

# HERITAGE STATEMENT

PROPOSED SINGLE STOREY EXTENSION, INTERNAL ALTERATIONS AND REPLACEMENT GARAGE

AT

84 WHALEY ROAD

CLITHEROE

LANCASHIRE

BB7 1EE

NGR: SD 7416741187



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## CONTENTS

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### 1.0 INTRODUCTION

1.1	Overview	05
1.2	Purpose	05
1.3	Methodology	05
1.4	Author	06
1.5	Acknowledgements	06

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### 2.0 UNDERSTANDING THE SITE

2.1	Site Location and Description	07
2.2	Heritage Asset Designations	10
2.3	Historical Development	10
2.4	Planning History	10

---

### 3.0 ASSESSMENT OF SIGNIFICANCE

3.1	Assessing Significance	12
3.2	Summary of Significance	12

---

### 4.0 DEVELOPMENT PROPOSALS

4.1	Design Narrative	14
4.2	Summary of Proposals	17

---

### 5.0 PLANNING POLICY CONTEXT

5.1	National Legislation	19
5.2	National Planning Policy	19
5.3	Local Planning Policy	19

---

### 6.0 HERITAGE IMPACT ASSESSMENT

6.1	Assessment of Heritage Impact	23
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## APPENDICES

Appendix A – 84 Whalley Road: List Entry

# SECTION 01

## INTRODUCTION

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### 1.1 OVERVIEW

This document has been produced in support of applications for listed building consent and planning permission for the construction of a single storey garden room extension to the rear west elevation of the building, as well as the creation of an ensuite shower room to the second floor bedroom and the replacement of the existing garage.

84 Whalley Road is a grade II listed building for its special architectural and historical interest.

### 1.2 PURPOSE

The purpose of this document is to provide the Local Planning Authority with the necessary and appropriate information that will inform the proposals. An assessment of the heritage values of the listed building will be included to determine its significance. A heritage impact assessment has also been included to assess the potential implications of the proposals on the special interest of the listed building.

It is produced in response to policies set out in Paragraph 189 of the National Planning Policy Framework, 2021 which states;

*In determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets' importance and no more than is sufficient to understand the potential impact of the proposal on their significance.<sup>1</sup>*

This document is produced in accordance with recently published Historic England guidance document 'Statements of Heritage Significance: Analysing Significance in Heritage

Assets' published on the 21<sup>st</sup> October 2019 and considered to be current best practice.<sup>2</sup>

### 1.3 METHODOLOGY

This document has been produced in accordance with a series of documents all of which are considered to be current best practice guidance and consist of the following;

- Historic England (2008) Conservation Principles, Policies and Guidance for the Sustainable Management of the Historic Environment.<sup>3</sup>
- Historic England (2019) Statement of Heritage Significance: Analysing Significance in Heritage Assets - Historic England Advice Note 12.<sup>4</sup>
- Chartered Institute for Archaeologists (2014) Standard and Guidance for the Archaeological Investigation and recording of Standing Buildings or Structures.<sup>5</sup>
- Chartered Institute for Archaeologists (2014) Standard and Guidance for Historic Environment Desk Based Assessment.<sup>6</sup>
- BS 7913:2013 – Guide to the Conservation of Historic Buildings

A search of the following databases and archives has been carried out as part of this investigation to identify published and unpublished sources of documentary evidence which contributes to an understanding of the site.

- Archaeological Data Service
- Historic England Online Archive
- Lancashire County Archive Catalogue
- Lancashire Library Catalogue

Exhaustive research will not be possible and cost effective and attention will be focused on those documents which are readily available and those which provide an

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<sup>1</sup> Ministry of Housing, Communities and Local Government (2018) National Planning Policy Framework, Page 55, Available at: [https://assets.publishing.service.gov.uk/government/uploads/system/uploads/attachment\\_data/file/728643/Revised\\_NPPF\\_2018.pdf](https://assets.publishing.service.gov.uk/government/uploads/system/uploads/attachment_data/file/728643/Revised_NPPF_2018.pdf) (Accessed on 5th September 2019)

<sup>2</sup> Historic England (2019) Statements of Heritage Significance: Analysing Significance in Heritage Assets (online) Available at: <https://historicengland.org.uk/images-books/publications/statements-heritage-significance-advice-note-12/heag279-statements-heritage-significance/> (Accessed on the 24<sup>th</sup> January 2020)

<sup>3</sup> Historic England (2008) Conservation Principles, Policies and Guidance for the Sustainable Management of the Historic Environment (Online) Available at <https://historicengland.org.uk/images-books/publications/conservation-principles-sustainable-management-historic-environment/conservationprinciplespoliciesandguidanceapril08web/> (Accessed on 31<sup>st</sup> March 2020)

<sup>4</sup> Historic England (2019) Statement of Heritage Significance: Analysing Significance in Heritage Assets - Historic England Advice Note 12 (Online) Available at: <https://historicengland.org.uk/images-books/publications/statements-heritage-significance-advice-note-12/heag279-statements-heritage-significance/> (Accessed on 31<sup>st</sup> March 2020)

<sup>5</sup> Chartered Institute for Archaeologists (2014) Standard and Guidance for the Archaeological Investigation and recording of Standing Buildings or Structures (Online) Available at: [https://www.archaeologists.net/sites/default/files/CIfAS%26GBuildings\\_2.pdf](https://www.archaeologists.net/sites/default/files/CIfAS%26GBuildings_2.pdf) (Accessed on 31<sup>st</sup> March 2020)

<sup>6</sup> Chartered Institute for Archaeologists (2014) Standard and Guidance for Historic Environment Desk Based Assessment (Online) Available at: [https://www.archaeologists.net/sites/default/files/CIfAS%26GDBA\\_3.pdf](https://www.archaeologists.net/sites/default/files/CIfAS%26GDBA_3.pdf) (Accessed on 31<sup>st</sup> March 2020)

understanding of the design and development of the building.

#### **I.4 AUTHOR**

The author of this document, Matthew Fish B.Sc. (Hons) M.Sc. (BldgCons) MCIAT IHBC, of Sunderland Peacock and Associates Ltd, is a Chartered Architectural Technologist (MCIAT) and is a full chartered member of the Chartered Institute of Architectural Technologists (CIAT). Matthew holds a master's degree in Building Conservation and Regeneration and is a fully accredited member of the Institute of Historic Building Conservation (IHBC) and is experienced in the surveying, analysis and recording of historic buildings as well as the specification of repairs and alterations to historic buildings. Matthew has a specific interest in vernacular dwellings and farm buildings.

#### **I.5 ACKNOWLEDGEMENTS**

We would Like to thank our client, Mr Evans and Miss Tomlin for this commission.

