

# LANTERN COTTAGE

## HERITAGE STATEMENT



**Site Location:**  
Lantern Cottage  
27 Pendleton Road  
Wiswell  
Clitheroe  
BB7 9DD

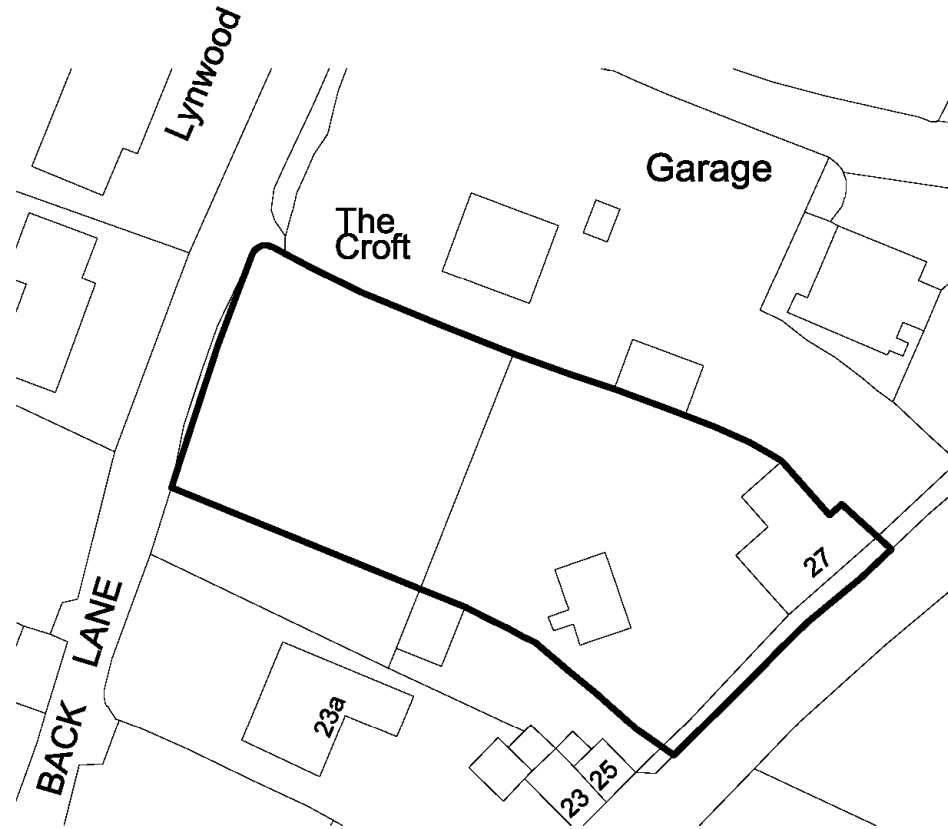
**Prepared for:**  
Householder Planning Application

**Date Prepared:**  
September 2023

**Applicants:**  
Paula Davies  
C/O Agent

**Agent:**  
Zara Moon Architects  
Unit 37 Mitton Road Business Park  
Mitton Road  
Whalley  
Clitheroe  
BB7 9YE

[Redacted]



Site ownership



Site location in context

**Development:**  
The proposal includes the demolition of an existing porch and detached garage; and the construction of a single-storey rear extension to incorporate an open plan kitchen dining living space; ground floor bedroom with ensuite; and attached double garage.

This heritage statement has been prepared to support the Householder planning application on behalf of the applicant, Paula Davis, for the property Lantern Cottage.

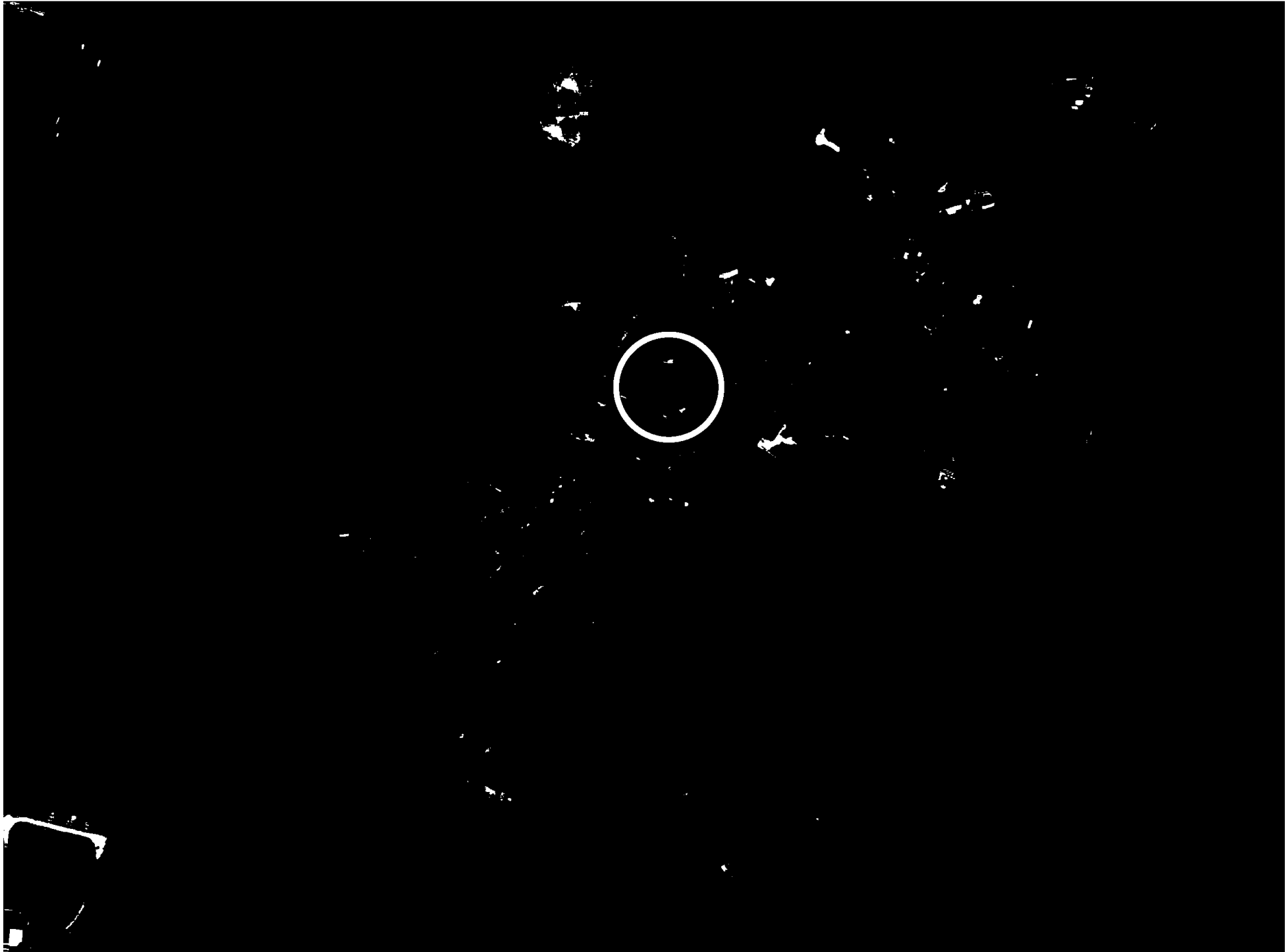
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The applicant wishes to improve the functionality of the dwelling, whilst creating a future-proof home, suited to contemporary living.

