

**From:**

**Sent:**

**To:**

**Subject:**

**Attachments:**

21 February 2024 13:57

Planning

Application 3/2023/0866 - Land adjacent to 9 Old Road Chatburn BB7 4AB

Application 3/2023/0325 Land adjacent to 9 Old Road Chatburn (ORIG#2)



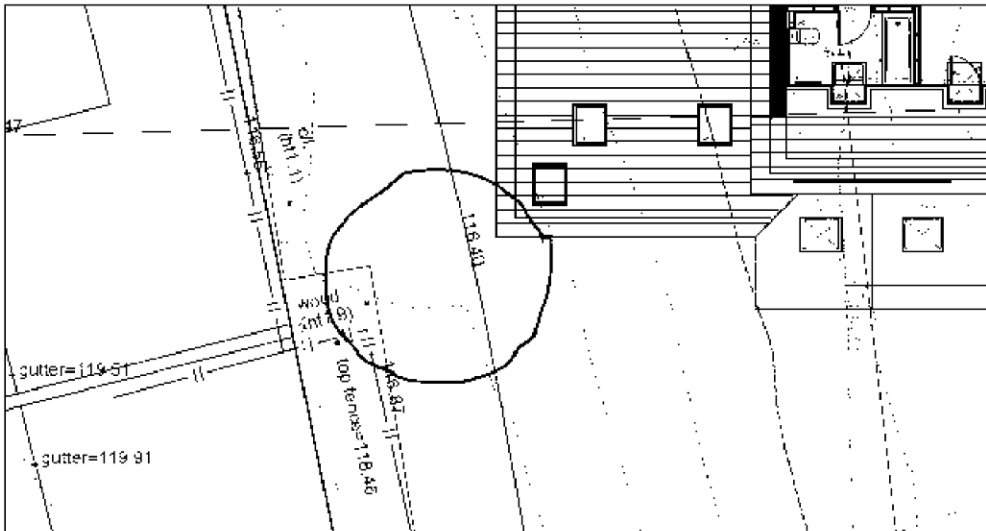
This email originated from outside Ribble Valley Borough Council. Do **NOT** click links or open attachments unless you recognize the sender and are sure the content within this email is safe.

FAO Stephen Kilmartin by e mail [planning@ribblevalley.gov.uk](mailto:planning@ribblevalley.gov.uk)

Dear Stephen,

Please find below comments and representations on Application 3/2023/0866 - Land adjacent to 9 Old Road Chatburn BB7 4AB.

Drawing 23 0866 Segregated Topo and Sections Rev J 7feb24



*Extract from submitted drawing. Critical proximity point is as above red circle location.*

Section ref. 'x-sec 11' shows a proposed 1.8m retaining wall immediately in front of the land (existing fence line) boundaries of No.1 & 2 Hare Hill Croft (HHC).

The existing ground level at the NE corner fence line of No.2 HHC is 116.87 from the topographical details provided and the FFL of the proposed dwelling is 113.85. The level difference between these two points is therefore 3.02m. The plan distance from the NE fence line corner of No.2 HHC to the SW corner of the proposed dwelling is c. 3m. The actual depth of excavation required for both foundations and retaining wall will inevitably be below FFL ie greater than 3.02m. A 1.8m retaining wall is insufficient and the location of the current cross section and way it is drawn oversimplifies the issue.

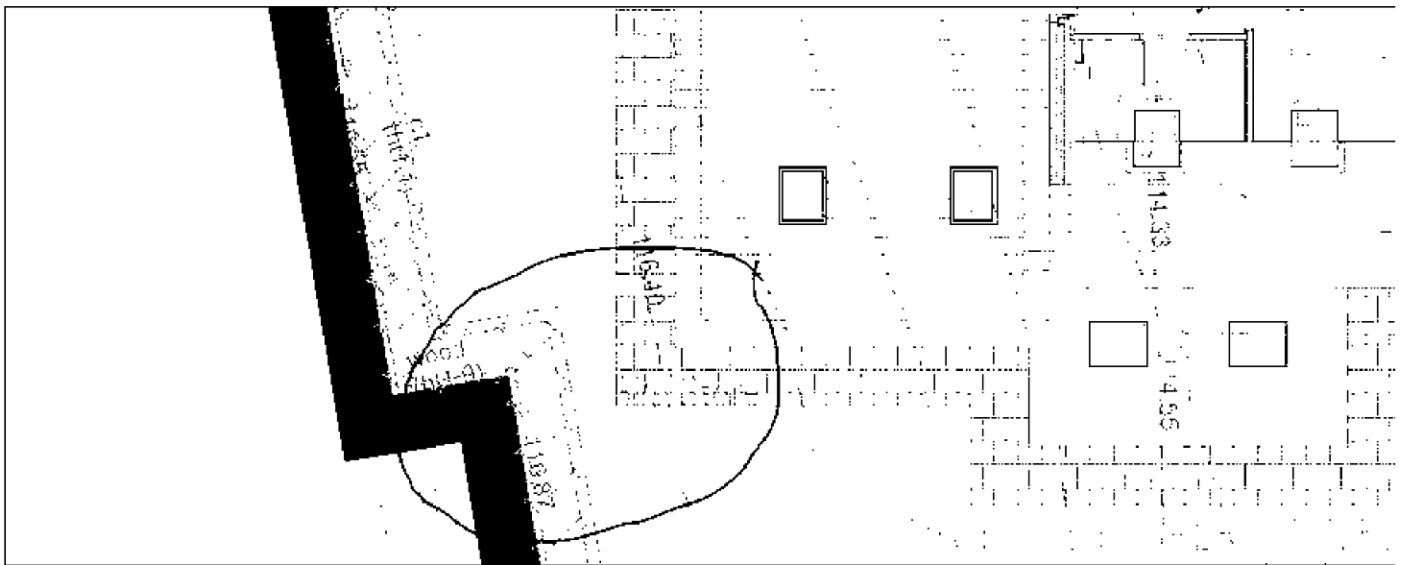
From earlier comments I have queried the engineering qualities and specification for the original placement of the existing bulk fill that was imported during the HHC construction. These details need to be known in order to design and assess any retaining wall options.

