

## Design & Access Statement

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Construction of a steel framed building for covered manure store and storage of machinery and bulk feeds. A new access track off Twitter Lane

Land off Belle Vue Lane  
Waddington  
Clitheroe

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On behalf of  
Graham Whitwell

  
Rural Futures  


 **futures**

This statement has been structured with reference to CABE best practice guidance; Design & Access Statements – how to write read and use them. CABE 2006. The document also includes an assessment of the development proposal in relation to national, regional and local planning policies.

## **1.0 Background**

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## **SECTION 1            BACKGROUND**

- 1.1** This statement supports a planning application for the construction of a steel frame covered manure store and generalpurpose store for machinery and bulk loads of straight feeds off Belle View Lane and a new access track off Twitter Lane, Waddington on behalf of Graham Whitwell. This document should be read in conjunction with the attached planning application forms, plans and supporting documents.
- 1.2** Graham and ██████ Whitwell operate a farming business from Carter Fold Farm, Waddington extending to 70ha (173 acres) of owned and tenanted land. The unit supports a flock of 500 breeding ewes producing up to 650 finished lambs for a Tesco contract and a further 200 Texel cross gimmers for home flock replacements with surplus numbers sold as breeding females. A small herd of pedigree shorthorn cattle has recently been established with plans to increase numbers to 20 breeding females
- 1.3** In 2020 planning permission was granted for a general purpose building and uncovered sheep handling pens at the site off Belle View Lane, west of Waddington Village. A further building was added in 2022 to cover the sheep pens.
- 1.4** The current application is for a building which will provide covered manure storage for straw based Farm Yard Manure (FYM) and a new access and track off Twitter Lane. The site lies within the Catchment Sensitive Farming Priority area which provides capital funding to cover manure stores to avoid diffuse pollution and ensure valuable nutrients are not leached from open field stores.
- 1.5** Purchasing bulk feeds is a critical requirement for a viable livestock operation in order to minimise costs. Bulk feeds are delivered to site in large vehicles which require good access and adequate headroom within the building.
- 1.6** Access to the site is currently along Belle View Lane where cars are parked and often restrict access for larger vehicles. Access with increasingly large agricultural vehicles and machinery and bulk feed lorries is untenable and presents a significant public safety risk.
- 1.7** Working pro-actively with the Catchment Sensitive Farming officer the application will be subject to grant funding under a Mid Tier stewardship application for the covered midden and access track. The manure store will improve water quality in the Ribble catchment and remove the risk of diffuse pollution. The agricultural track will protect soils and allow safe access to the site.