In order to achieve this, the ground floor layout will be reconfigured, incorporating a single-storey extension. The proposal demolishes the existing side entrance porch, and the detached garage. A proposed single-storey, extension creates an open plan kitchen dining living space, aligned to the rear garden; a ground floor bedroom with ensuite; and an attached double garage.

The proposal improves the existing property to create a high quality home which retains the character of the existing building, which the large plot can suitably accommodate.

One of our key aims as an architecture practice is to set a precedent for designing properties in rural areas. All of our schemes are design, and context-led and we believe that we can set a benchmark for the architectural quality requirements of rural schemes.



Lantern Cottage is located within the settlement boundary of Wiswell, and within the Wiswell Conservation Area. The property is not Listed, but is highlighted as a Building of Townscape Merit.

The property is a 2-storey, 4-bedroom dwelling which sits within a large garden plot of 0.52 acres stretching from Pendleton Road to Back Lane.

The dwelling is accessed from Pendleton Road and includes a gated driveway with space to turn and park, with a detached outbuilding containing a double garage and home office.

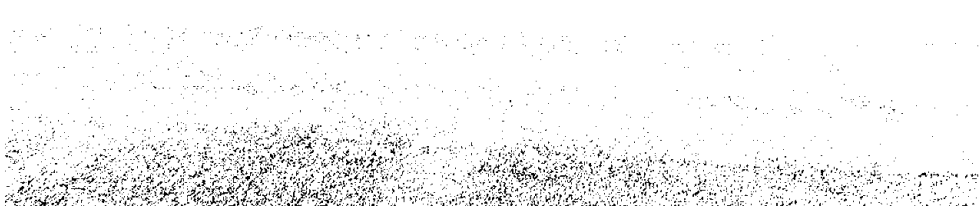
The dwelling has a traditional, picturesque front elevation which fronts Pendleton Road. The rear elevation is not visible from Back Lane due to the significant garden depth, existing landscaping and change in level. The North-East side elevation is heavily obscured due to the existing landscaping; and the South-West side elevation is partly visible when travelling North-East along Pendleton Road.

The property and gardens have been maintained to a high standard, however there are elements of the dwelling which no longer work for the applicant and her family. The property has the following issues which have been resolved with the design proposal:

- The house has a poor connection both visually and physically to the rear garden.
- There is no open plan kitchen dining living space.
- The rear of the property is orientated towards the

Northern boundary, rather than the depth of the garden.

- There is no utility / dirty entrance.
- The kitchen has no visibility or access to the garden, and is a significant distance away.
- The laundry is located on the rear elevation which should instead be allocated to primary living accommodation.
- The side entrance is used as the ‘everyday’ entrance, but the space is small and restricted.
- There is no direct connection between the garage and the house.
- The office is not utilised due to having no connection to the house.
- There are no accessible bedrooms for guests, elderly relatives with limited mobility, or to future-proof their home.



