

# BUCKLEY DENE



planning, design and  
access report

may 2024



# BUCKLEY DENE

## 1 INTRODUCTION

1.1 This planning application has been prepared by Stanton Andrews Architects on behalf of the applicants for alterations and extensions to :-

Buckley Dene  
Preston Road, Ribchester, PR3 3YD

### 1.2 APPLICATION

*“Partial demolition of existing dwelling including removal of main roof and single storey side extension. Remodelling and extensions to create two storey dwelling”.*

1.3 The application should be read in conjunction with:-

- 2332 ex00 location plan
- 2332 ex01 existing site plan
- 2332 ex02 existing plans
- 2332 ex03 existing elevations
- 2332 PL01 proposed site plan
- 2332 PL02 proposed plans
- 2332 PL03 proposed NE and NW elevations
- 2332 PL04 proposed SE and SW elevations
- 2332 BNG01 biodiversity net gain exemption
- Preliminary bat roost assessment report

1.4 Our client brief was to consider the following :-

- Address the poor internal layout and confused circulation
- Connect the bedrooms together to better support family living
- Address the dark character of the dwelling by improving the connection to the garden and wider views of the countryside beyond
- Provide a generous family room with connection to the garden
- Address the issues with the existing first floor accommodation
- Provide a single car garage



# BUCKLEY DENE

## 2 EXISTING HOUSE AND SITE

### 2.1 EXISTING DWELLING

Buckley Dene is a detached bungalow with a limited first floor area (restricted head height).

The existing property has a dark character with a lack of connection to the garden and wider views of the countryside beyond.

Circulation in the property is poor with several rooms serving as thoroughfares to other rooms. The master bedroom is located beside the main entrance, with access under the staircase.

A previous extension provides further bedroom accommodation, a utility room and wc which is accessed via the kitchen.

The first floor accommodation with a small dormer on the north east elevation is compromised due to a lack of head height and can only realistically be considered to be storage.

The existing external appearance is confused with a mixture of stone types and treatments, with areas of render.

### 2.2 EXISTING AREAS AND VOLUMES

external footprint area      254 m<sup>2</sup>

A breakdown of the existing volumes are as follows:-

ground floor	759 m <sup>3</sup>
first floor	586 m <sup>3</sup>
total	1345 m <sup>3</sup>