## SECTION 02

# UNDERSTANDING THE SITE

### 2.1 SITE LOCATION AND DESCRIPTION

84 Whalley Road stands at NGR SD 74167 41187 and is located on the east side of Whalley Road, beyond the southern fringe of Clitheroe town centre.

84 Whalley road occupies a long and narrow site spanning from north west to south east, with the building sited to the south east. A modern garage is sited at the end of the garden to the north west and is accessed from an access road to rear. Beyond the rear access road is the Primrose Nature Reserve.

A small area of hardstanding lies between the front elevation of the building and the pavement and was likely to be a former garden given the appearance of similar dwellings in the area.



Fig 01: Plan Showing Location of 84 Whalley Road



PL01: View of 84 Whalley Road from the south east.



PL02: View of 84 Whalley Road from the north west.



*PL03: View of the 84 Whalley Road from the access road to the north west.*



*PL04: View of the existing Garage from the north.*

## 2.2 HERITAGE ASSET DESIGNATIONS

84 Whalley Road is a grade II listed building and is designated as such under section 1 (3(a)) of the Planning (Listed Buildings and Conservation Areas) Act 1990 for its special architectural and historical interest. Please refer to Appendix A of this report for the Historic England List Entry.

## 2.3 HISTORICAL DEVELOPMENT

This section is intended to give an account of the historical development of the site based on information obtained from secondary research sources.

Very little appears to be known of the history of 84 Whalley Road as the history and development does not appear to be well documented amongst published and unpublished documentary resources. 84 Whalley Road is expected to be early 19<sup>th</sup> century in origin and is shown on the following OS map from 1849 confirming that it was extant by the mid-19<sup>th</sup> century.

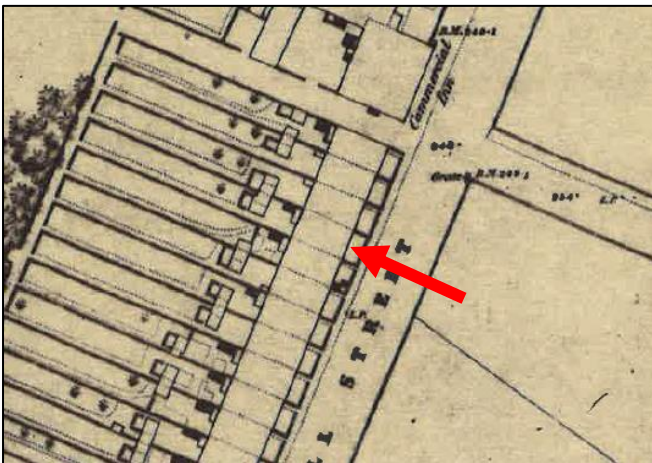


Fig 02: Extract from the OS 1:1056 map of 1849<sup>7</sup>

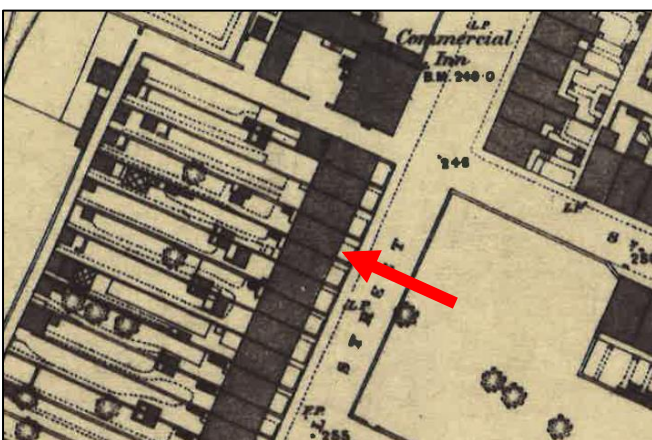


Fig 03: Extract from the OS 1:1056 Map of 1886<sup>8</sup>

## 2.4 PLANNING HISTORY

A search of the Ribble Valley Borough Council Planning Application database has been undertaken and has yielded the following results;

**Application Number:** 3/1990/0413

**Proposals:** Demolition of external staircase- build up door opening to form window opening (listed building application).

**Decision:** Approved no conditions

**Date:** 25.07.1990

**Application Number:** 3/1998/0226

**Proposals:** Erection of non-illuminated shop sign.

**Decision:** Approved with conditions

**Date:** 21.05.1998

**Application Number:** 3/1998/0225

**Proposals:** Display sign / board

**Decision:** Approved with conditions

**Date:** 21.05.1998

**Application Number:** 3/2021/0986

**Proposals:** Listed Building Consent for a proposed single storey extension to the rear, removal of ceiling to second floor rooms and insertion of 3 conservation rooflights in rear roof pitch. New stud walls to form en-suite on the second floor. Removal of existing garage prior to construction of replacement.

**Decision:** Refused

**Date:** 26.11.2021

**Application Number:** 3/2021/0985

**Proposals:** Proposed single storey extension to the rear, removal of ceiling to second floor rooms and insertion of 3 conservation rooflights in rear roof pitch. New stud walls to form en-suite on the second floor. Removal of existing garage prior to construction of replacement.

**Decision:** Refused

**Date:** 26.11.2021

**Application Number:** 3/2022/0828

**Proposals:** Application for Listed Building Consent for a proposed single storey extension to the rear, removal of existing uPVC window and door to the rear of the lower ground floor. Installation of 2 conservation roof lights in rear roof pitch, with internal lightwells to ceiling. New stud walls to form en-suite on the second floor. Removal of existing external soil stack to the rear and installation of new internal soil stack. Removal of existing garage and construction of replacement garage. Resubmission of application 3/2021/0986.

**Decision:** Refused

**Date:** 20.10.2022

<sup>7</sup> Ordnance Survey 1:1056 Map, Clitheroe, Sheet 1 Survey 1844 – 1846.

<sup>8</sup> Ordnance Survey 1:1056 map, Clitheroe Sheet 1, revised in 1884.

**Application Number:** 3/2022/0827

**Proposals:** Application for planning permission for proposed single storey extension to the rear, removal of existing uPVC window and door to the rear of the lower ground floor. Installation of 2 conservation roof lights in rear roof pitch, with internal lightwells to ceiling. New stud walls to form en-suite on the second floor. Removal of existing external soil stack to the rear and installation of new internal soil stack. Removal of existing garage and construction of replacement garage. Resubmission of application 3/2021/0985

**Decision:** Refused

**Date:** 19.10.2022

## SECTION 03

# ASSESSMENT OF SIGNIFICANCE

### 3.1 ASSESSING SIGNIFICANCE

Significance, in terms of heritage related planning policy is defined in the National Planning Policy Framework as “The value of a heritage asset to this and future generations because of its heritage interest. The interest may be archaeological, architectural, artistic or historic. Significance derives not only from a heritage asset’s physical presence, but also from its setting.”<sup>9</sup> Understanding the significance of a building or place is crucial when attempting to inform sensitively and intelligently managed change in order to sustain significance, and where appropriate and possible, to seek opportunities for enhancement.