View of existing front elevation



View of existing rear elevation



Aerial view of site in context

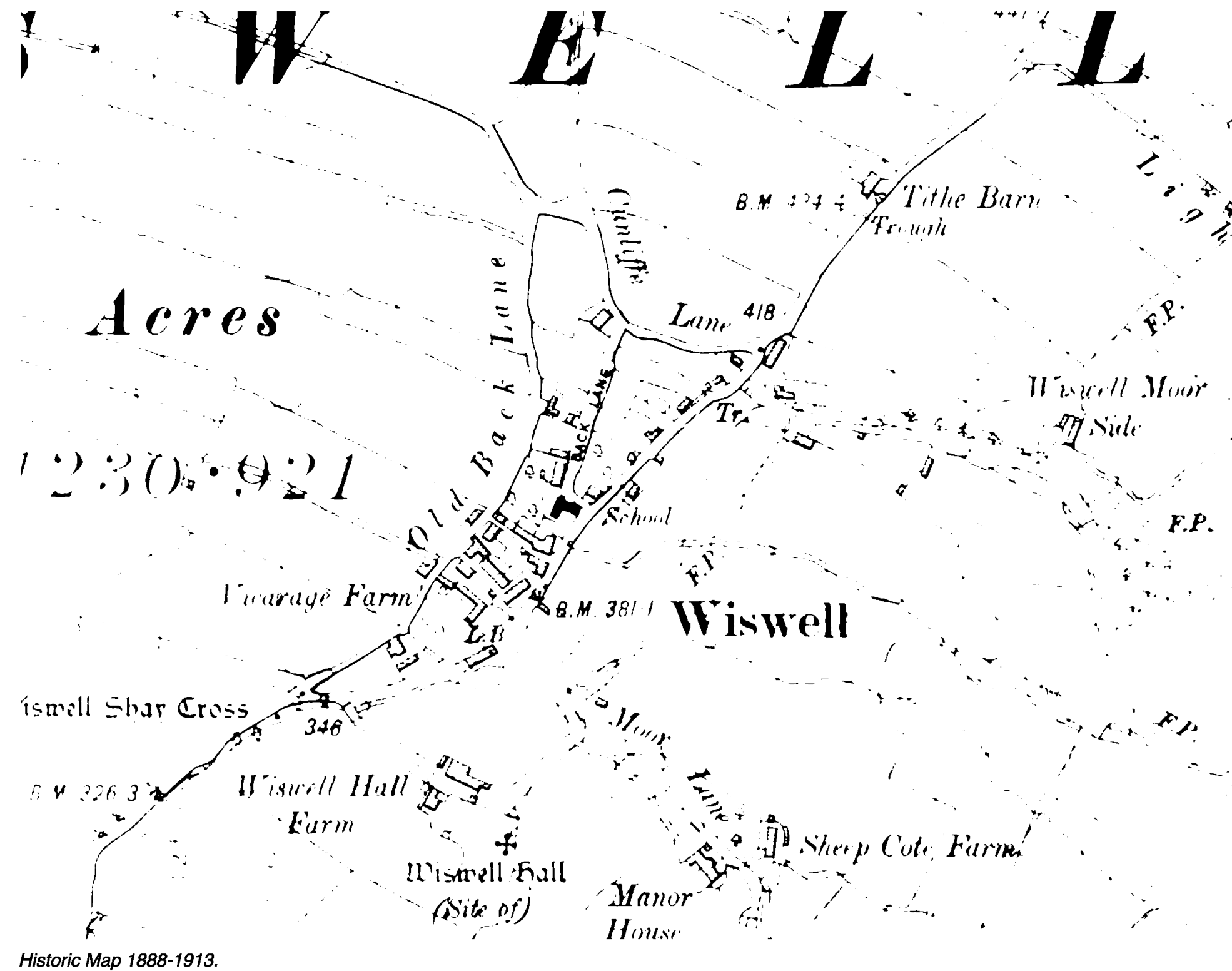


View from Pendleton Road travelling South-West

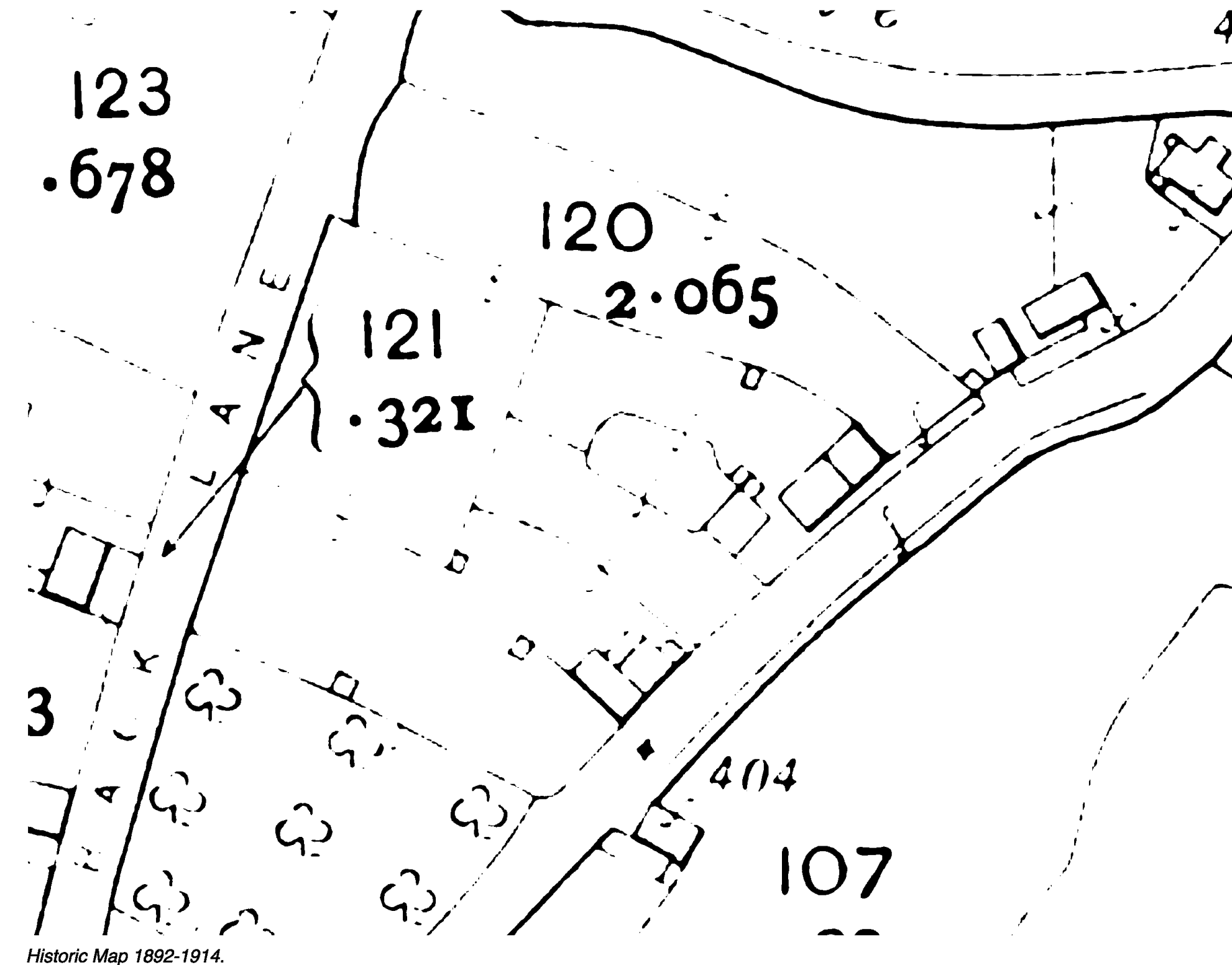


View from Pendleton Road travelling North-East

- The site and existing building is visible on the 1888-1913 historic map.
- The footprint of the building appears rectangular and sits immediately adjacent to the main road.
- Both Pendleton Road, Back Lane and Cunliffe Lane are visible, forming the triangular section of the village, in which the plot sits.
- The plot boundary is consistent with how it appears to-date, with the site stretching between Pendleton Road and Back Lane.
- The density of development is higher to the South-West of the site, with the triangular zone being more open with larger detached buildings set within large plots.