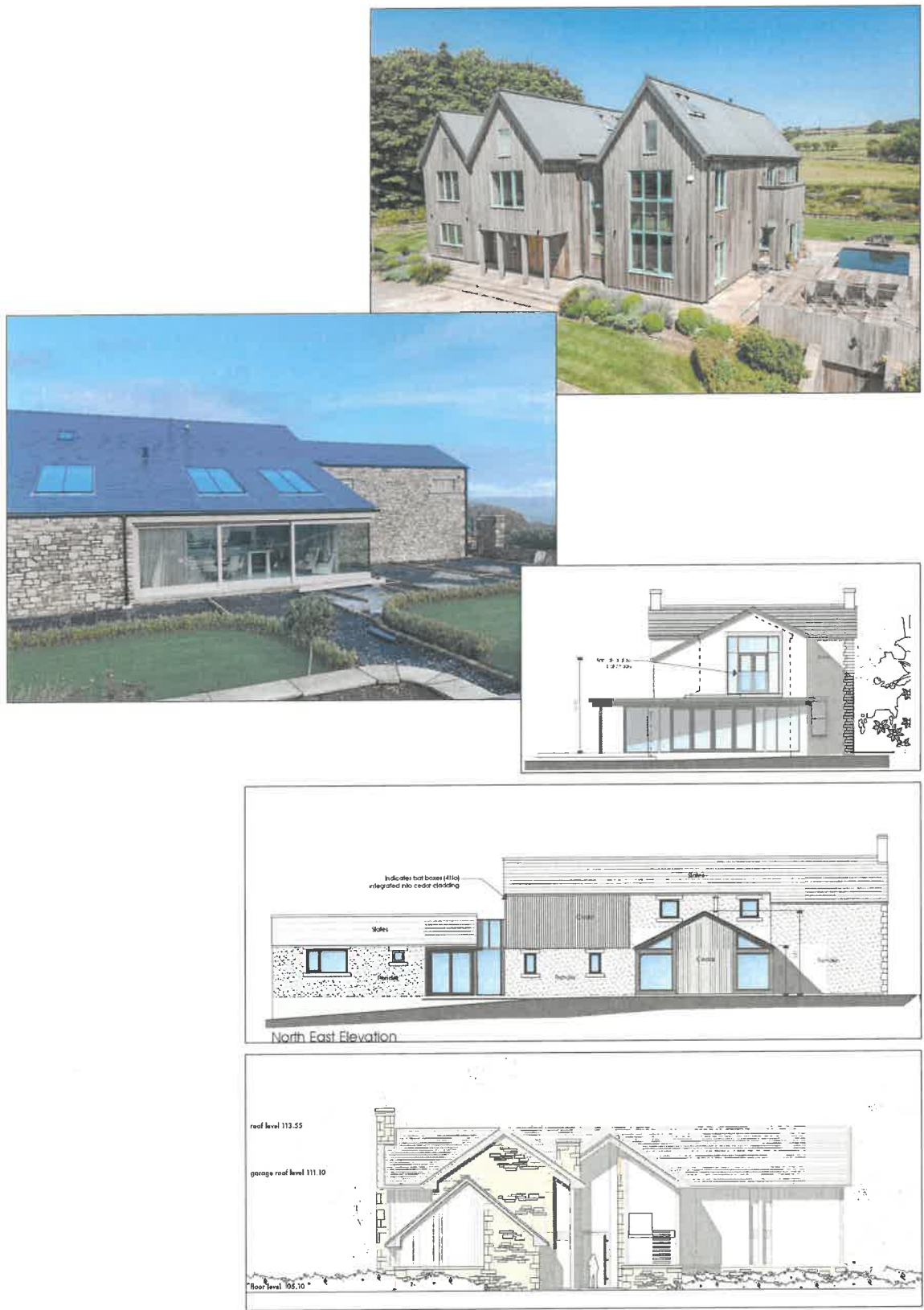
### 2.3 EXISTING SITE

Buckley Dene is to the North West of the village of Ribchester. The area is mainly characterised by stone and render houses, though there are also a number of 'contemporary' designed properties with large glazing fenestration and timber cladding. To the left are examples of local precedents both completed or approved.

To the South of the dwelling there is an outbuilding and adjoining field which at present is disconnected from the dwelling due to a hedge and an access track leading to the outbuilding.