The purpose of this section is to provide an assessment of the significance of both the farmhouse and barn so that the proposals for change can be informed by the level of significance they possess and so that the impact of the proposals can also be assessed.

This assessment of significance has been informed by a physical inspection of the buildings and both archival and desk-based research. It takes into consideration the significance the building as well as the contribution made by its setting.

The following heritage interests have been described as per the guidance provided within The Historic England guidance document “Statement of Heritage Significance: Analysing Significance in Heritage Assets” (2019), which is considered to be best practice;

**Archaeological interest:** “There will be archaeological interest in a heritage asset if it holds, or potentially holds, evidence of past human activity worthy of expert investigation at some point.”<sup>10</sup>

**Architectural and Artistic Interest:** These are interests in the design and general aesthetics of a place. They can arise from conscious design or fortuitously from the way the heritage asset has evolved. More specifically, architectural interest is an interest in the art or science of the design, construction, craftsmanship and decoration of buildings and structures of all

types. Artistic interest is an interest in other human creative skills, like sculpture.”<sup>11</sup>

**Historic Interest:** “An interest in past lives and events (including pre-historic). Heritage assets can illustrate or be associated with them. Heritage assets with historic interest not only provide a material record of our nation’s history but can also provide meaning for communities derived from their collective experience of a place and can symbolise wider values such as faith and cultural identity.”<sup>12</sup>

### 3.5 SUMMARY OF SIGNIFICANCE

84 Whalley Road is an example of a late Georgian, three storey townhouse, likely built in the early 19<sup>th</sup> century and was extant by the mid-19<sup>th</sup> century and likely had dual residential and commercial functions. The building’s designation as a grade II listed building suggests it is a building of importance from a national perspective in terms of architectural and historical importance and its archaeological, architectural, and historical values combine to form its overall significance.

However, the building is not individually listed on its own individual merits but rather as a group of similar dwellings (no’s 78-88). This suggests that the buildings own individual significance is limited but increases when considered as part of the wider streetscape of Whalley Road and whilst the building is of importance, it has limited individual intrinsic interest.

The building is illustrative of an early Georgian building with dual residential and commercial functions, however there is no obvious evidence of its past commercial function which is alluded to in the list entry. The building is not particularly well preserved, its appearance is somewhat to be desired and its exterior has suffered from the implementation of inappropriate window and door styles as well as unsightly cement render finishes, however, the fenestration pattern to the front is neat and dignified. The building essentially serves as a ‘shell’ with little interest to its interior. The significance of

<sup>9</sup> National Planning Policy Framework (2019) NPPF – Annex 2: Glossary (Online) Available at: [https://www.gov.uk/guidance/national-planning-policy-framework/annex-2-glossary#:~:text=Significance%20\(for%20heritage%20policy\),%2C%20architectural%2C%20artistic%20or%20historic](https://www.gov.uk/guidance/national-planning-policy-framework/annex-2-glossary#:~:text=Significance%20(for%20heritage%20policy),%2C%20architectural%2C%20artistic%20or%20historic). (Accessed on 22<sup>nd</sup> June 2022)

<sup>10</sup> Historic England (2019) Statement of Heritage Significance: Analysing Significance in Heritage Assets - Historic England Advice Note 12 (Online) Available at: <https://historicengland.org.uk/images-books/publications/statements-heritage-significance-advice-note-12/heag279-statements-heritage-significance/> (Accessed on 16<sup>th</sup> September 2020)

<sup>11</sup> Historic England (2019) Statement of Heritage Significance: Analysing Significance in Heritage Assets - Historic England Advice Note 12 (Online) Available at: <https://historicengland.org.uk/images-books/publications/statements-heritage-significance-advice-note-12/heag279-statements-heritage-significance/> (Accessed on 16<sup>th</sup> September 2020)

<sup>12</sup> Historic England (2019) Statement of Heritage Significance: Analysing Significance in Heritage Assets - Historic England Advice Note 12 (Online) Available at: <https://historicengland.org.uk/images-books/publications/statements-heritage-significance-advice-note-12/heag279-statements-heritage-significance/> (Accessed on 16<sup>th</sup> September 2020)

the building is derived from its illustrative value as an example of an early 19<sup>th</sup> century dwelling where as its archaeological value, through is remaining historic fabric, and its aesthetic value, limited to the front principal elevation, are both secondary to this.

## SECTION 04

# DEVELOPMENT PROPOSALS

### 4.1 DESIGN NARRATIVE

Applications for both planning permission and listed building consent were first submitted to Ribble Valley Borough Council in September 2021 which proposed the following works;

- Proposed single storey rear extension
- Removal of existing ceiling to the second floor rear bedroom and form new vaulted ceiling including the installation of 3no. conservation rooflights.
- Proposed ensuite shower room to the second floor rear bedroom.
- Demolition of the existing garage and construction of a replacement garage.

The applications were subsequently refused in November 2021 for the following reasons;

- The proposal is harmful to the special architectural and historic interest of the listed building and the setting of listed buildings because of the loss and alteration of important historic fabric, the installation of incongruous and conspicuous rooflights and the incongruous and conspicuous design of the extension.

The planning officer report highlighted the following detailed reasons for refusal;

- The proposed extension is across the whole width of the property and obscures views of the lower ground floor (window and door). The flat roof form, lantern and triple-light glazed doors are incongruous and conspicuous. Two of the rooflights are to a bedroom which already has a window. No details submitted of the impact to existing principal members of the roof structure.
- The rear roof slope of the row is prominent and has few disruptions (its unbroken line is part of its significance). The proposed rooflights are prominent, incongruous and conspicuous. Two of the rooflights are to a bedroom which already has a window. No details submitted of the impact to existing principal members of the roof structure.
- No evidence has been submitted to suggest that the ceilings are not an original / historic or important feature of the second floor of the late Georgian listed building (presumably inserted to hide the roof structure from view and form a proportioned space). However, it is suggested that works harming the interior only do not form part of reasons for refusal on this planning application.