- The 1892-1914 historic map shows more detail, including the building divided into 2 sections. This could have either been 2 smaller cottages, or based on the large plot and adjacent agricultural land, this arrangement would suggest a farmhouse with attached barn arrangement.
- The siting and orientation of the building is also consistent with the current property, angled towards the Northern boundary rather than the depth of the plot.



This historic photo shows the original house in the 1900s, with No.23 and 25 in the foreground, and No.29 and 31 in the background.

The front elevation contains a number of window openings with stone window surrounds, in what appears to be the same arrangement as it appears today.

The house is faced in natural stonework, with chimneys to both gables, and a roof overhang with traditional fascia detail - all of which are still evident today.

The front stone boundary wall is also still evident which creates a raised front entrance from the main road, and the land between the house and No.25 is contained and screened by a higher stone wall and natural planting - this area now contains the vehicle entrance with driveway and garage.

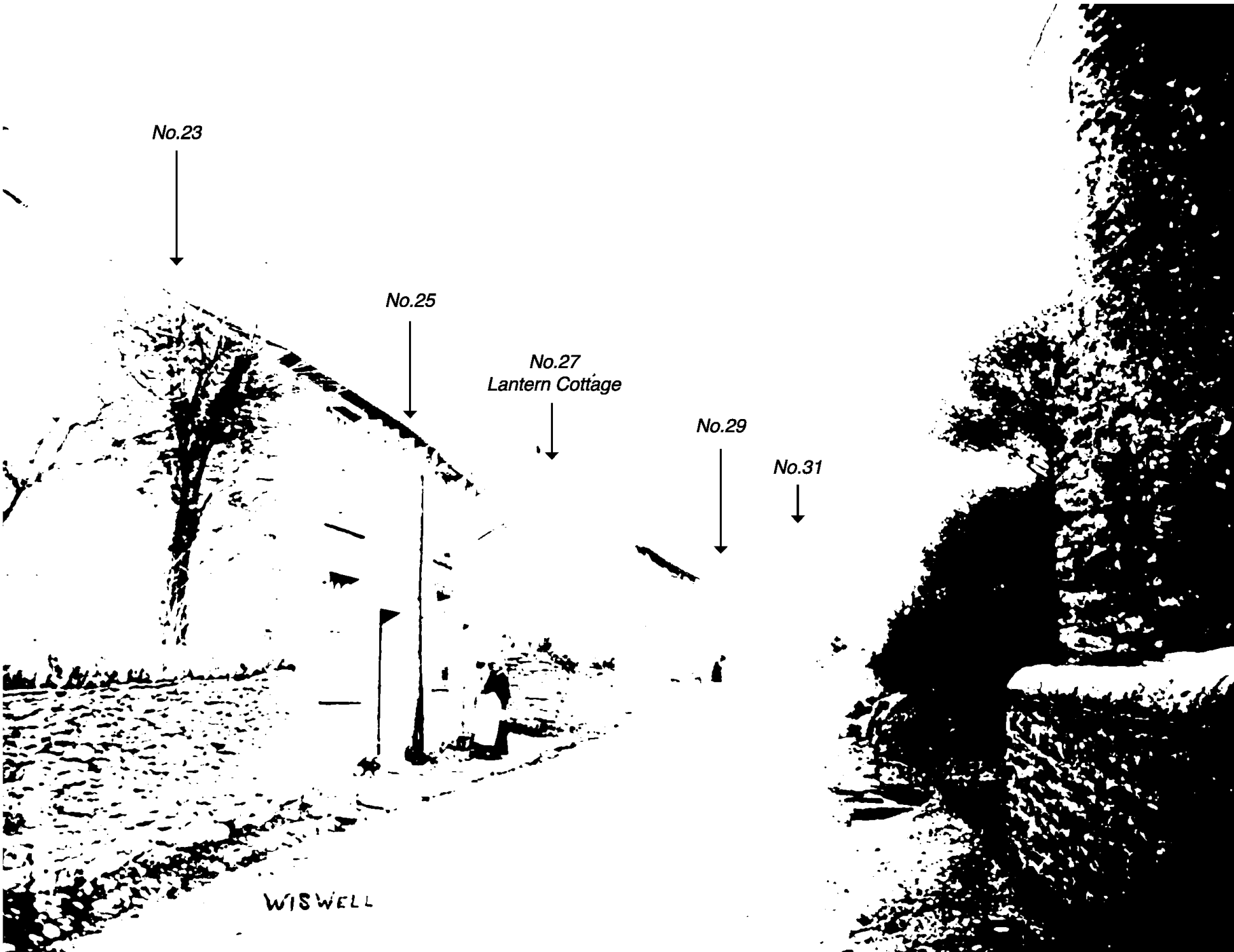


Photo from 1900s

In comparison to the historic photo, the blank gable of the original property now incorporates a number of window openings to the South-West elevation. The chimney now projects, and later additions are now visible which include an entrance porch and 2-storey rear elevations.

However, despite a small number of changes, the front elevation, boundary treatments, chimneys and materiality all remain consistent with the original property, and the overall character has been retained.



