



IMPERMEABLE AREAS	IMPERMEABLE AREAS
Typical URBAN CREEP	Typical URBAN CREEP
1.000 = 0.168 Ho	1.000 = 0.185 Ho
1.001 = 0.034 Ho	1.001 = 0.037 Ho
1.002 = 0.039 Ho	1.002 = 0.043 Ho
1.003 = 0.030 Ho	1.003 = 0.033 Ho
1.004 = 0.049 Ho	1.004 = 0.054 Ho
1.005 = 0 Ho	1.005 = 0 Ho
1.006 = 0 Ho	1.006 = 0 Ho
1.007 = 0.057 Ho	1.007 = 0.063 Ho
1.008 = 0.094 Ho	1.008 = 0.103 Ho
1.009 = 0.022 Ho	1.009 = 0.024 Ho
1.010 = 0.068 Ho	1.010 = 0.075 Ho
1.011 = 0 Ho	1.011 = 0 Ho
1.012 = 0 Ho	1.012 = 0 Ho
2.000 = 0.051 Ho	2.000 = 0.056 Ho
2.001 = 0.016 Ho	2.001 = 0.018 Ho
2.002 = 0.050 Ho	2.002 = 0.055 Ho
2.003 = 0.115 Ho	2.003 = 0.127 Ho
3.000 = 0.075 Ho	3.000 = 0.083 Ho
3.001 = 0.009 Ho	3.001 = 0.010 Ho
4.000 = 0.044 Ho	4.000 = 0.048 Ho
4.001 = 0.084 Ho	4.001 = 0.092 Ho
5.000 = 0.033 Ho	5.000 = 0.036 Ho
5.001 = 0.068 Ho	5.001 = 0.075 Ho
5.002 = 0 Ho	5.002 = 0 Ho
5.003 = 0 Ho	5.003 = 0 Ho
5.004 = 0.547 Ho	5.004 = 0.602 Ho
5.005 = 0.022 Ho	5.005 = 0.024 Ho
5.006 = 0.021 Ho	5.006 = 0.023 Ho
5.007 = 0.033 Ho	5.007 = 0.036 Ho
5.008 = 0 Ho	5.008 = 0 Ho
5.009 = 0.087 Ho	5.009 = 0.096 Ho
5.010 = 0 Ho	5.010 = 0 Ho
5.011 = 0.016 Ho	5.011 = 0.018 Ho
5.012 = 0.050 Ho	5.012 = 0.055 Ho
5.013 = 0.011 Ho	5.013 = 0.012 Ho
5.014 = 0.043 Ho	5.014 = 0.047 Ho
5.015 = 0.099 Ho	5.015 = 0.109 Ho
5.016 = 0.011 Ho	5.016 = 0.012 Ho
5.017 = 0.015 Ho	5.017 = 0.017 Ho
5.018 = 0.090 Ho	5.018 = 0.099 Ho
5.019 = 0.119 Ho	5.019 = 0.131 Ho
5.020 = 0.035 Ho	5.020 = 0.039 Ho
5.021 = 0 Ho	5.021 = 0 Ho
5.022 = 0.078 Ho	5.022 = 0.084 Ho
6.000 = 0.052 Ho	6.000 = 0.057 Ho
6.001 = 0.090 Ho	6.001 = 0.099 Ho
6.002 = 0.036 Ho	6.002 = 0.040 Ho
6.003 = 0.265 Ho	6.003 = 0.291 Ho
7.000 = 0.034 Ho	7.000 = 0.037 Ho

WARNING TO HOUSE-PURCHASERS
Property Misdescriptions Act 1990

Buyers are warned that this is a working drawing and is not intended to be treated as definitive material describing, in relation to any particular property or development, any of the specified matters provided by any Order made under the above Act. The contents of this drawing may be subject to change at any time and alterations and variations can occur during the progress of the works without revision of the drawing. Consequently the layout, form, content and dimensions of the finished construction may differ materially from those shown. Nor do the contents of this drawing constitute a contract, part of any contract or warranty.