- No details of plumbing (interior and exterior) or ventilation (impact on roof structure when ceiling removed?) have been submitted. Original plan from appears to have been retained (similar over all floors?). However, the proposed partition along the whole of one side of the room changes room proportions. However, it is suggested that works harming the interior only do not form part of reasons for refusal on this planning application.
- The existing and proposed garages are prominently sited and incongruous and conspicuous in their historic setting because of their form and materials (rendered walls; overtly modern single metal door). Head of Service Comments: It is noted that there are numerous outbuildings situated at the rear of these properties and given the presence of the existing garage in this location the replacement garage, although of modern design and materials, would not have a harmful impact to warrant refusal on this element of the proposals.

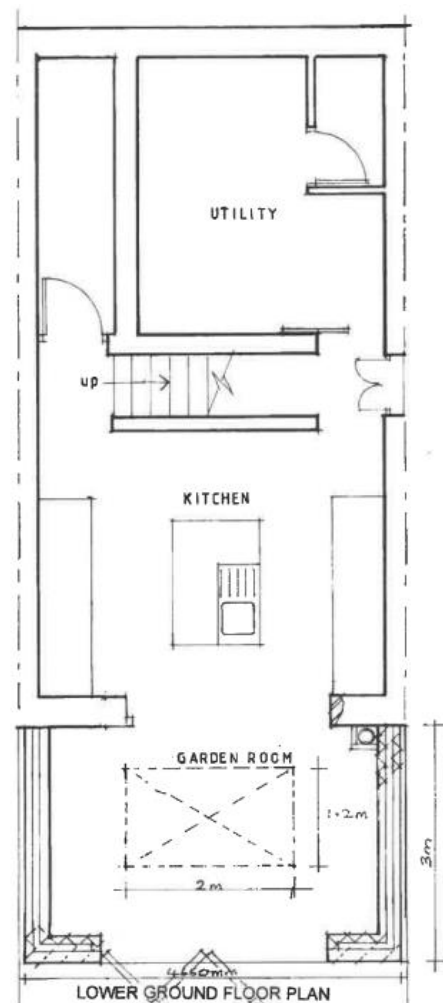


Fig 04: Initial proposed lower ground floor plan (refused)

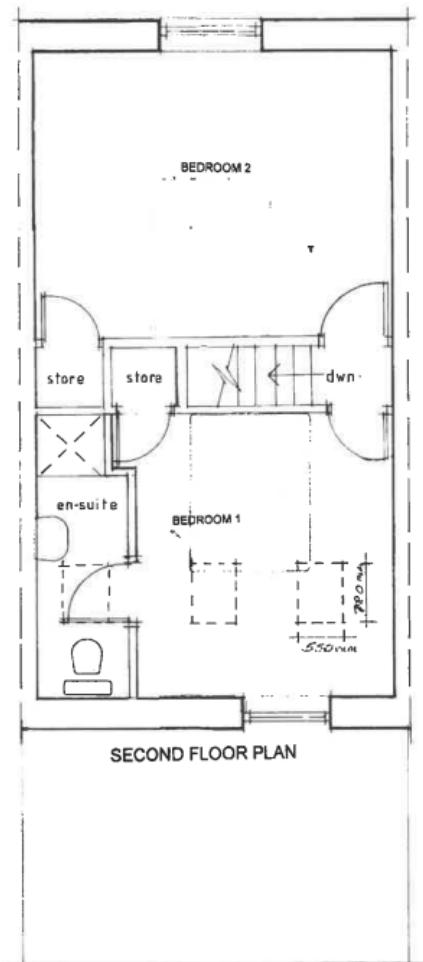


Fig 05: initial proposed second floor plan (refused)

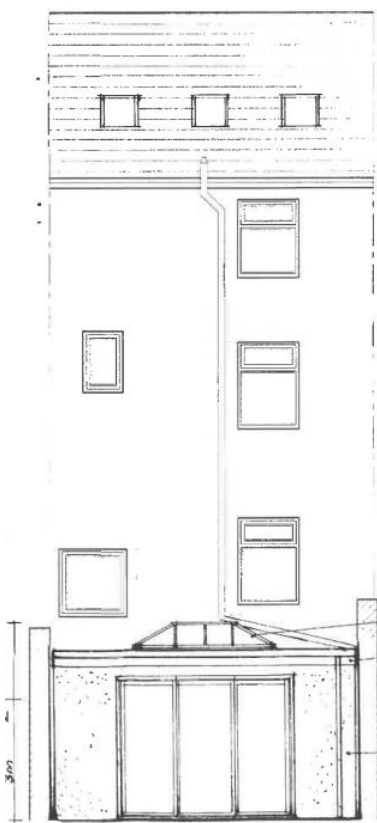


Fig 06: Initial proposed rear north west elevation (refused)

Following the refusal of the initial applications, the design of the proposed scheme was revisited to see where improvements could be made and the following changes were made;

- The roof form of the proposed extension was changed from a modern flat roof to a more traditional gable roof form with a matching natural slate finish and 2no conservation rooflights.
- The modern bi-folds were replaced with a separate centrally aligned doorway and flanked by full height windows. This was done to mimic the position of the existing door and window to the rear wall of the lower ground floor and align the openings with the existing pattern of fenestration.
- The existing external rear wall of the lower ground floor was to be retained and only the existing window and door removed leaving the existing wall apertures and therefore retaining historic fabric.
- The existing external soil pipe was to be removed and a new internal soil pipe installed as a mean of enhancement to the rear elevation of the building.
- The proposed rooflights were reduced from three to two rooflights, with the existing ceiling being retained and only lightwells from the rooflights proposed.
- Ventilation from the proposed ensuite would be achieved through the introduction of a proprietary in-line slate vent which will match the colour of the existing slate roof covering.
- The proposed garage remained unchanged given the comments provided in the officer report of the previously refused round of applications.

Following the adoption of these changes, new applications for planning permission and listed building consent were submitted to Ribble Valley Borough Council in August 2022. Subsequently these were also refused for the following reasons;

- The proposal is harmful to the special architectural and historic interest of the listed building and the setting of listed buildings because of the installation of incongruous and conspicuous rooflights and the incongruous and conspicuous form and materials of the extension and the incongruous.

The planning officer report highlighted the following detailed reasons for refusal and were largely similar to the reasons for the initially refused applications;

- The lower ground floor window and door (and adjoining walling) are important elements of historic fabric (see stone surrounds) and also contribute to building aesthetics and an understanding of historic access/movement and planform. The proposed extension is across the whole width of the property

and obscures views of the lower ground floor. The roof apex of the extension has a discordant relationship with the windows above. The triple-light door and window arrangement is incongruous and conspicuous in respect to the window pattern above (which largely reflects the single window to a floor pattern noted in the list description with reference to the Whalley Road elevation; and draws the eye from the historic building and its features of interest.