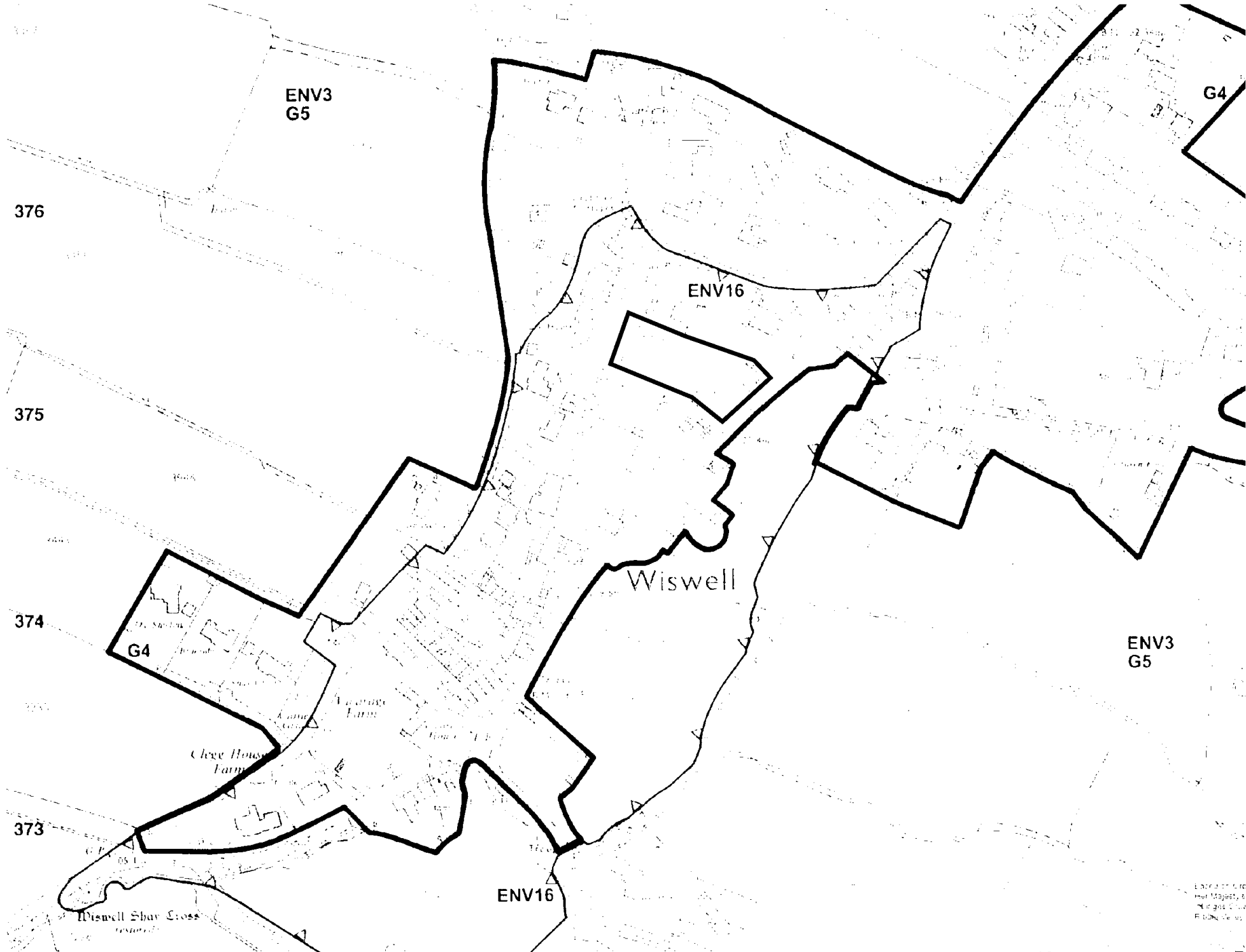
Photo from 2023



The Wiswell Conservation Appraisal reads:

*Underlying Wiswell's complex network of alleys and lanes is a simple linear village, with properties fronting onto the western side of the Pendleton Road. Large square-shaped plots run back to Old Back Lane. Their shape suggests that they might once have been farmsteads grouped around a courtyard, or even animal enclosures, as the name 'fold' suggests. Three of these large plots can be discerned, bisected by Vicarage Fold and Chapel Fold but only the Vicarage Farm and Vicarage House plot retains its agricultural form, the other two having been built over with rows of simple two-storey stone buildings in the 19th century. From these three core plots, the village extended south westwards and north eastwards in the 19th century, with some larger detached houses at the extremities of the conservation area.*

*There has been a considerable amount of infill and expansion in the last fifty years, with around half of all the houses in the conservation area and more than half of the plots consisting of recently converted barns or newly constructed houses. Nevertheless, the historic appearance of the centre of the conservation area has been successfully maintained through careful positioning of these houses and screening by hedges and trees.*