**1.8** This application includes:

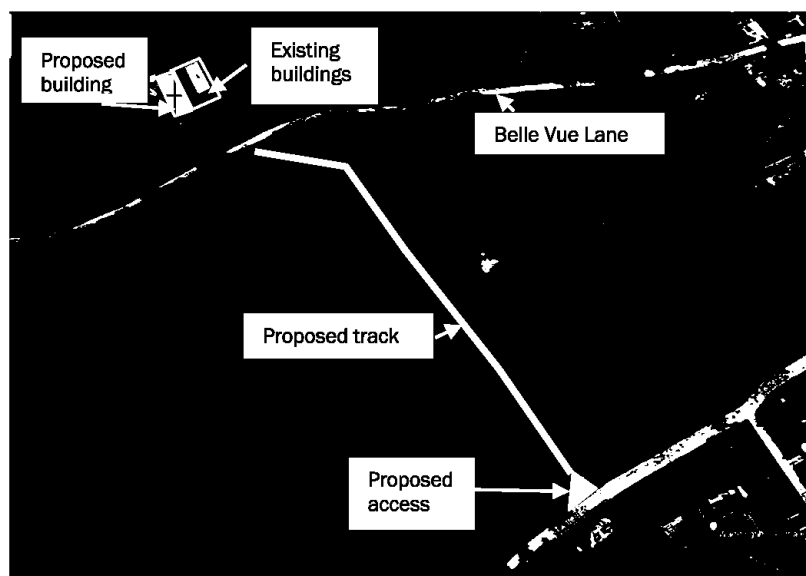
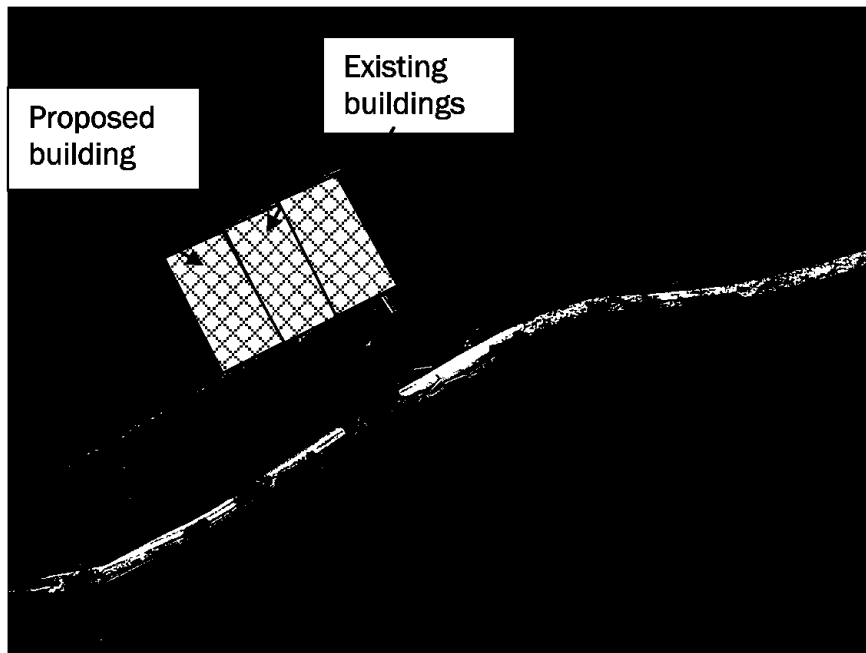
- The construction of a 27.45m x 12.20m steel frame building
- The creation of a new access and access track from Twitter Lane to the site
- Landscaping with native species trees.

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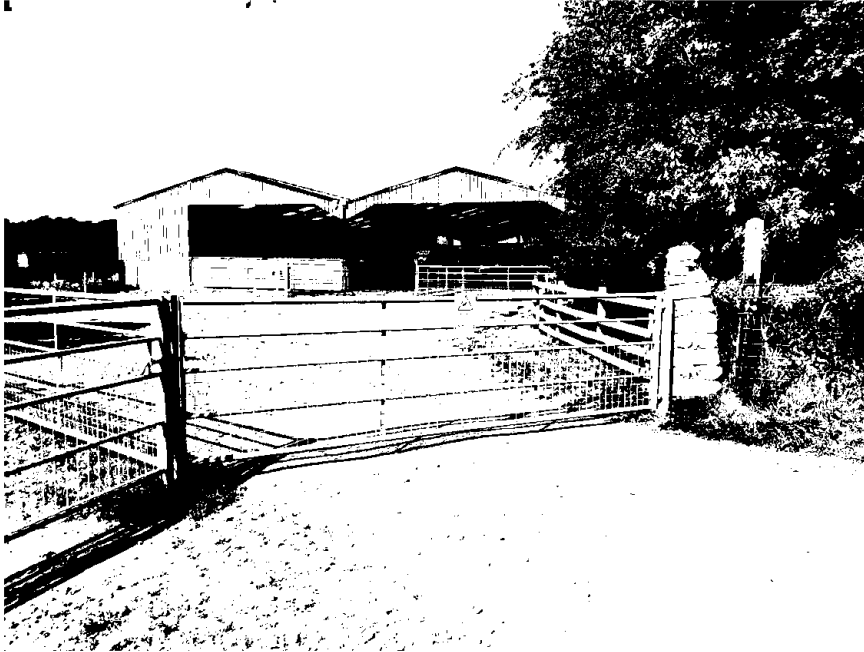
## SECTION 2      CONTEXT OF SITE

### Assessment

- 2.1 The site is located west of Waddington village (Grid Reference SD 7252 4375). The proposed building will be located to the west and adjoining the existing general purpose agricultural building.