- The rear roof slope of the row is prominent and has few disruptions (its unbroken line is unifying and part of the listed building's significance). The proposed rooflights are prominent, incongruous and conspicuous. One rooflight is to a bedroom which already has a window.
- No evidence has been submitted to suggest that the ceilings are not an original/historic or important feature of the second floor of the late Georgian listed building (presumably inserted to hide the roof structure from view and form a proportioned space). Proposed lightwells will result in loss of historic fabric and will form eye-catching features of the ceiling.
- The original planform of the neo-classically influenced double-pile building appears to have been largely retained (similar over all floors?). The proposed partition along the whole of one side of the second floor rear room changes the carefully considered proportions.
- However, it is suggested that works harming the interior only do not form part of reasons for refusal on this planning application.
- Proposed garage was established as acceptable as part of the previous application

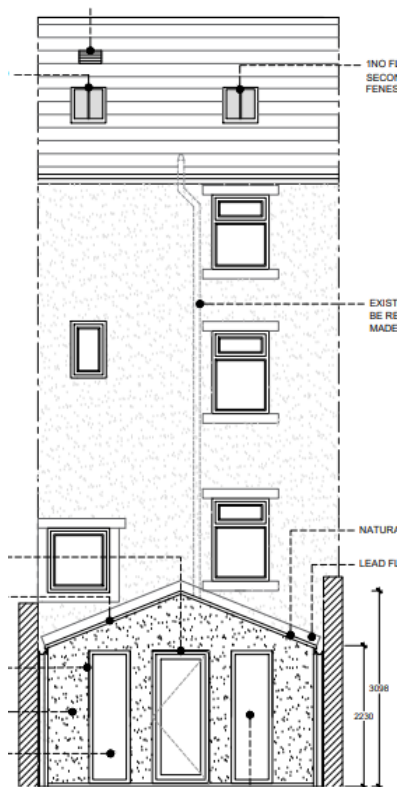


Fig 07: Revised proposed rear north west elevation (refused)

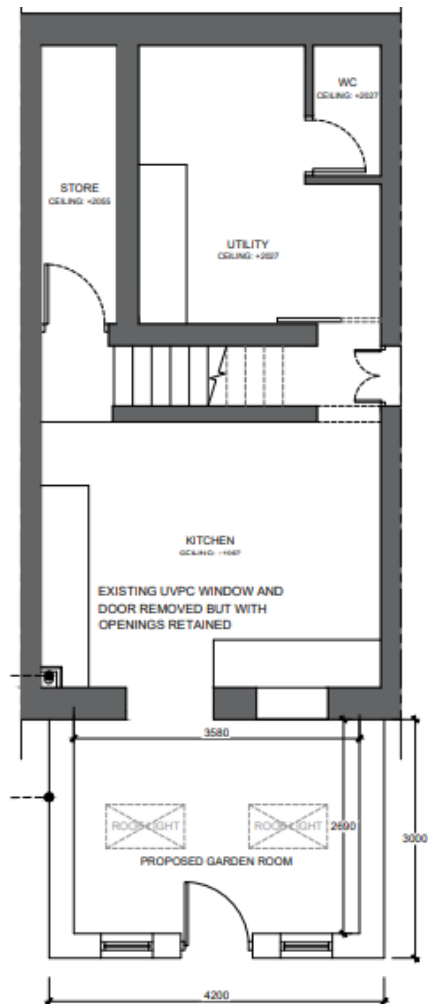


Fig 08: Revised proposed lower ground floor plan (refused)

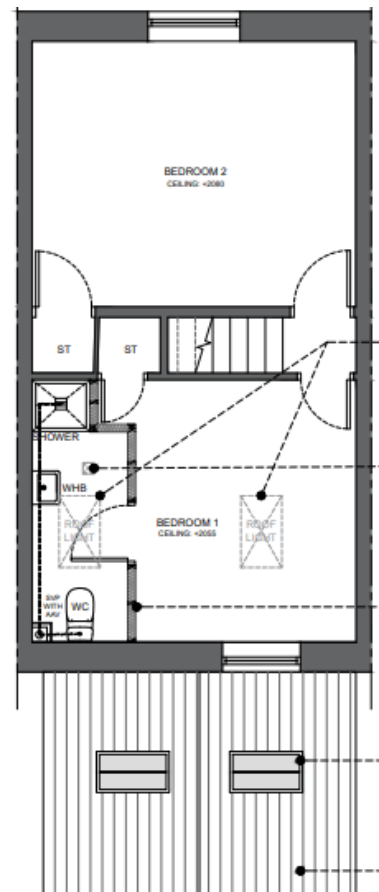


Fig 09: Revised proposed second floor plan (refused)

## 4.2 SUMMARY OF PROPOSALS

The scheme was revised further following the subsequent second refusal and the following scheme has now been submitted and consists of the following:

- Proposed single storey rear extension. This has largely remained unchanged but will extend to the boundary walls in order to improve the gutter detailing and access for maintenance whilst removing vulnerabilities which would have occurred should a gap have been left between the extension and the boundary walls i.e., debris build up and dampness, and which would have impacted upon the fabric of the listed building. The gable form of the extension is to remain unchanged and is to have rendered walls and a natural slate roof covering all to match the listed building. The roof will also have a flush fitting conservation rooflight to each roof slope.
- A section of the rear wall to the lower ground floor is to be removed in order to allow for the passage of natural light from the garden room into the kitchen and beyond.
- The proposed second floor ensuite shower room is to remain as part of the proposals and will remain unchanged from the previous applications.
- The proposed rooflights to the main rear roof slope have been omitted including the alterations to the second floor bedroom ceiling. Only a single proprietary 'in-line' slate vent is to be installed to the rear roof slope and will serve the mechanical extract to the proposed second floor ensuite shower room.
- The proposals for the removal of the rear soil pipe and its relocation internally is to remain.
- Proposed garage was established as acceptable as part of the previous application.

