exceed £5,000 (five thousand pounds) and the Company shall not in any circumstances (whether for breach of contract, negligence or any other tort, under statute or statutory duty, restitution or otherwise at all) be liable to the Customer for any indirect or consequential loss or damage whatsoever caused and howsoever arising under or in connection with this Agreement .
- 3.6 The Customer and the Client shall ensure that the Report is not accessed by, made available to, used by and/or relied on (in whole or in part) in any way by any other third party, and, subject to clause 3.7, the Company shall not in any circumstances (whether for breach of contract, negligence or any other tort, under statute or statutory duty, restitution or otherwise at all) be liable to any third party for any loss (whether direct, indirect or consequential loss (all three of which terms include without limitation, pure economic loss, loss of profit, loss of business depletion of goodwill and like loss)) or damage whatsoever caused and howsoever arising under or in connection with this Agreement and/or the Report and/or any use of or reliance placed upon the Report. The Customer and the Client agree to indemnify the Company against any losses, costs, claims and damage suffered by the Company as a result of any breach by either of them of the provisions of this clause 3.6.
- 3.7 Nothing in this Agreement shall exclude the Company's liability for death or personal injury arising from its negligence or for fraud or any other matter to the extent that such liability cannot be excluded or limited by law.





#### Copyright and Confidentiality

- 4.1 The Customer and the Client acknowledge that the Report is confidential and is intended for the personal use of the Client only and shall not be used (in whole or in part) for any commercial gain in any circumstances. The Customer and the Client shall ensure that the Report is not accessed by, made available to, used by and/or relied on (in whole or in part) in any way by any other third party. The copyright and any other intellectual property rights in the Report shall remain the property of the Company and its licensors. No intellectual or other property rights are transferred or licensed to the Customer or the Client except to the extent expressly provided herein.
- 4.2 The Customer or the Client is entitled to make copies of the Report but may only copy Ordnance Survey mapping or data contained in or attached to the Report, if they have an appropriate licence from the originating source of that mapping or data
- 4.3 The Customer and, the Client agree (in respect of both the original and any copies made) to respect and not to alter any part of the Report including but not limited to altering, removing or obscuring the trademark, logo, copyright notice or other property marking which appears on the Report.
- 4.4 The maps contained in the Report are protected by Crown Copyright and must not be used for any purpose outside the context of the Report.
- 4.5 The enquiries contained in the Report are protected by copyright by the Law Society of 113 Chancery Lane, London, WC2A 1PL and must not be used for any purpose outside the context of the Report
- 4.6 The Customer and the Client agree to indemnify the Company against any losses, costs, claims and damage suffered by the Company as a result of any breach by either of them of the provisions of clauses 4.1 to 4.5 inclusive.

#### **Payment**

- 5.1 Unless otherwise stated all prices are inclusive of VAT. The Customer shall pay the price of the Report specified by the Company, without any set off, deduction or counterclaim.
- 5.2 Payment must be received in advance unless an account has been set up with the Company. In these cases, payment terms will be as agreed with the Company, but in any event any invoice must be paid within 30 days of the date of its issue.
- 5.3 The Company reserves the right to increase fees on reasonable prior written notice at any time.

### **Data Protection**

6.1 We will process any personal data you provide to us in accordance with applicable data protection laws and our Data Protection and Privacy Notice (<a href="https://www.unitedutilities.com/privacy/">https://www.unitedutilities.com/privacy/</a>). In addition we will use your personal data to manage and administer the provision of the Report under this Agreement and to develop and improve the business and services we provide to our customers. We may also disclose it to other companies in the United Utilities group (being United Utilities Water Limited, its holding companies (and their subsidiary companies) and its subsidiary companies) and their sub-contractors in connection with those purposes, but it will not be processed for other purposes or disclosed to other third parties without your express permission or without lawful purpose under data protection law.

#### General

- 7.1 If any provision of this Agreement is or becomes invalid or unenforceable, it will be taken to be removed from the rest of this Agreement to the extent that it is invalid or unenforceable. No other provision of this Agreement shall be affected.
- 7.2 This Agreement shall be governed by English law and all parties submit to the exclusive jurisdiction of the English courts.
- 7.3 Nothing in this Agreement and conditions shall in any way restrict the Company's or the Customer's or the Client's statutory or any other rights in relation to the provision of and/or access to the information contained in the Report.
- 7.4 This Agreement and conditions may be enforced by the Customer and the Client but not by any other third party.
- 7.5 Before you agree to this Agreement, please note that where you are the Customer it is your responsibility to ensure your client/customer is aware of them and that any objections are raised accordingly.





#### **Property Searches complaints procedure**

In the event of any queries relating to this Report please e-mail, write or phone our customer team quoting the United Utilities reference detailed on the Report, We will endeavor to resolve any telephone contact or complaint at the time of the call.

