

copy

**S. J. BIALECKI**



'Rosedale'  
Back Lane  
Grindleton  
Clitheroe  
Lancashire  
BB7 4RZ



320230805P

19<sup>th</sup> September 2023

Ribble Valley Borough Council, Planning Department

**For the attention of Emily Pick-up**

**REF: The Royds, Crow Trees Brow, Chatburn**  
**(Application No 3/2023/0474)**

With reference to your email dated Monday 11<sup>th</sup> September 2023 requesting further information, please refer to the following addendum statement.

**STATEMENT**

The applicant and family purchased and moved into the property in 2001, principally because of equine facilities, including stables and exercise turf/ash surface area.

Refer to attached numerically marked location plan and photograph survey.

- **Ref 1** Former ancillary buildings with garage in support to the house, converted into extended residential accommodation under planning permission. Approximately 10 years ago. See photograph P.1.
- **Ref 2** Former washhouse in support to the house, now used as an ancillary store to the pigeon cote. See photograph P.2.
- **Ref 3** Former delapidated greenhouse and shed replaced with a pigeon cote 2011. See photograph P.3.
- **Ref 4** Location of former delapidated stables, replaced 2008. See photograph P.4.
- **Ref 5** Former croft enclosure used as an exercise area. Turf/Ash surface replaced with sand forming an improved "Menage". See photograph P.5.
- **Ref 6** Additional timber stables erected progressively over a period of 2 years commencing 2008. See photograph P.6.

### **Proposed Building Scale**

The building footprint is designed to allow static storage of the items stated in the application statement inclusive of garaging of a mobile horsebox, and including the maintenance and repairs thereof.

A work bench with storage cupboards will be located at the rear of the building with access ladder to the open mezzanine floor.


All plant items shall be located centrally and to the front of the building allowing access maneuverability round each item providing a safe making environment.

A reduced footprint would create tandem storage, "Tight Pinched", and compromise easy access for the intended use, not acceptable.

A clear space at the entrance shall be maintained to allow access and removal of hay bales to the mezzanine floor.

In support we would state the estate in particular the application site is remote and completed out of view, including neighbouring "Ashcroft". The A59 approximately 300 mtrs South runs through a deep channeled ravine out of view.

The building is sensitively located within the confines of site neither compromising neighbour amenities on visible impact on the landscape.

Yours sincerely  


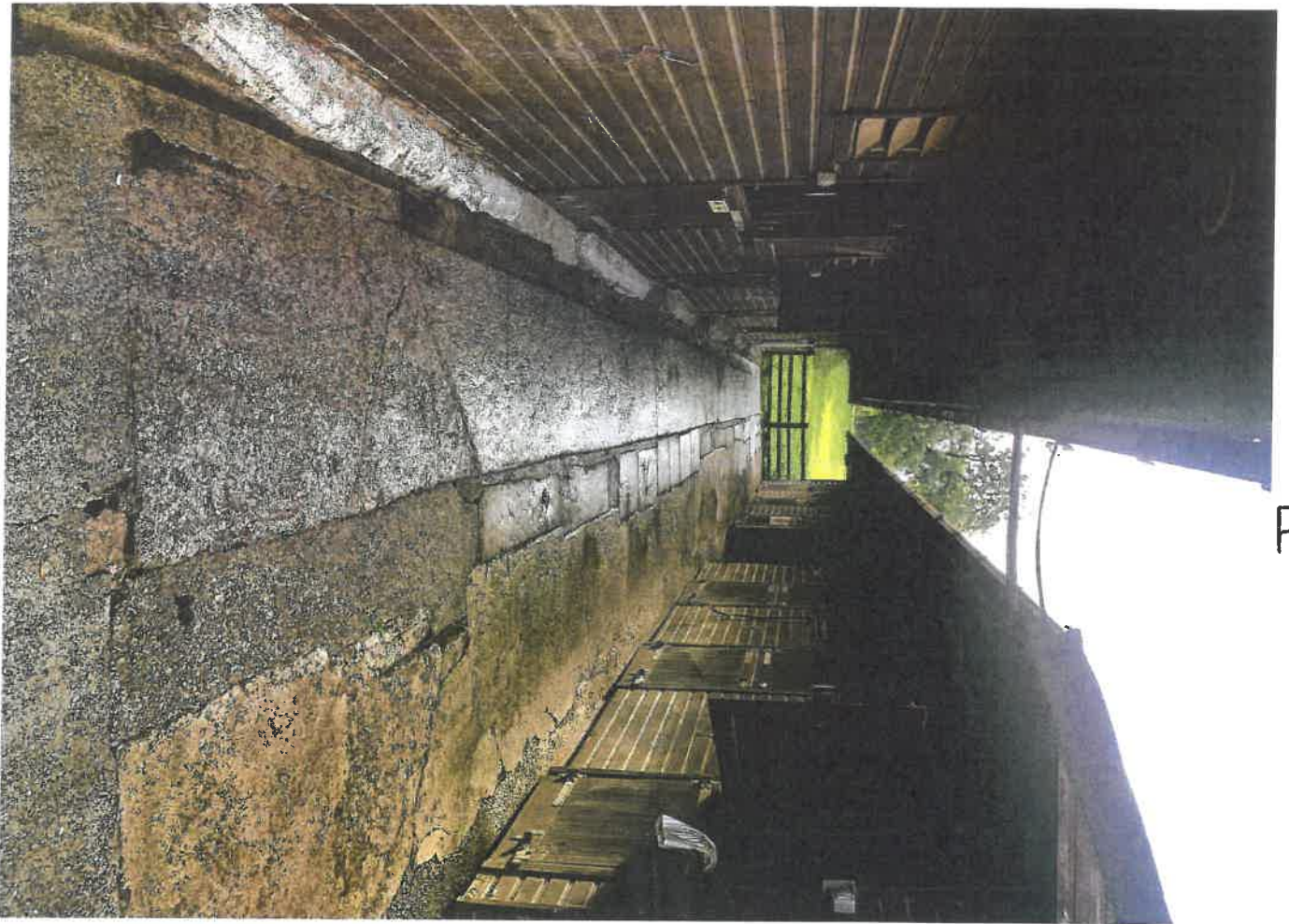
c.c. J Devaney



P2



P1



P.4



P3



P.6



P.5