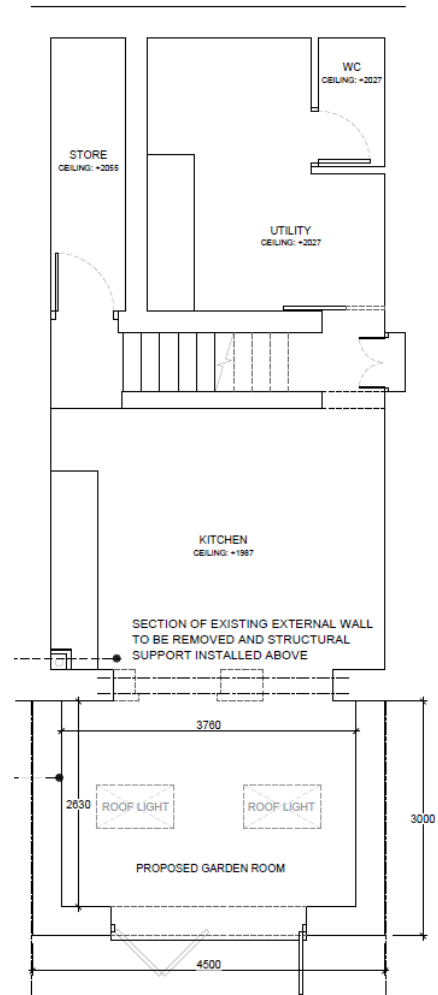


Fig: 10: Proposed lower ground floor plan

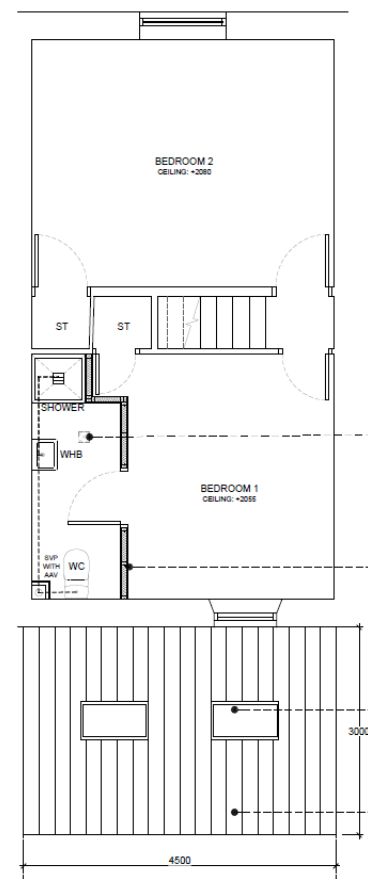
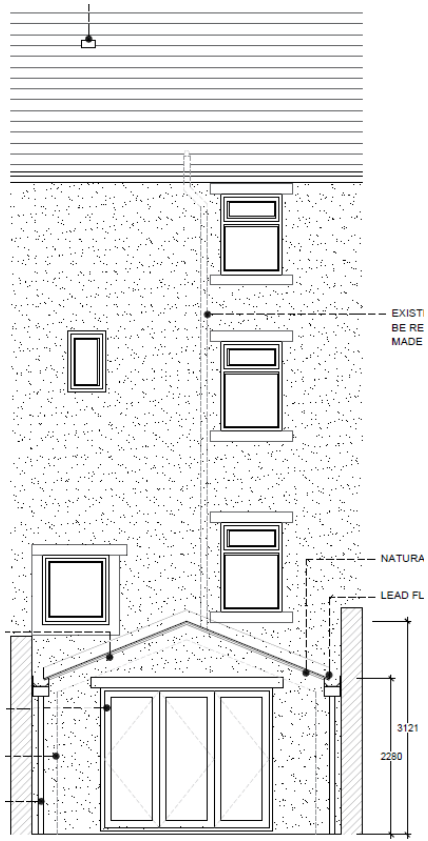


Fig: 11: Proposed lower ground floor plan



*Fig 12: Proposed rear north west elevation*

## SECTION 05

# PLANNING POLICY CONTEXT

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### 5.1 NATIONAL LEGISLATION

Waddington New Hall is a grade II listed building and as such, the building benefits from statutory protection in the form of national legislation, namely the Planning (Listed Buildings and Conservation Areas) Act 1990 due to their special architectural and historic interest. The Act is the legislative foundation in terms of decision making in relation to both listed buildings and conservation areas.

Section 66 of the Act states that;

*“In considering whether to grant planning permission for development which affects a listed building or its setting, the local planning authority or, as the case may be, the Secretary of State shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses*

The building is also located within the defined boundary of the Waddington Conservation Area. The conservation area was formerly designated as such in October 1974 and also benefits from statutory protection within the Planning (Listed Buildings and Conservation Areas) Act 1990 due to its special architectural and historic interest.

Section 72 of the Act states that;

*“In the exercise, with respect to any buildings or other land in a conservation area ... special attention shall be paid to the desirability of preserving or enhancing the character or appearance of that area”.*

### 5.2 NATIONAL PLANNING POLICY

The relevant national planning policies are contained within the National Planning Policy Framework (NPPF) 2021, which sets out the Governments economic, environmental and social planning policies for England and how these policies should be applied. The overarching principle of the NPPF is that of achieving ‘sustainable development’.

It is chapter 16 of the NPPF which addresses the national planning considerations in relation to the historic environment and how sustainable development within the historic environment can be achieved. The general principle suggested by these policies is that development which does not give due regard to the conservation of heritage assets will not be considered as ‘sustainable development’ and will therefore be considered as unacceptable and will not be supported by decision making

bodies. The policies within the NPPF highlight the need to assess the significance of Heritage Assets and their setting which are to be affected by design proposals for change in order to inform this change and requires that the impact of any such change is assessed.

### 5.3 LOCAL PLANNING POLICY

The relevant local planning policies pertaining to the historic environment are contained within the Ribble Valley Borough Council Adopted Core Strategy which forms the central document of the Local Development Framework (LDF), establishing the vision, underlying objectives and key principles that will guide the development of the borough.

The relevant Local Planning policies consist of the following;

#### **Key Statement EN2: Landscape**

The landscape and character of the Forest of Bowland Area of Outstanding Natural Beauty will be protected, conserved and enhanced. Any development will need to contribute to the conservation of the natural beauty of the area.

The landscape and character of those areas that contribute to the setting and character of the Forest of Bowland Area of Outstanding Natural Beauty will be protected and conserved and wherever possible enhanced.

As a principle the council will expect development to be in keeping with the character of the landscape, reflecting local distinctiveness, vernacular style, scale, style, features and building materials.

#### **Key Statement EN5: Heritage Assets**

The Historic Environment and its Heritage Assets and their settings will be conserved and enhanced in a manner appropriate to their significance for their heritage value; their important contribution to local character, distinctiveness and sense of place; and to wider social, cultural and environmental benefits. This will be achieved through:

Recognising that the best way of ensuring the long-term protection of heritage assets is to find an optimum viable use that strikes the correct balance between economic viability and impact on the significance of the asset. Keeping Conservation Area Appraisals under review to ensure that any development proposals respect and

safeguard the character, appearance and significance of the area.

Carefully considering any development proposals that adversely affect a designated heritage asset or its setting in line with the Development Management policies.

Requiring all development proposals to make a positive contribution to local distinctiveness/sense of place.