- 2.2** The existing buildings are occupied by two steel framed buildings providing sheep housing and handling facilities.



*Existing buildings*

- 2.3** Access to the site is off Belle Vue Lane which is a Public Right of Way (PROW) shown as 3-43-FP17 on the LCC access maps. Belle Vue Lane is often obstructed for agricultural vehicles by parked cars.



*Restricted access along Belle Vue Lane*

- 2.4** The site is located within the Forest of Bowland Area of Outstanding Natural Beauty (FoBAONB). The surrounding countryside is characterised

by open grassland with hedgerow boundaries and stone walls with small wooded parcels. The Lancashire Landscape Character Assessment describes the landscape as Undulating Lowland Farmland and the character area as South Bowland Fringes.

- 2.5 Recently established native species hedgerow is providing screening to the east of buildings as part of the approved landscaping scheme submitted with application 3/2020/0992.
- 2.6 One residential dwelling lies 160 metres to the east.
- 2.7 The site is located in Flood Zone 1 on the Environment Agency Flood Map for Planning.
- 2.8 No protected species or habitats will be affected by the development.
- 2.9 An existing field access gate off Twitter Lane provides access to the parcel of land running north to Belle View Lane. The gate is narrow and existing hedgerow restricts visibility.



*Access off Twitter Lane*

- 2.10 The gate lies within the 30 mph speed restriction.

**Proposed development**

- 2.11 The proposed development will involve the construction of a steel frame building adjoining the western elevation of the existing building.
- 2.12 Rainwater from all buildings will be harvested and used for stock.

- 2.13** A new access is proposed off Twitter Lane via a 200 metre access track alongside a newly established native species hedgerow.
- 2.14** An area of native species trees will be planted to the south of Belle Vue Lane adjacent to the proposed track.

## **SECTION 3 DESIGN PRINCIPLES & CONCEPT**

### **Design**

- 3.1** The building will be of steel frame construction with pre-cast concrete panel walls. The walls will be clad over from the eaves to within 1300mm of the ground with timber space boarding (Yorkshire boarding). This material maintains the pleasing aesthetic of a natural material in contrast to the industrial appearance of fibre cement cladding commonly used on agricultural buildings.
- 3.2** The roofing material will be Eternit Farmscape fibre cement profile sheets in matt anthracite grey. These sheets are commonly specified in national parks and AONBs. Generous overhangs on the eaves will enhance the visual appearance of the building.
- 3.3** The south elevation will remain open.
- 3.4** The proposed access track will be constructed to the specification required by Natural England for agricultural tracks. The surface is crushed limestone and will bed down to create a harmonious appearance within the landscape.
- 3.5** The proposed access gateway will be set back to allow vehicles to leave the highway to open or close the gate. The first 10 metres of the surface from the highway will be a bound permeable tarmac.
- 3.6** The access point off the highway will entail the removal of some existing hedgerow to the west and re-aligning the hedgerow to allow adequate visibility splays in both directions.

### **Appearance**

- 3.7** The building will be constructed and clad with the same materials as the existing buildings. The choice of materials will maintain the rural appearance of the site. The building is slightly higher than the existing buildings as required for large vehicles to tip loads and increasingly large modern agricultural machinery.
- 3.8** The building will have mains water connection and no electrical power.

### **Scale**

- 3.9** The area of the site is limited to the area which the building occupies.