Whilst we always try to resolve all complaints straight away, if this is not possible and you are not happy with the course of action taken by us you can ask us to escalate the issues internally via the complaints process detailed below.

We will listen to your complaint and do our best to deal with it immediately.

If we fail to give you a written substantive response within 5 working days the Company will compensate the Customer or the Client (as applicable) the amount of the original fee paid to the Company for the Report, regardless of the outcome of your complaint.

If it is a complex issue requiring more time, we will still get back to you within 5 working days and notify you of progress and update you with the new timescales.

If we consider your complaint to be justified or we have made any errors that substantially change the outcome of the search we will:

- Refund your Report fee
- Provide you with a revised Report (if requested)
- Take the necessary action within our power to put things right which may (where appropriate) include, at our complete discretion, financial compensation or the relocation/removal/installation of our affected water or sewerage assets.
- Keep you informed of any action required

If your complaint has gone through our full internal complaints procedure and you are not satisfied with the response or you believe that we have failed to comply with our internal complaints procedure you may be able to refer your complaint for consideration under The Property Ombudsman Scheme (TPOs). In addition to TPO's redress scheme covering consumers, TPO will also provide redress for small businesses (including charities and trusts) that meet the following criteria:

- a small business (or group of companies) with an annual turnover of less than £3 million;
- a charity with an annual income of less than £3 million; or
- a trust with a net asset value of less than £3 million.

You can obtain further information by visiting <a href="www.tpos.co.uk">www.tpos.co.uk</a> or email <a href="mailto:admin@tpos.co.uk">admin@tpos.co.uk</a>







# Appendix D

Doc Ref: MCD SS 0104 Doc Name: MCD Trial Pit Permeability Test Record Doc Version: 1.0



Permeability Test BS 5930:1999

MCD Trial Pit Permeability Test Record	Site: Blackburn	Site: Blackburn Location: SA101		
	Job No: M11363	Trial Pit No:		
Trial Pit Width: 400mm	Date: 03/04/23	Sheet: of:		
Trial Pit Length: 1.3m	Ground level	Operator: RS		
Trial Pit Depth: 1m	Weather: Clear			
	Type of test: Rising/Fa	Type of test: Rising/Falling Head		
Any pit collapses? Y/N No				
Water level (if present before fill)	Water level at start of t	Water level at start of test (after fill) 0.35		

# **Test Record**

Time	Time	Depth to	Time	Time	Depth to
	Elapsed	water level		Elapsed	water level
	min:sec	m		min:sec	m
	0:00	0.35		20:00	0.35
	0:15	0.35		30:00	0.35
	0:30	0.35		40:00	0.35
	0:45	0.35		50:00	0.35
	1:00	0.35		60:00	0.35
	1:30	0.35		90:00	0.35
	2:00	0.35		120:00	0.35
	2:30	0.35		180:00	0.35
	3:00	0.35		240:00	0.35
	3:30	0.35		300:00	0.35
	4:00	0.35		360:00	0.35
	4:30	0.35			
	5:00	0.35			
	6:00	0.35			
	7:00	0.35			
	8:00	0.35			
	9:00	0.35			
	10:00	0.35			
	15:00	0.35			

Remarks:

NOTE: Depth to water level measured from top of Pit edge / Marker point across pit\*

\* Delete as appropriate

Doc Ref: MCD SS 0104 Doc Name: MCD Trial Pit Permeability Test Record Doc Version: 1.0



Permeability Test BS 5930:1999

MCD Trial Pit Permeability Test Record	Site: Blackburn Location: SA102		
	Job No: M11363	Trial Pit No:	
Trial Pit Width: 400mm	Date: 03/04/23	Sheet: of:	
Trial Pit Length: 1.3m	Ground level Operator: RS		
Trial Pit Depth: 1m	Weather: Clear		
	Type of test: Rising/Falling Head		
Any pit collapses? Y/N No			
Water level (if present before fill)	Water level at start of test (after fill) 0.40		

# **Test Record**

Time	Time	Depth to	Time	Time	Depth to
	Elapsed	water level		Elapsed	water level
	min:sec	m		min:sec	m
	0:00	0.40		20:00	0.40
	0:15	0.40		30:00	0.40
	0:30	0.40		40:00	0.40
	0:45	0.40		50:00	0.40
	1:00	0.40		60:00	0.40
	1:30	0.40		90:00	0.40
	2:00	0.40		120:00	0.40
	2:30	0.40		180:00	0.40
	3:00	0.40		240:00	0.40
	3:30	0.40		300:00	0.40
	4:00	0.40		360:00	
	4:30	0.40			
	5:00	0.40			
	6:00	0.40			
	7:00	0.40			
	8:00	0.40			
	9:00	0.40			
	10:00	0.40			
	15:00	0.40			