The consideration of Article 4 Directions to restrict permitted development rights where the exercise of such rights would harm the historic environment.

### **Policy DMG1: General Considerations**

In determining planning applications, all development must:

#### **Design**

1. Be of a high standard of building design which considers the 8 building in context principles (from the CABE /English Heritage building in context toolkit).
2. Be sympathetic to existing and proposed land uses in terms of its size, intensity and nature as well as scale, massing, style, features and building materials.
3. Consider the density, layout and relationship between buildings, which is of major importance. Particular emphasis will be placed on visual appearance and the relationship to surroundings, including impact on landscape character, as well as the effects of development on existing amenities.
4. Use sustainable construction techniques where possible and provide evidence that energy efficiency, as described within policy DME5, has been incorporated into schemes where possible.
5. The code for sustainable homes and lifetime homes, or any subsequent nationally recognised equivalent standards, should be incorporated into schemes.

#### **Access**

1. Consider the potential traffic and car parking implications.
2. Ensure safe access can be provided which is suitable to accommodate the scale and type of traffic likely to be generated.
3. Consider the protection and enhancement of public rights of way and access.

#### **Amenity**

1. Not adversely affect the amenities of the surrounding area.

2. Provide adequate day lighting and privacy distances.
3. Have regard to public safety and secured by design principles.
4. Consider air quality and mitigate adverse impacts where possible.

#### **Environment**

1. Consider the environmental implications such as SSSIS county heritage sites, local nature reserves, biodiversity action plan (BAP) habitats and species, special areas of conservation and special protected areas, protected species, green corridors and other sites of nature conservation.
2. With regards to possible effects upon the natural environment, the council propose that the principles of the mitigation hierarchy be followed. This gives sequential preference to the following: 1) enhance the environment 2) avoid the impact 3) minimise the impact 4) restore the damage 5) compensate for the damage 6) offset the damage.
3. All development must protect and enhance heritage assets and their settings.
4. All new development proposals will be required to take into account the risks arising from former coal mining and, where necessary, incorporate suitable mitigation measures to address them.
5. Achieve efficient land use and the reuse and remediation of previously developed sites where possible. Previously developed sites should always be used instead of greenfield sites where possible.

#### **Infrastructure**

1. Not result in the net loss of important open space, including public and private playing fields without a robust assessment that the sites are surplus to need. In assessing this, regard must be had to the level of provision and standard of public open space in the area, the importance of playing fields and the need to protect school playing fields to meet future needs. Regard will also be had to the landscape or townscape of an area and the importance the open space has on this.
2. Have regard to the availability to key infrastructure with capacity. Where key infrastructure with capacity is not available it may be necessary to phase development to allow infrastructure enhancements to take place.
3. Consider the potential impact on social infrastructure provision.

#### **Other**

Not prejudice future development which would provide significant environmental and amenity improvements.

## Policy DMG2: Strategic Considerations

Development should be in accordance with the core strategy development strategy and should support the spatial vision.

1. Development proposals in the principal settlements of Clitheroe, Longridge and Whalley and the tier 1 villages should consolidate, expand or round-off development so that it is closely related to the main built-up areas, ensuring this is appropriate to the scale of, and in keeping with, the existing settlement.

Within the tier 2 villages and outside the defined settlement areas development must meet at least one of the following considerations:

1. The development should be essential to the local economy or social wellbeing of the area.
2. The development is needed for the purposes of forestry or agriculture.
3. The development is for local needs housing which meets an identified need and is secured as such.
4. The development is for small scale tourism or recreational developments appropriate to a rural area.
5. The development is for small-scale uses appropriate to a rural area where a local need or benefit can be demonstrated.
6. The development is compatible with the enterprise zone designation.

Within the open countryside development will be required to be in keeping with the character of the landscape and acknowledge the special qualities of the area by virtue of its size, design, use of materials, landscaping and siting. Where possible new development should be accommodated through the re-use of existing buildings, which in most cases is more appropriate than new build.

In protecting the designated Area of Outstanding Natural Beauty, the council will have regard to the economic and social wellbeing of the area. However, the most important consideration in the assessment of any development proposals will be the protection, conservation and enhancement of the landscape and character of the area avoiding where possible habitat fragmentation. Where possible new development should be accommodated through the re-use of existing buildings, which in most cases is more appropriate than new build. Development will be required to be in keeping with the character of the landscape and acknowledge the special qualities of the AONB by virtue of its size, design, use of material, landscaping and siting. The AONB management plan should be considered and will be used by the council in determining planning applications.

For the purposes of this policy the term settlement is defined in the glossary. Current settlement boundaries will be updated in subsequent DPD's.

## Policy DME4: Protecting Heritage Assets

There will be a presumption in favour of the conservation and enhancement of the significance of heritage assets and their settings.

### 1. Conservation Areas

Proposals within, or affecting views into and out of, or affecting the setting of a conservation area will be required to conserve and where appropriate enhance its character and appearance and those elements which contribute towards its significance. This should include considerations as to whether it conserves and enhances the special architectural and historic character of the area as set out in the relevant conservation area appraisal. Development which makes a positive contribution and conserves and enhances the character, appearance and significance of the area in terms of its location, scale, size, design and materials and existing buildings, structures, trees and open spaces will be supported.

In the conservation areas there will be a presumption in favour of the conservation and enhancement of elements that make a positive contribution to the character or appearance of the conservation area.

### 2. Listed buildings and other buildings of significant heritage interest

Alterations or extensions to listed buildings or buildings of local heritage interest, or development proposals on sites within their setting which cause harm to the significance of the heritage asset will not be supported.

Any proposals involving the demolition or loss of important historic fabric from listed buildings will be refused unless it can be demonstrated that exceptional circumstances exist.

### 3. Registered historic parks and gardens of special historic interest and other gardens of significant heritage interest

Proposals which cause harm to or loss of significance to registered parks, gardens or landscapes of special historic interest or other gardens of significant local heritage interest, including their setting, will not be supported.

### 4. Scheduled monuments and other archaeological remains

Applications for development that would result in harm to the significance of a scheduled monument or nationally important archaeological sites will not be supported.

Developers will be expected to investigate the significance of non-designated archaeology prior to determination of an

application. Where this demonstrates that the significance is equivalent to that of designated assets, proposals which cause harm to the significance of non-designated assets will not be supported.

Where it can be demonstrated that that the substantial public benefits of any proposals outweigh the harm to or loss of the above, the council will seek to ensure mitigation of damage through preservation of remains in situ as the preferred solution. Where this is not justified developers will be required to make adequate provision for excavation and recording of the asset before or during excavation.

Proposals should also give adequate consideration of how the public understanding and appreciation of such sites could be improved.