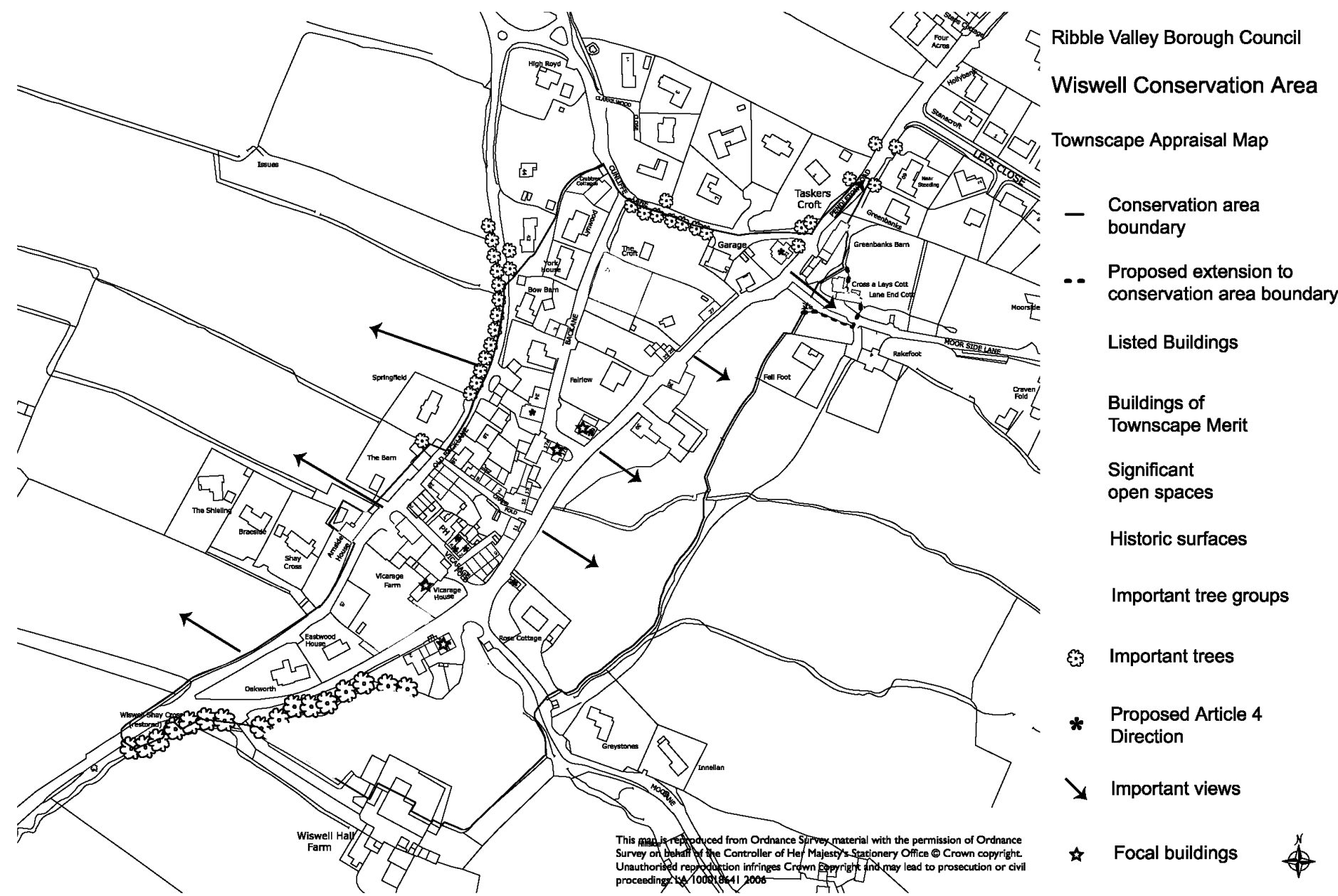
RVBC Local Plan Map. Black outline indicates settlement boundary. Red outline indicates Conservation Area. Green outline indicates the application boundary.

The Wiswell Conservation Area was designated on 11 September 1972. The special interest that justifies the designation of the Wiswell Conservation Area derives from the following features:

- Its rural setting with green fields and woodland that come right into the heart of the village;
- Its many brooks and bankside woods;
- The sunken lanes that thread the village, passing between stone walls, or banks and field hedges;
- The numerous 19th-century farm buildings as evidence of the agrarian history of the village;
- The historic interest of the village plan, with its 'folds' or rectangular enclosures lined with rows of cottages;
- Its buildings (listed and unlisted) of character and architectural interest;
- The homogeneity of the built environment, deriving from the use of locally quarried sandstone for the majority of the houses and their boundary walls;
- Its tranquillity and biodiversity.

Wiswell is focussed in upon itself, with houses hidden behind high walls and hedges that help to heighten the sense of enclosure created by the sunken nature of Wiswell's lanes.

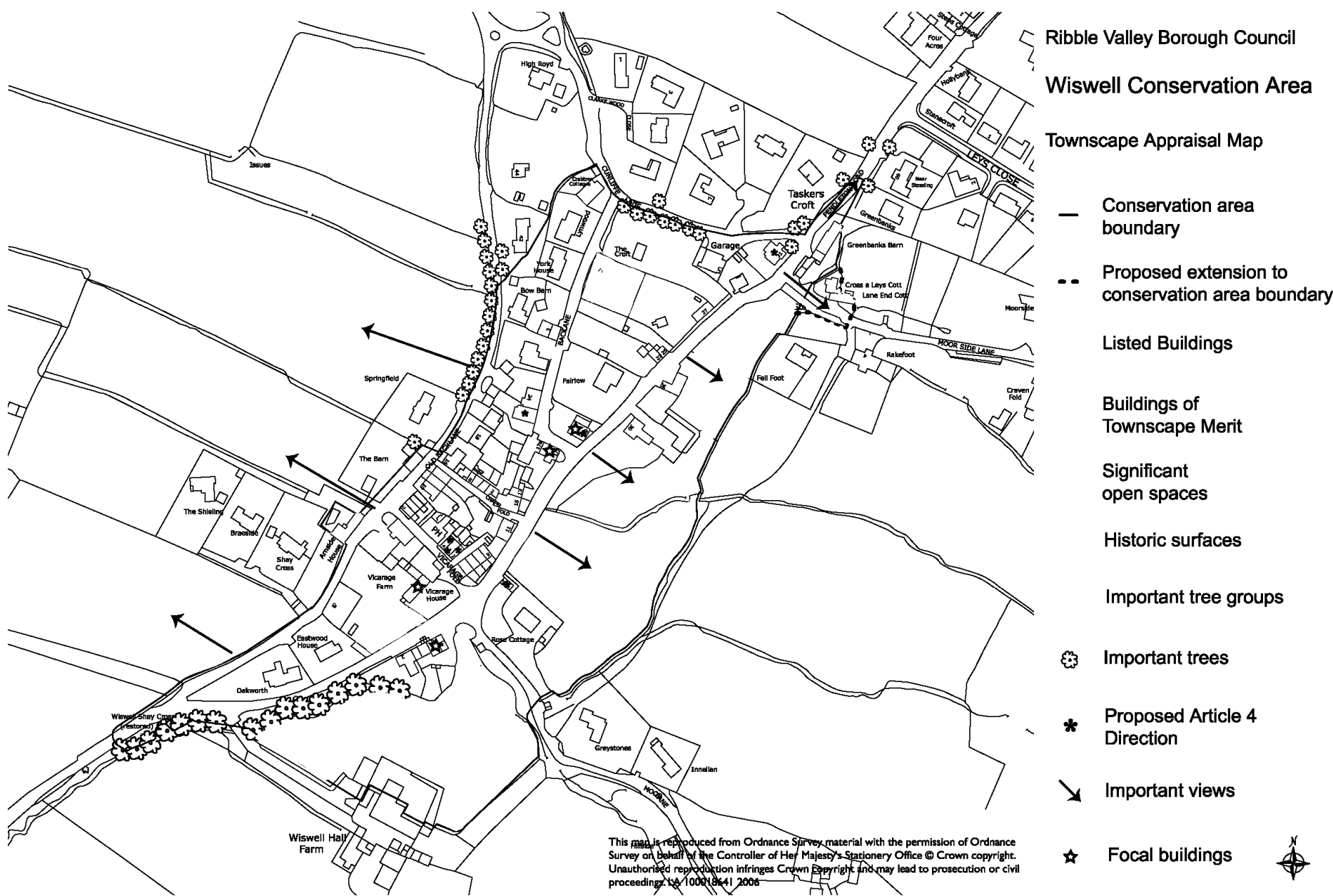
The Townscape Appraisal Map for the Wiswell Conservation Area identifies a number of important views, all of which will not be impacted by the proposal.