In addition, the location of the proposed retaining wall is close to the existing boundaries of No's 1 & 2 HHC which inevitably means an easement into the gardens of No's 1&2 HHC would be required to facilitate construction of the

proposed retaining wall. The authority should seek full details of the proposed structure and its method of construction to be satisfied that the proposals will not adversely affect the HHC properties.

Drawing 23\_0866 Landscape Strategy RevC 7feb24

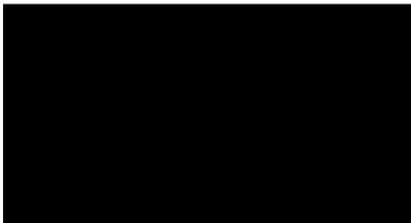
Extract from this drawing (below) shows the proposed landscape details. Planting is shown at high level as well as a low-level path around the property at ground floor level. A 1.8m high timber fence detail is provided (Drawing 23\_0866\_Boundary\_Fence\_Wall\_Details\_7feb24) which imposes significant wind loading on the retaining wall structure. All of these points suggest the details as submitted will not be buildable without encroaching into the HHC properties gardens.



Construction Details

I note there are no details with regard to a construction management plan or construction method statement in the current application documents. I commented in detail on the original construction related proposals under earlier Planning Application 3/2023/0325. These comments would equally apply to the current application in the absence of any further information, please refer to the attached email.

Kind regards



**From:** Contact Centre (CRM) <contact@ribblevalley.gov.uk>  
**Sent:** 22 February 2024 10:32  
**To:** Planning  
**Subject:** Planning Application Comments - 3/2023/0866 FS-Case-589038943

**Planning Application Reference No.:** 3/2023/0866

**Address of Development:** Land adjacent to 9 Old Road Chatburn BB7 4AB

**Comments:** Sir.

There are so many things wrong with this application, that I'm at a loss to understand why it has not already been thrown out.

1. Many of the plans and drawings for the application are incorrect, don't make sense or conflict with one another. Some plans actually show drawings from a previous application, with a different floor plan and a different garage and drive layout.
2. 23 0866 Plans and Elevations drawing makes no sense. It shows the house to be on level ground with the garage at the same level as the house, whereas the slope on Old Road make a construction like this impossible.
3. In the original comments from Highways, the officer states that for a house of this size, three off street parking spaces must be included, however one of these spaces is deemed to be a turning area. Which is it, a turning area or a parking space? If its a parking area, then any other vehicles would have to back out onto Old Road. Also I it seem unlikely that visibility splays of 2m x 43m can be achieved. Traffic on this road is now significant and many private and delivery vehicles traverse Old Road, all day and well into the night.
4. There is no detail for how a retaining structure is to be created to hold back the gardens of 1-2 and 3 Hare Hill Croft. A hand drawn, [REDACTED] drawing of the facia of this structure is included but no detail of the structure or its construction method is provided. The earth that would need to be excavated, is the very same soil that the applican [REDACTED] later testifying to the Planning Inspectorate that this was required to "shore up" the foundations and gardens of 1-2 and 3 HHC (Hare Hill Croft). How can this now be safely removed without providing an adequate retaining structure? Surly the removal of this soil will invalidate the findings of the Planning Inspector and render her finding null and void.
5. Previous planning permission for a much larger house on the same site was granted with very stringent rules of access to the site, stating that no construction or delivery vehicles, could exit the site from Old Road and that no unloading or standing on Old Road should be allowed at any time. Therefore access to or from the site must be made from the rear of the plot, for which there is no current access, except for a partial track [REDACTED] by the applicant, without Planning permission. In addition there is a significant difference in levels between the proposed site and the land to the rear that would require significant excavation of existing material, which is allegedly supporting the garden of 3 HHC.

This application is without merit and it seems that [REDACTED] plans for the site [REDACTED] lack of details on how the construction is to be achieved. I hope the council will [REDACTED]