In line with NPPF, Ribble Valley aims to seek positive improvements in the quality of the historic environment through the following:

- a) monitoring heritage assets at risk and; i) supporting development/re-use proposals consistent with their conservation; core strategy adoption version 99 ii) considering use of legal powers (building preservation notices, urgent works notices) to ensure the proper preservation of listed buildings and buildings within the conservation areas.
- b) Supporting redevelopment proposals which better reveal the significance of heritage assets or their settings.
- c) Production of design guidance.
- d) Keeping conservation area management guidance under review.
- e) Use of legal enforcement powers to address unauthorised works where it is expedient to do so.
- f) Assess the significance and opportunities for enhancement of non-designated heritage assets through the development management process.

### **Policy DMH5: Residential and Curtilage Extensions**

Proposals to extend or alter existing residential properties must accord with policy DMG1 and any relevant designations within which the site is located. Proposals that are for the extension of properties to provide accommodation for elderly or dependent relatives will also be subject to the following criteria:

1. The development must be capable of integration into the main dwelling or a use that is ancillary to the use of the main dwelling housing when circumstances change.
2. The extension should generally speaking provide only a modest level of accommodation.

Proposals for the extension of curtilage will be approved if:

1. The site is within a settlement, or,
2. The site is on the edge of a settlement providing:
  - the new curtilage boundary follows an easily identifiable feature such as a road, stream or hedgerow, or brings the boundary into line with existing adjacent properties.
  - the extension will not cause visual harm to the landscape. the extension improves the visual quality of the site.

Any existing nature conservation aspects of the existing structure should be properly surveyed and were judged to be significant preserved or, if this is not possible, then any loss adequately mitigated. Proposals to extend a curtilage in other circumstances will not be approved other than where it will support the health of the local economy or for highway safety reasons.

## SECTION 06

# HERITAGE IMPACT ASSESSMENT

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### 6.1 ASSESSMENT OF HERITAGE IMPACT

#### Impact on 84 Whalley Road

##### *Proposed single storey garden room extension:*

The proposed extension will be commensurate with the existing character of the building in terms of its appearance, form, and materials palette and as such will have a minimal impact on the external appearance of the building. The front principal elevation of the building will remain unchanged leaving the existing streetscape unchanged within the public realm.

It is only the upper levels of the building (ground floor and upwards) which are largely visible within the public realm when viewed from the rear access track (which is largely only in private use) and from the path within the nature reserve. The lower ground floor is largely not visible from the access track and nature reserve due to site topography and screening by natural and built features, and where it is visible only small glimpses are possible again due to local site constraints. As a result, only parts of the roof covering and the upper section of the gable end are likely to be visible from the rear access track and the paths within the nature reserve and these are to be minimal. This would ensure that the proposed extension would not be highly conspicuous and would largely be screened from view from the north west of the site.

A small section of the rear wall to the lower ground floor will be removed, however this will also involve an existing door and window opening (door and window themselves are modern). The area to be removed is the minimum required and piers will be retained so as to indicate the past presence of the walling.

It should be noted that other similar extensions are present along the rear of the row, some of which are of gable form and of a considerable size, therefore making the proposed extension consistent with the appearance of existing extensions along the rear of the row.

The proposal has no significant detrimental impact on nearby residential amenity, nor would it have a significant visual impact or be of detriment to the appearance of the listed building or the visual amenity of the wider area.

##### *Proposed second floor ensuite:*

The rear second floor bedroom is to be sub-divided in order to form a new en-suite shower room to serve this particular bedroom with new wall and floor finishes as well as the installation of sanitaryware and an extractor fan. The proposal is deemed desirable by the applicants in order to improve the standard of the existing living accommodation, which is limited, and bring the building to a standard commensurate with the buildings optimum viable use as a family home.

The proposal will create some sub-division of the existing room; however, the en-suite will only be accessible from within the rear bedroom and not accessible from the landing therefore minimising the impact on plan form essentially by creating a room within a room. This will ensure that the historic plan form of the building can still be interpreted. The walls are to be constructed in lightweight timber studwork with wall finishes being carefully scribed around the existing skirtings / cornices if / where required. This element of the proposals is reversible and the proportions of the room could be reinstated in the future if desired. The size of the shower room is of the minimal size required so as not to take up too much of the existing bedroom. No new wall chases are to be formed to accommodate wiring or pipework will be discreetly housed in stud walls / above floor / wall carcassing / boxing out were possible.

Pipework from below to pass through voids to the floor structure where possible. No significant structural implications are expected as part of this proposal. The proposed extractor duct will pass between the ceiling / roof structure to an in-line slate vent of similar size and colour so as to reduce visual impact.

The removal of part of the rear ground floor wall will result in the removal of some existing walling, however its removal will allow for the passage of natural light from the proposed garden room into what is a dimly lit space.

##### *Proposed Garage:*

No direct harm is expected to the listed building and any harm should only be considered in the context of setting. The proposed garage will be of traditional gable form with a natural slate roof covering. Walls will receive a render finish, rainwater good are to be in black aluminum, with the double doors being in timber and the vehicular door being in metal. The proposed garage will be will be slightly

smaller in area and will be located closer to the rear access track therefore creating a greater degree of physical and visual separation between the garage and the listed building resulting in a reduced impact on its setting. Garages are not uncommon in the local area, a number of which line the rear access track to the north west of Whalley Road. The use of the garage will be consistent with the residential use of the site and will be ancillary to the main dwelling. With the proposed garage adopting a more traditional appearance than the existing, this will provide an enhancement to the setting of the listed building.

It was noted as part of the previous application that the proposed garage, although of modern materials and design would not have a detrimental impact on the setting of the listed buildings, given that there are numerous outbuildings located to the rear of the properties on the west side of Whalley Road and that the impact is insufficient to warrant the refusal of this element of the proposals.

*Removal of existing external soil and waste pipes and installation of new internal soil stack:*

The proposal is required to provide a means of foul water drainage to the proposed en-suite, whilst offering minor enhancement to the rear and currently utilitarian appearance of the building. The proposal will provide a minor enhancement to the rear of the building, whilst the proposed internal stack will have no considerable harm on the existing floor and ceiling structures

## APPENDIX A

### 84 WHALLEY ROAD: LIST ENTRY

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*Early C19. 3 storeys, rendered, with slate and stone slate roofs and modillion eaves cornice. 1 window each, except for No 80 which has 2, stone surrounds, no glazing bars. Doorways have stone surrounds with cornices. Small mid C19 shop front to No 84. Modern windows and modern door to the end property which is occupied as a club. Nos 60 to 164 (even) form a group, all except Nos 76 to 110` being buildings of local interest only.*