The building measures:

Length:	27.45m
Width:	12.20m
Height to eaves:	5.00m
Height to ridge:	6.60m

The access track measures:

Length:	200 metres
Width:	3.5 metres

## **SECTION 4      ACCESS**

### **Access**

- 4.1** The proposed access design off Twitter Lane will ensure adequate visibility splays are provided in both directions. A bound surface will be used to ensure no debris is deposited to the highway.
- 4.2** The new access track will create an alternative access to the agricultural buildings at Belle Vue Lane and remove any conflict with resident's parked cars on Belle Vue lane and improve pedestrian safety for users of the PROW.
- 4.3** Within the site there is adequate room for vehicles to turn. Entry and exit will be in a forward direction. The proposed development will not result in any additional traffic movements.
- 4.4** Access for emergency vehicles will be improved.

## SECTION 5 PLANNING POLICY CONTEXT

### Planning History

5.0 Application 3/2020/0992

Construction of a general purpose agricultural building & sheep handling pens, creation of a fenced compound. Hedgerow planting.

Approved 12/01/2021

Application 3/2022/0240

Proposed steel framed building to cover sheep handling pens adjacent to a general purpose agricultural building.

Approved 25/04/2022

### National Planning Policy

5.1 National Planning Policy is contained within the National Planning Policy Framework (NPPF). Sustainability is central to the aims of the new guidance. The NPPF identifies that the three dimensions to sustainable development are: economic, social and environmental. These dimensions give rise to the need for the planning system to perform a number of roles:

- **an economic role** – contributing to building a strong, responsive and competitive economy, by ensuring that sufficient land of the right type is available in the right places and at the right time to support growth and innovation; and by identifying and coordinating development requirements, including the provision of infrastructure;
- **a social role** – supporting strong, vibrant and healthy communities, by providing the supply of housing required to meet the needs of present and future generations; and by creating a high quality built environment, with accessible local services that reflect the community's needs and support its health, social and cultural well-being; and
- **an environmental role** – contributing to protecting and enhancing our natural, built and historic environment; and, as part of this, helping to improve biodiversity, use natural resources prudently, minimise waste and pollution, and mitigate and adapt to climate change including moving to a low carbon economy.

Relevant policies within the Framework which are applicable to this application are:

#### Supporting a prosperous rural economy

83. Planning policies and decisions should enable:

- a) the sustainable growth and expansion of all types of business in rural areas, both through conversion of existing buildings and well-designed new buildings;
- b) the development and diversification of agricultural and other land-based rural businesses;
- c) sustainable rural tourism and leisure developments which respect the character of the countryside; and

d) the retention and development of accessible local services and community facilities, such as local shops, meeting places, sports venues, open space, cultural buildings, public houses and places of worship.

***This proposed scheme is for the development of an existing agricultural business. The proposed development incorporates a design and materials which minimises visual impact whilst providing the functionality required.***

## **7. Requiring good design**

***56. The Government attaches great importance to the design of the built environment. Good design is a key aspect of sustainable development, is indivisible from good planning, and should contribute positively to making places better for people.***

***61. Although visual appearance and the architecture of individual buildings are very important factors, securing high quality and inclusive design goes beyond aesthetic considerations. Therefore, planning policies and decisions should address the connections between people and places and the integration of new development into the natural, built and historic environment.***

***64. Permission should be refused for development of poor design that fails to take the opportunities available for improving the character and quality of an area and the way it functions.***

***Careful thought has been given to design and materials to ensure the development is cohesive with the rural setting. Building materials will match the existing structures. The proposed track is designed to the specification stipulated by Natural England for agricultural tracks and will ensure soils are protected.***

### **Local Planning Policy**

#### **Core Strategy 2008 – 2028 A Local Plan for Ribble Valley**

## **5.2 KEY STATEMENT EN2: LANDSCAPE**

The landscape and character of the Forest of Bowland Area of Outstanding Natural Beauty will be protected, conserved and enhanced. Any development will need to contribute to the conservation of the natural beauty of the area. The landscape and character of those areas that contribute to the setting and character of the Forest of Bowland Areas of Outstanding Natural Beauty will be protected and conserved and wherever possible enhanced. As a principle the Council will expect development to be in keeping with the character of the landscape, reflecting local distinctiveness, vernacular style, scale, style, features and building materials.

