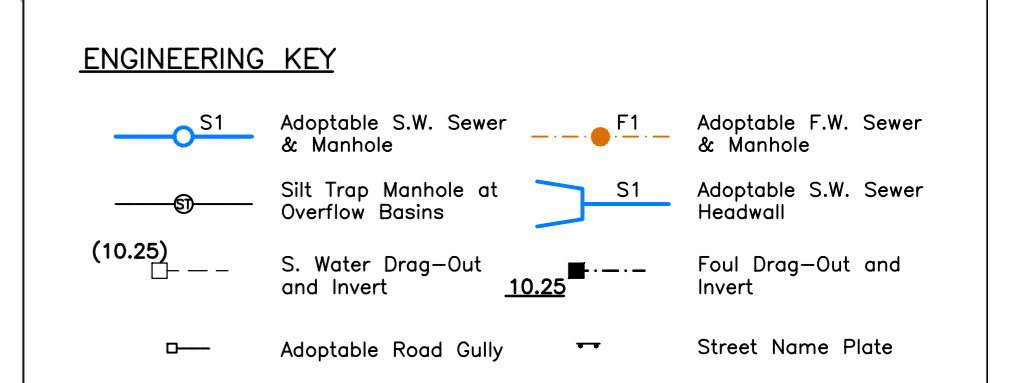




**WARNING TO HOUSE-PURCHASERS**  
 Property Management Act 1995  
 Buyers are warned that this is a working drawing and is not intended to be treated as a descriptive contract. It is intended to be used as a guide only. The contents of this drawing may be subject to change at any time and alterations and variations may occur during the progress of the works without revision of the drawing. Consequently the layout, form, content and dimensions of the finished construction may differ materially from those shown. For the contents of this drawing consult a contract, part of any contract or warranty.

- WARNING LEGEND**
- All adoptable drainage works have been designed and are to be constructed in accordance with 'Codes for Adoption, 6th Edition, and related British Standards for Sewer to adoptable 6th Edition'. Where specification conflicts, BS guidelines shall take precedence.
  - United Utilities Standard details to be used are:

1. All city pipe work shall be Class 200 and BS 45 (DN pipes work).
1. All concrete pipe work shall be Class 125 in accordance with BS2811 Part 1, BS EN 1916 and bear the BS Mark.
- All adoptable drainage to be laid in Class 5 granular surround unless otherwise stated.
- All concrete manholes and soakways rings, concrete cover slabs and can to be manufactured to BS EN 1917 and BS 5919 Part 3.
- Flang Ware to be Black Polyethylene Pipe comply to BS EN 12241-2. Polyethylene fittings, including union joints, and socket-end fittings shall comply with BS EN 12241-2.
- All work shall be in accordance with the Design and Construction Information provided.
- This drawing is to be read in accordance with all other relevant drawings.
- The contractor shall be responsible for ensuring that any existing level levels indicated on the drawings are correct before work commences.
- All proposed connections to the sewer shall be 150mm unless stated otherwise.
- All private house drainage shall be 150mm and all day-out connections shall be 150mm at a minimum gradient of 1:80 unless otherwise stated and laid in accordance with Part 4 of the Building Regulations.
- Roadwork from private surfaces shall not discharge across the highway. Gullies or channels shall be provided as appropriate to prevent this.
- From crossings shall be provided at the street target points of all junctions.
- Flang Ware to be provided from constructed building by construction traffic during the construction period when installed over in the pipe route then otherwise to drainage.
- Install OR tests of the road formation level are to be carried out to determine the depth of pavement construction required. This is to be approved by the adopting authority prior to construction of the road pavement.
- Groundwater to ensure that pit drainage is within the cut-off of the pit the same where possible and otherwise cover level while landscaping where possible.
- Contractor to provide United Utilities with sufficient notice prior to commencement of Sewer works to their inspectors telephone number, Tel 0845 602 0005.
- Contractor to obtain all necessary highway opening sections from the relevant Local Authority, obtain approval to work on United Utilities Sewerage System, obtain approval to install statement from the Environment Agency for any works affecting a watercourse.



**FLOW CONTROL DETAILS**

MH Ref.	Specification
S110	ADO Office Plate to be Supplied by ACO Tel 01462 816566 Ref: 5120190923 3No. 247mm Q-Plate-RW
S324	Crown Flow Control Device to be Supplied by Crown Water Equipment Tel 01344 886 956 Ref: 4280619 1No. 220mm QPS Type Verne Flow Control Unit, Head=3.20m, Flow=42.4 l/s.
S414	Crown Flow Control Device to be Supplied by Crown Water Equipment Tel 01344 886 956 Ref: 4280619 1No. 122mm QPS Type Verne Flow Control Unit, Head=2.6m, Flow=26.6 l/s.

L	Plots 118-159 & 194-198 revised to suit groundworks	25.10.21	CD
K	Plots 52-53 handed; Plots 118-156 revised; Plots 194-198 added	27.09.21	CD
J	S107-S109A revised; F102-F105 revised	26.10.20	CD
H	S102 & F212 cover levels revised	24.06.20	CD
G	Easement adjacent to Redwood Drive revised	03.04.20	CD
F	Add existing street names	17.03.20	CD
E	S109-S110, F104-F105 revised, S109A & F104A added; S415 split into 2 headwalls, S503 added	27.02.20	CD
D	S501-S502 revised; Cover levels revised within raised tables; Tactiles revised	09.12.19	CD
C	Site lifted to reduce soil leaving site. FTLs and cover levels revised.	01.11.19	CD
B	Easement from S201-S49 & F321-F23 added; Flow control units updated to Crown spec; Pond water levels revised to suit new colour; Existing sewer in Road 19 revised; S109 & F104 revised.	06.09.19	CD
A	Plot drainage added	01.07.19	CD
REV	DESCRIPTION	DATE	DRAWN

**BARRATT HOMES**  
**MANCHESTER**  
 Barratt Homes Manchester  
 (A division of BDW Trading Ltd)  
 4 Brindley Road  
 City Park  
 Manchester  
 M16 9UD  
 Tel: 0161 872 0161  
 Fax: 0161 855 2828

Job: Chipping Lane Longridge Phases 2 & 3  
 Title: Section 104 Drainage Layout  
 Design By: CD  
 Date: April 2019  
 Drawing Number: 459/ED/105  
 Rev: L