RELEVANT STANDARDS

1. All applicable drainage works have been designed and are to be constructed in accordance with 'Sewers for Adoption, 9th Edition', and latest updates 'Guidance for Sewer for Adoption 9th Edition'. Where specification conflicts, UK standards shall take precedence.

2. All city pipe work shall be Extra Strength Clayware to BS 295 and BS 65 (DN pipes only).

3. All precast concrete pipework shall be to Class 100 in accordance with BS811 Part 1, BS EN 1916 and bear the BS kilnmark.

4. All adoptable drainage to be bedded in Class 5 granular surround unless otherwise stated.

5. All concrete manholes and soakaway rings, concrete cover slabs and Cans to be manufactured to BS EN 1917 and BS 5912 Part 1.

6. Rainy Water to be Black Polyethylene Pipes complying to BS EN 12241-2. Polyethylene fittings, including fusion joints, and electro-fusion fittings shall comply with BS EN 12241-2.

7. All levels relate to Ordnance Datum. Contractor to ensure that this drawing is read in conjunction with the site specific Topographical Survey provided by Barratt Manchester and the Benchmark information provided.

8. The drawing is to be read in accordance with all other relevant drawings.

9. The contractor shall be responsible for ensuring that any existing level levels indicated on the drawings are correct before work commences.

10. All proposed connections to the sewer shall be 150k unless stated otherwise.

11. All private house drainage shall be 100k and all day-out connections shall be 150k at a minimum gradient of 1:80 unless otherwise stated and laid in accordance with Part H of the Building Regulations.

12. Runoff from private surfaces shall not discharge across the highway. Gullies or channels shall be provided as appropriate to prevent this.

13. Floor coverings shall be provided at the lower tangent points of all junctions.

14. Pipes shall be protected from concentrated loading by construction traffic during the construction period when sufficient cover to the pipe may make them vulnerable to damage.

15. Initial CBR tests of the road formation level are to be carried out to determine the depth of pavement construction required. This is to be approved by the adopting authority prior to construction of the road pavements.

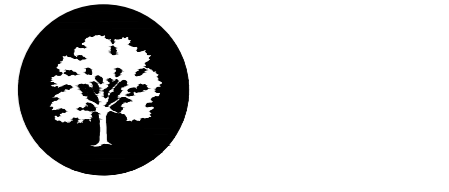
16. Contractor to ensure that gullies are within the curbside of the gully they serve where possible and respect cover height restrictions where possible.

17. Contractor to provide United Utilities with sufficient notice prior to commencement of Sewer works on their inspection telephone number: Tel 0845 602 0900.

18. Contractor to obtain all necessary Highway opening permits from the relevant Local Authority, obtain approval to work on United Utilities Sewerage System, obtain approval to method statement from the Environment Agency for any works affecting a watercourse.

19. All manholes adopted by MHC to have a minimum 150mm S4 concrete surround to full depth.

REV	DESCRIPTION	DATE	DRAWN
C	URBAN CREEP ADDED TO DRAINAGE AREAS	04.12.19	CD
B	REVISED IN LINE WITH ENGINEERING LAYOUT REV C	18.07.16	CD
A	FULL DRAINAGE DESIGN DUE TO FLOW RATE CHANGES & POND REMOVED	24.03.16	CD



BARRATT HOMES
MANCHESTER

Barratt Homes Manchester
(A division of BSW Trading Ltd)
4 Brindley Road
City Park
Manchester
M16 9HQ
Tel: 0161 872 0161
Fax: 0161 855 2828

Job	Chipping Lane Longridge		
Title	Surface Water Drainage Area Plan		
Design By	Date	Drawing Number	Rev
CD	Feb 2016	459/ED/04	C
CAD By	Scale		
CD	1:500 @ A0		