***The proposed building is located adjacent to existing buildings that have been developed to high standards. The access track will ensure that soils are protected as vehicles travel over the land. The existing gateway is***

***often used for large tractors if Belle Vue Lane is obstructed. The proposed native species hedgerow and tree planting will ensure that new habitat is created for wildlife and the visual impact of the new access is mitigated. There will be minimal impact on the wider setting and landscape character of the area.***

#### **KEY STATEMENT EC1: BUSINESS AND EMPLOYMENT DEVELOPMENT**

Employment development will be directed towards the main settlement of Clitheroe, Whalley and Longridge as the preferred locations to accommodate employment growth together with land at Barrow Enterprise Site, the Lancashire Enterprise Zone at Samlesbury and locations well related to the A59 corridor.

The Council, in line with the evidence it has gathered, will aim to allocate an additional 8 hectares of land for employment purpose in appropriate and sustainable locations during the lifetime of this plan.

Land will be made available for employment use in order to support the health of the local economy and wider sustainable job creation. The expansion of existing businesses will, wherever appropriate, be considered favourably.

In considering the development of land for economic development and in determining where this land will be located, priority will be given to the use of appropriate Brownfield sites to deliver employment-generating uses including a preference for the re-use of existing employment sites before alternatives are considered.

New sites will be identified in accord with the development strategy where the health of the local and, in relevant cases, the wider economy support such release. Opportunities to identify land as part of appropriate mixed-use schemes within any strategic land release will be considered favourably.

Developments that contribute to farm diversification, strengthening of the wider rural and village economies or that promote town centre vitality and viability will be supported in principle.

Proposals that result in the loss of existing employment sites to other forms of development will need to demonstrate that there will be no adverse impact upon the local economy.

The Council considers, in line with neighbouring authorities and other bodies, that the BAe Samlesbury site should be regarded as a regionally significant employment site with considerable potential to accommodate a variety of advanced knowledge based industries in the future. This has been recognised by the Government's creation of an Enterprise Zone at this location. As such the site is not considered part of the borough's general employment land supply.

The Council will therefore support the delivery of the Enterprise Zone and has produced a Local Development Order to achieve this.

***The proposed development will ensure that a well established farming business can meet strict legislation in respect of environmental protection. The viability of the business requires efficient management and lowering input costs where possible. Public safety will benefit from removing access from Belle Vue Lane.***

**POLICY DMG1: GENERAL CONSIDERATIONS**

IN DETERMINING PLANNING APPLICATIONS, ALL DEVELOPMENT MUST:

**DESIGN**

1. BE OF A HIGH STANDARD OF BUILDING DESIGN WHICH CONSIDERS THE BUILDING IN CONTEXT OF THE PRINCIPLES FROM THE CABE/ENGLISH HERITAGE BUILDING ON CONTEXT TOOLKIT.
2. BE SYMPATHETIC TO EXISTING AND PROPOSED LAND USES IN TERMS OF ITS SIZE, INTENSITY AND NATURE AS WELL AS SCALE, MASSING, STYLE, FEATURES AND BUILDING MATERIALS.
3. CONSIDER THE DENSITY, LAYOUT AND RELATIONSHIP BETWEEN BUILDINGS, WHICH IS OF MAJOR IMPORTANCE. PARTICULAR EMPHASIS WILL BE PLACED ON VISUAL APPEARANCE AND THE RELATIONSHIP TO SURROUNDINGS, INCLUDING IMPACT ON LANDSCAPE CHARACTER, AS WELL AS THE EFFECTS OF DEVELOPMENT ON EXISTING AMENITIES.
4. USE SUSTAINABLE CONSTRUCTION TECHNIQUES WHERE POSSIBLE AND PROVIDE EVIDENCE THAT ENERGY EFFICIENCY, AS DESCRIBED WITHIN POLICY DME5, HAS BEEN INCORPORATED INTO SCHEMES WHERE POSSIBLE.
5. THE CODE FOR SUSTAINABLE HOMES AND LIFETIME HOMES, OR ANY SUBSEQUENT NATIONALLY RECOGNISED EQUIVALENT STANDARDS, SHOULD BE INCORPORATED INTO SCHEMES.