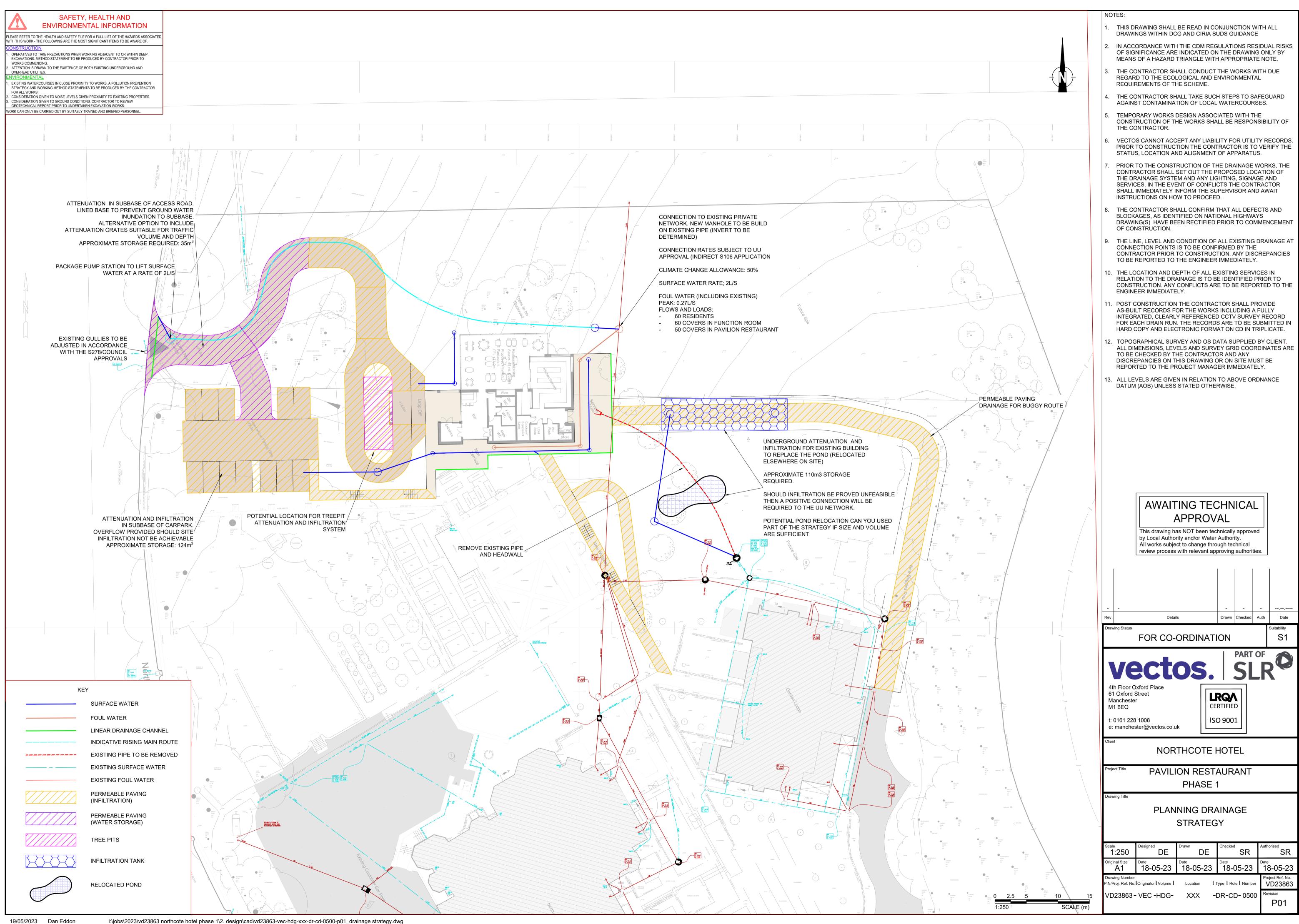
Remarks:

NOTE: Depth to water level measured from top of Pit edge / Marker point across pit\*

\* Delete as appropriate



# Appendix E





# Contact

#### London

Network Building, 97 Tottenham Court Road, London W1T 4TP. Tel: 020 7580 7373

#### **Bristol**

5th Floor, 4 Colston Avenue, Bristol BS1 4ST Tel: 0117 203 5240

# Cardiff

Helmont House, Churchill Way, Cardiff CF10 2HE Tel: 029 2072 0860

#### Exeter

6 Victory House, Dean Clarke Gardens, Exeter EX2 4AA Tel: 01392 422 315

# **Birmingham**

Great Charles Street, Birmingham B3 3JY Tel: 0121 2895 624

#### Manchester

Oxford Place, 61 Oxford Street, Manchester M1 6EQ. Tel: 0161 228 1008

#### Leeds

7 Park Row, Leeds LS1 5HD Tel: 0113 512 0293

# Bonn

Stockenstrasse 5, 53113, Bonn, Germany Tel: +49 176 8609 1360 www.vectos.eu

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