The Townscape Appraisal Map for the Wiswell Conservation Area identifies a number of unlisted buildings that have been judged as making a positive contribution to the character and appearance of the conservation area, known as Buildings of Townscape Merit.

Most of these buildings are 19th century cottages and houses, but they make an important contribution to the architectural character of the conservation area by virtue of their scale, style and materials. Lantern Cottage is highlighted with the following explanation:

- No 27 Pendleton Road: 19th-century rubble barn under slate converted to a dwelling.



The area of garden which abuts Back Lane has been highlighted as having 'Important tree groups'. This area of the garden will be unimpacted by the proposal, however a tree survey accompanies the submission which has assessed the condition of all trees within the application boundary.

The 1971 Tree Protection Order includes G16, T43 and T44 which are either located within the site or within close proximity to the site.

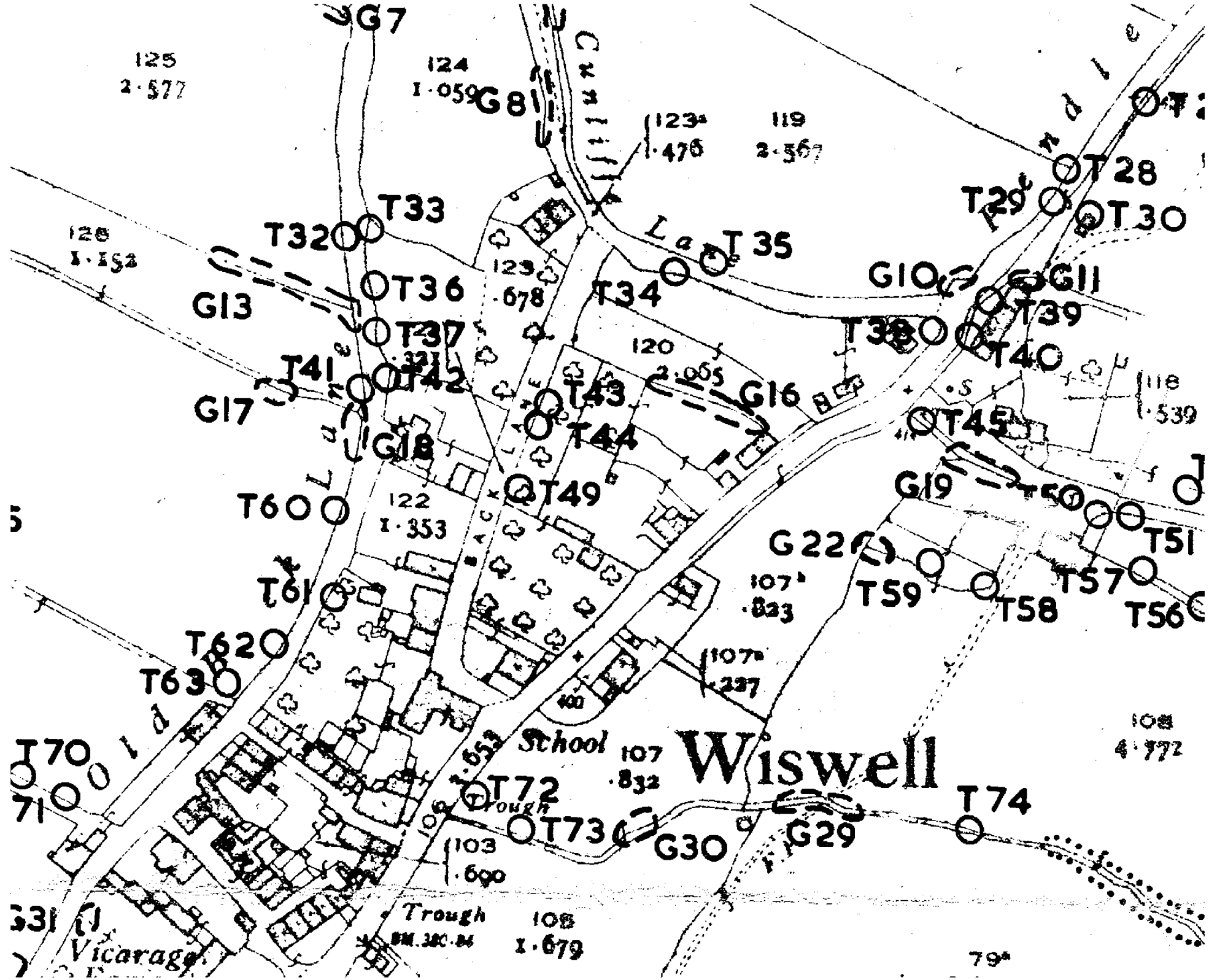
G16 is listed as 4no. elm trees, however there are no elm trees present within this area of the site anymore. It would therefore seem that none of the existing trees within G16 are covered by the TPO.

T43 and T44 were ash trees and are also no longer present.

Despite the absence of any trees subject to a TPO, it is understood that as the site lies within the Conservation Area, all existing trees are subject to Conservation Area protection.

4 trees along the Northern boundary requires removal, of which, the condition of these trees has been assessed as Category C - low quality, and T8 has a patch of decaying tissue on North side of the base exhibiting signs of brown rot infection.

Please refer to the accompanying tree survey and arboricultural impact assessment for further details.