**ACCESS**

1. CONSIDER THE POTENTIAL TRAFFIC AND CAR PARKING IMPLICATIONS.
2. ENSURE SAFE ACCESS CAN BE PROVIDED WHICH IS SUITABLE TO ACCOMMODATE THE SCALE AND TYPE OF TRAFFIC LIKELY TO BE GENERATED.
3. CONSIDER THE PROTECTION AND ENHANCEMENT OF PUBLIC RIGHTS OF WAY AND ACCESS.

**AMENITY**

1. NOT ADVERSELY AFFECT THE AMENITIES OF THE SURROUNDING AREA.
2. PROVIDE ADEQUATE DAY LIGHTING AND PRIVACY DISTANCES.
3. HAVE REGARD TO PUBLIC SAFETY AND SECURED BY DESIGN PRINCIPLES.
4. CONSIDER AIR QUALITY AND MITIGATE ADVERSE IMPACTS WHERE POSSIBLE.

**ENVIRONMENT**

1. CONSIDER THE ENVIRONMENTAL IMPLICATIONS SUCH AS SSSIS, COUNTY HERITAGE SITES, LOCAL NATURE RESERVES, BIODIVERSITY ACTION PLAN (BAP) HABITATS AND SPECIES, SPECIAL AREAS OF CONSERVATION AND SPECIAL PROTECTED AREAS, PROTECTED SPECIES, GREEN CORRIDORS AND OTHER SITES OF NATURE CONSERVATION.
2. WITH REGARDS TO POSSIBLE EFFECTS UPON THE NATURAL ENVIRONMENT, THE COUNCIL PROPOSE THAT THE PRINCIPLES OF THE MITIGATION HIERARCHY BE FOLLOWED. THIS GIVES SEQUENTIAL PREFERENCE TO THE FOLLOWING: 1) ENHANCE THE ENVIRONMENT 2)

AVOID THE IMPACT 3) MINIMISE THE IMPACT 4) RESTORE THE DAMAGE 5) COMPENSATE FOR THE DAMAGE 6) OFFSET THE DAMAGE.

3. ALL DEVELOPMENT MUST PROTECT AND ENHANCE HERITAGE ASSETS AND THEIR SETTINGS.

4. ALL NEW DEVELOPMENT PROPOSALS WILL BE REQUIRED TO TAKE INTO ACCOUNT THE RISKS ARISING FROM FORMER COAL MINING AND, WHERE NECESSARY, INCORPORATE SUITABLE MITIGATION MEASURES TO ADDRESS THEM.

5. ACHIEVE EFFICIENT LAND USE AND THE REUSE AND REMEDIATION OF PREVIOUSLY DEVELOPED SITES WHERE POSSIBLE. PREVIOUSLY DEVELOPED SITES SHOULD ALWAYS BE USED INSTEAD OF GREENFIELD SITES WHERE POSSIBLE

### **INFRASTRUCTURE**

1. NOT RESULT IN THE NET LOSS OF IMPORTANT OPEN SPACE, INCLUDING PUBLIC AND PRIVATE PLAYING FIELDS WITHOUT A ROBUST ASSESSMENT THAT THE SITES ARE SURPLUS TO NEED. IN ASSESSING THIS, REGARD MUST BE HAD TO THE LEVEL OF PROVISION AND STANDARD OF PUBLIC OPEN SPACE IN THE AREA, THE IMPORTANCE OF PLAYING FIELDS AND THE NEED TO PROTECT SCHOOL PLAYING FIELDS TO MEET FUTURE NEEDS. REGARD WILL ALSO BE HAD TO THE LANDSCAPE OR TOWNSCAPE OF AN AREA AND THE IMPORTANCE THE OPEN SPACE HAS ON THIS.

2. HAVE REGARD TO THE AVAILABILITY TO KEY INFRASTRUCTURE WITH CAPACITY. WHERE KEY INFRASTRUCTURE WITH CAPACITY IS NOT AVAILABLE IT MAY BE NECESSARY TO PHASE DEVELOPMENT TO ALLOW INFRASTRUCTURE ENHANCEMENTS TO TAKE PLACE.

3. CONSIDER THE POTENTIAL IMPACT ON SOCIAL INFRASTRUCTURE PROVISION.

### **OTHER**

1. NOT PREJUDICE FUTURE DEVELOPMENT WHICH WOULD PROVIDE SIGNIFICANT ENVIRONMENTAL AND AMENITY IMPROVEMENTS.

*The proposed development will use the same materials as the existing buildings. Natural timber boarding and matt roofing commonly used in national parks and AONBs are incorporated. The scale of the building is the minimum required for the intended use and access by large machinery.*

### **POLICY DMG2: STRATEGIC CONSIDERATIONS**

DEVELOPMENT SHOULD BE IN ACCORDANCE WITH THE CORE STRATEGY DEVELOPMENT STRATEGY AND SHOULD SUPPORT THE SPATIAL VISION.

1. DEVELOPMENT PROPOSALS IN THE PRINCIPAL SETTLEMENTS OF CLITHEROE, LONGRIDGE AND WHALLEY AND THE TIER 1 VILLAGES SHOULD CONSOLIDATE, EXPAND OR ROUND-OFF DEVELOPMENT SO THAT IT IS CLOSELY RELATED TO THE MAIN BUILT UP AREAS, ENSURING THIS IS APPROPRIATE TO THE SCALE OF, AND IN KEEPING WITH, THE EXISTING SETTLEMENT.

WITHIN THE TIER 2 VILLAGES AND OUTSIDE THE DEFINED SETTLEMENT AREAS DEVELOPMENT MUST MEET AT LEAST ONE OF THE FOLLOWING CONSIDERATIONS:

1. THE DEVELOPMENT SHOULD BE ESSENTIAL TO THE LOCAL ECONOMY OR SOCIAL WELL BEING OF THE AREA.
2. THE DEVELOPMENT IS NEEDED FOR THE PURPOSES OF FORESTRY OR AGRICULTURE.
3. THE DEVELOPMENT IS FOR LOCAL NEEDS HOUSING WHICH MEETS AN IDENTIFIED NEED AND IS SECURED AS SUCH.
4. THE DEVELOPMENT IS FOR SMALL SCALE TOURISM OR RECREATIONAL DEVELOPMENTS APPROPRIATE TO A RURAL AREA.
5. THE DEVELOPMENT IS FOR SMALL-SCALE USES APPROPRIATE TO A RURAL AREA WHERE A LOCAL NEED OR BENEFIT CAN BE DEMONSTRATED.
6. THE DEVELOPMENT IS COMPATIBLE WITH THE ENTERPRISE ZONE DESIGNATION.

WITHIN THE OPEN COUNTRYSIDE DEVELOPMENT WILL BE REQUIRED TO BE IN KEEPING WITH THE CHARACTER OF THE LANDSCAPE AND ACKNOWLEDGE THE SPECIAL QUALITIES OF THE AREA BY VIRTUE OF ITS SIZE, DESIGN, USE OF MATERIALS, LANDSCAPING AND SITING. WHERE POSSIBLE NEW DEVELOPMENT SHOULD BE ACCOMMODATED THROUGH THE RE-USE OF EXISTING BUILDINGS, WHICH IN MOST CASES IS MORE APPROPRIATE THAN NEW BUILD.