The property has experienced a number of alterations which include the detached garage and office out-building; the rear 2-storey extensions; a porch extension; and a number of new openings to the South-West elevation.

The character and appearance of the front elevation has been retained, however the South-West elevation has not retained the original blank elevation of the original building.

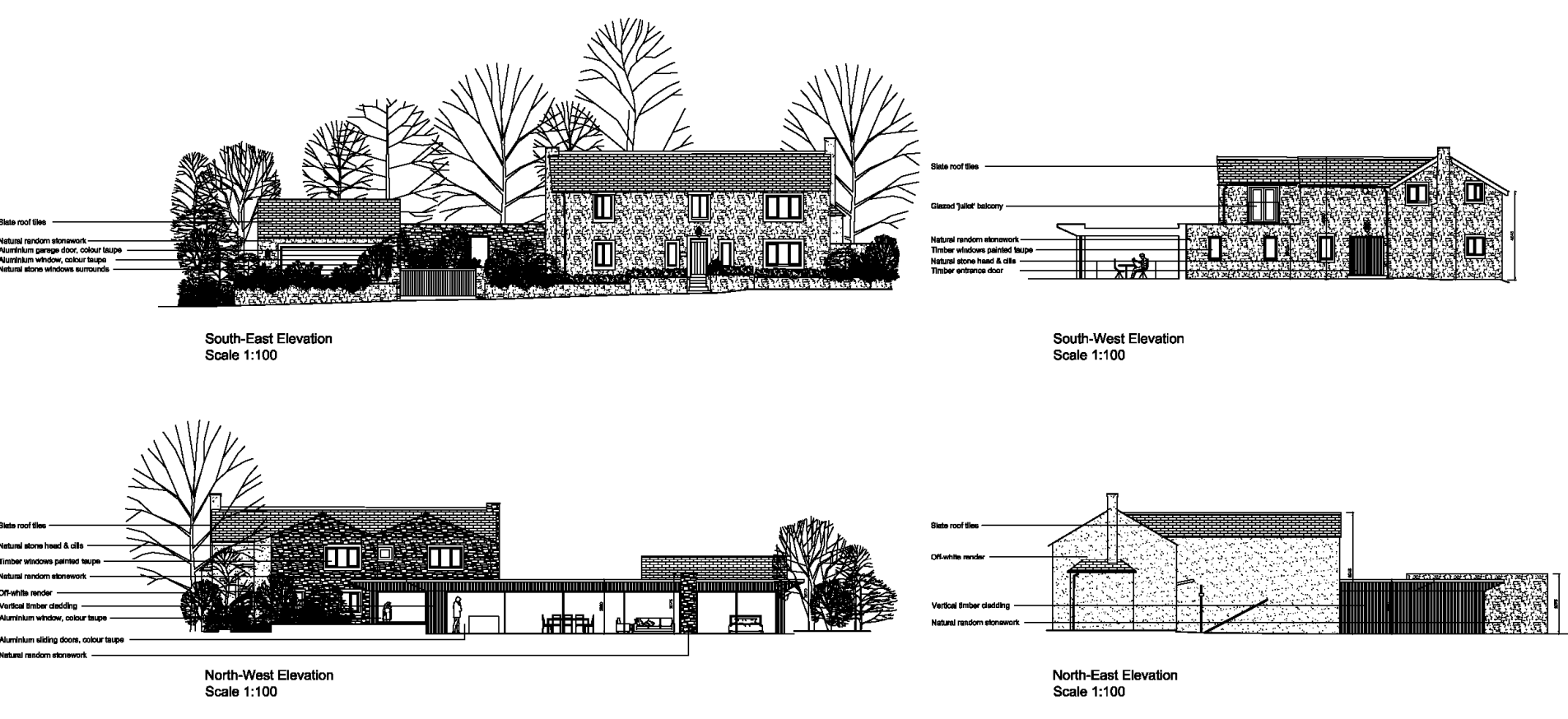
The original rear elevation is no longer legible however as this elevation is hidden from any public viewpoints, and there is no impact to the front elevation - the overall character has not been impacted by the later additions.

The garage is also a later addition however the same materiality and architectural vernacular has been reflected in the design.



The scheme has been designed to respond to the character of the existing dwelling, context and heritage of the property, creating a high-quality architectural response to the site which incorporates traditional rural materials paired with contemporary design.

The elevation which fronts onto the driveway has been designed with a random stonework elevation to match the existing house, and a parapet roof detail. Therefore, from Pendleton Road, the extension has been designed to read as a garden wall, having the same appearance as the existing stone wall it replaces. The character of the front elevation will therefore remain unimpacted by the extension, and will have the same appearance as the existing property.



Contemporary glazing is focused to the rear elevation which is not visible from public roads or distance viewpoints. The rear extension also incorporates natural timber cladding, which complements the natural random stonework and landscaping across the site.



At present the property sits within a large plot, but the orientation of the existing dwelling is compromised, with the rear elevation facing the Northern boundary rather than the rear garden.

The ideal location for the extension is to the rear to effectively extend the rear elevation to re-direct the outlook to face the rear garden.

The rear elevation is screened from any public vantage points, therefore by locating the extension to the rear would not impact the character of the front elevation.

The rear elevation has already undergone a number of visual changes. There is an opportunity to re-design this elevation to incorporate a contemporary design, focussing highly glazed elements to the rear, with no impact to the front elevation.

It is important that the view from Pendleton Road is traditional, and reflects the character of the original dwelling.

The porch is a later addition to the characteristically blank gable elevation, the porch has no architectural merit and will therefore be removed.

The later addition of the garage continued the existing character and materiality of the dwelling, but the angle was at odds with the host dwelling.

By re-building the garage at the same angle of the house, will allow the rear extension to connect to the

garage whilst relocating the garage closer to the existing dwelling and reducing the spread of built form.

The re-built garage will retain the architectural language of the house, including a pitched slate roof and natural stonework.

The scheme has been designed to respond to the character of the existing dwelling, context and heritage of the property, creating a high-quality architectural response to the site which incorporates traditional rural materials paired with contemporary design.