IN PROTECTING THE DESIGNATED AREA OF OUTSTANDING NATURAL BEAUTY THE COUNCIL WILL HAVE REGARD TO THE ECONOMIC AND SOCIAL WELL BEING OF THE AREA. HOWEVER THE MOST IMPORTANT CONSIDERATION IN THE ASSESSMENT OF ANY DEVELOPMENT PROPOSALS WILL BE THE PROTECTION, CONSERVATION AND ENHANCEMENT OF THE LANDSCAPE AND CHARACTER OF THE AREA AVOIDING WHERE POSSIBLE HABITAT FRAGMENTATION. WHERE POSSIBLE NEW DEVELOPMENT SHOULD BE ACCOMMODATED THROUGH THE RE-USE OF EXISTING BUILDINGS, WHICH IN MOST CASES IS MORE APPROPRIATE THAN NEW BUILD.

DEVELOPMENT WILL BE REQUIRED TO BE IN KEEPING WITH THE CHARACTER OF THE LANDSCAPE AND ACKNOWLEDGE THE SPECIAL QUALITIES OF THE AONB BY VIRTUE OF ITS SIZE, DESIGN, USE OF MATERIAL, LANDSCAPING AND SITING. THE AONB MANAGEMENT PLAN SHOULD BE CONSIDERED AND WILL BE USED BY THE COUNCIL IN DETERMINING PLANNING APPLICATIONS.

FOR THE PURPOSES OF THIS POLICY THE TERM SETTLEMENT IS DEFINED IN THE GLOSSARY. CURRENT SETTLEMENT BOUNDARIES WILL BE UPDATED IN SUBSEQUENT DPDS.

***The development is needed or the purpose of agriculture. The proposal is necessary for the efficient management of a small family farming business which must meet modern welfare and environmental standards.***

**POLICY DMB1: SUPPORTING BUSINESS GROWTH AND THE LOCAL ECONOMY**

*Proposals that are intended to support business growth and the local economy will be supported in principle. Development proposals will be determined in accord with the core strategy and detailed policies of the LDF as appropriate.*

*The borough council may request the submission of supporting information for farm diversification where appropriate.*

*The expansion of existing firms within settlements will be permitted on land within or adjacent to their existing sites, provided no significant environmental problems are caused and the extension conforms to the other plan policies of the LDF.*

*The expansion of established firms on land outside settlements will be allowed provided it is essential to maintain the existing source of employment and can be assimilated within the Local landscape. There may be occasions where due to the scale of the proposal relocation to an alternative site is preferable.*

*Proposals for the development, redevelopment or conversion of sites with employment*

*Generating potential in the plan area for alternative uses will be assessed with regard to The following criteria:*

- 1. The provisions of policy DMG1, and*
- 2. The compatibility of the proposal with other plan policies of the LDF, and*
- 3. The environmental benefits to be gained by the community, and*
- 4. The economic and social impact caused by loss of employment opportunities to the Borough, and*
- 5. Any attempts that have been made to secure an alternative employment generating use for the site (must be supported by evidence (such as property agents details including periods of marketing and response) that the property/ business has been marketed for business use for a minimum period of six months or information that demonstrates to the council's satisfaction that the current use is not viable for employment purposes.)*

***The proposal will enable the applicant to meet the environmental standards required to secure the essential contracts for finished lambs. Meeting these standards are critical to secure the viability of the farming business. The site is within a Catchment Sensitive Farming Priority area. The proposed building will reduce the risks associated with diffuse pollution.***

## **SECTION 6            CONCLUSION**

- 6.1**    The proposed development will enable organic manures to be stored under cover which will prevent liquor from open field storage polluting watercourses. Valuable nutrients will be preserved and the manures will reduce the reliance on inorganic fertilisers which are more susceptible to leaching. Purchasing feeds in bulk is critical to keep input costs down and secure the viability of the livestock enterprise.
- 6.2**    The proposed new access will mean agricultural vehicles and large machinery will not conflict with pedestrians and residents vehicles parked on Belle Vue Lane.
- 6.3**    Careful thought has been given to the scale and design of the proposed development to minimise any visual impacts. The development will preserve the character and special qualities of the AONB.
- 6.4**    The proposal has been fully assessed in regard of all relevant planning policies and issues. The development is congruous with national and local planning policy. We hope the planning authority will support the application.

October 2023