The site can be accessed from two entrances to the North of the site via a private lane accessed via Preston Road. The parking area is on the North West corner of the site.

The site is relatively level but does slope down towards the North East resulting in an approximate 1.5m change in level. Due to the site being at a elevated level it offers impressive views across the surrounding countryside.





# BUCKLEY DENE

## 3 PLANNING

3.1 Ribble Valley Borough Council’s Local Plan confirms that Buckley Dene is located outside of any defined settlement limits and is within open countryside.

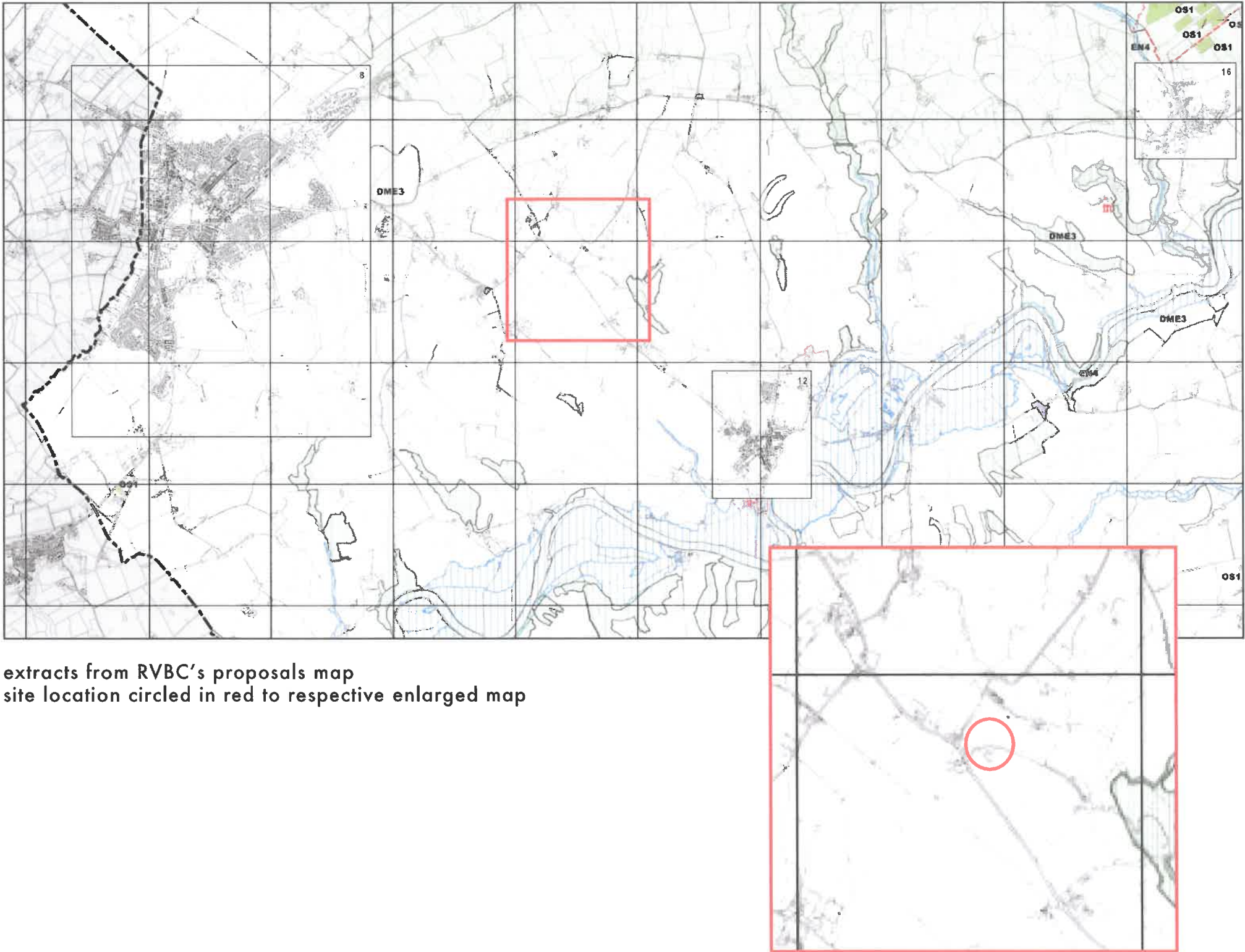
The pre-application response and the Local Plan notes the following policies:

- DMG1 general considerations
- DMG2 strategic considerations
- DME2 landscape and townscape protection
- DME3 site and species protection and conservation
- DMH5 residential and curtilage extensions
- EN2 landscape

3.2 Public Footpath FP0335043 runs along the access road to the north of the site, this has been fully considered and no changes have been made that would impact upon the right of way.

### 3.3 PLANNING HISTORY

Ribble Valley Borough Council’s website holds records of all planning applications post 1990. A general review of Buckley Dene suggests there is no planning history since 1990.



extracts from RVBC's proposals map  
site location circled in red to respective enlarged map

## BUCKLEY DENE

### 4 PRE - APPLICATION ENQUIRY

4.1 A pre-application enquiry was submitted on the 16.10.2023.

4.2 RVBC's pre-application response ref.RV/2023/ENQ/00065, dated 12.12.2023.

4.3 The pre-application response noted that *'the principle of the proposal is considered acceptable'*.

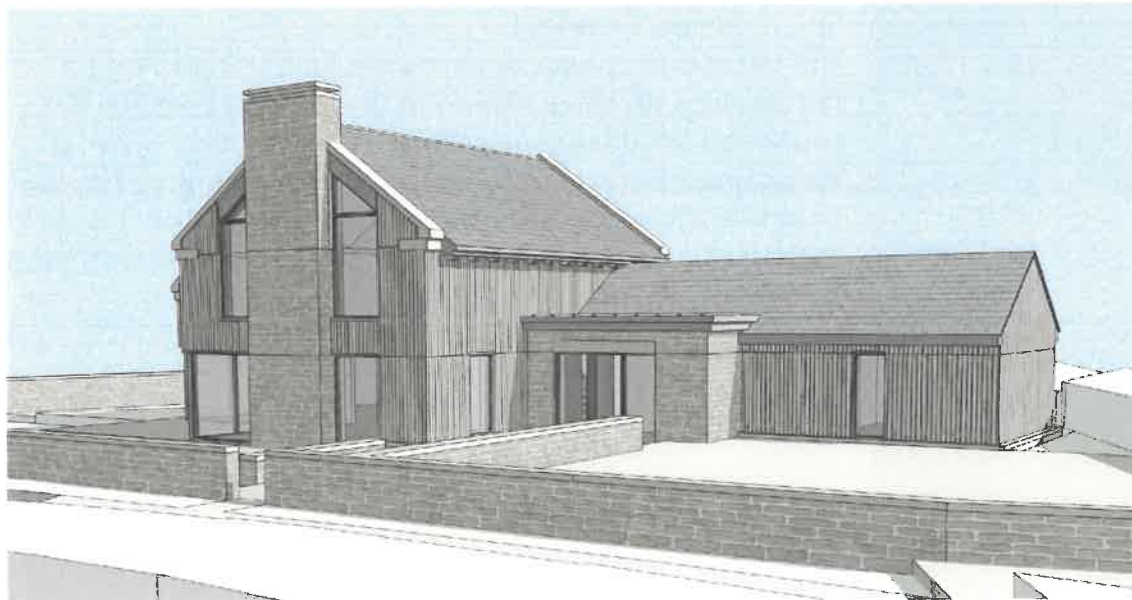
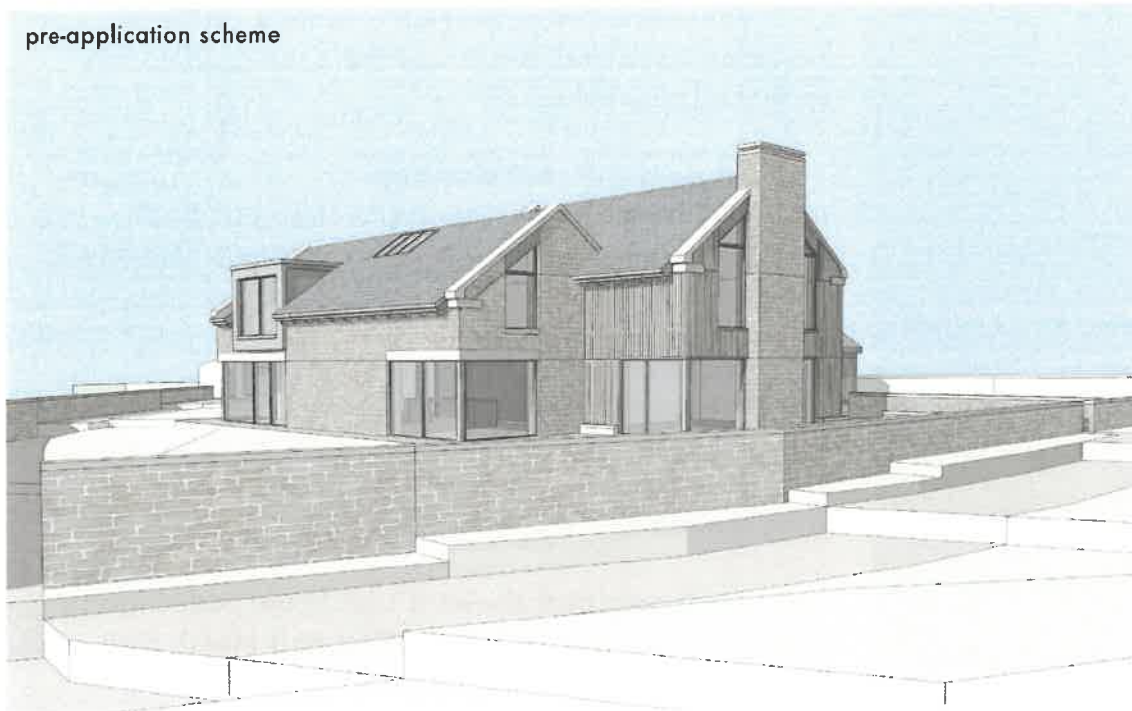
It highlights that the existing dwelling is *'lacking in any real architectural merit or visual similarity with the surrounding vernacular'*.

It is stated that *'it is not anticipated that the proposed alterations would have any significant adverse impact upon the residential amenities of the area.'* This is due to the dwelling being well screened and sited a sufficient distance away from the nearest neighbouring dwelling.

4.4 The pre-application response stated *'there are concerns that the overall architectural language and articulation of the dwelling fails to respond positively to the inherent character of the immediate area.'* In regards to this it highlights the following matters :-

- i. *'The proposed incorporation of a large and visually prominent chimney'*
- ii. *'Large elements of modern glazed fenestration'*
- iii. *'Timber cladding'*.

pre-application scheme





## BUCKLEY DENE

### 5 PRE - APPLICATION RESPONSE

5.1 The current proposal aims to fully address the concerns raised in the Council's pre-application response (see section 4)

i. Large prominent chimney

The chimney on the principal elevation has been removed in favour of retaining the existing chimney to the dwelling.

ii. Large modern glazing fenestration

The large modern triangular and corner glazing elements that were proposed to the existing dwelling have been removed. The existing openings are now being maintained and re-glazed.

The current proposal shows a significant reduction in glazed fenestration to North West and North East elevations visible from the driveway.

iii. Timber cladding

The current proposal removes the timber cladding to the existing dwelling shown in the pre-application. It is proposed for this scheme that the stone and render is maintained reducing the impact on the existing. The use of timber cladding will now be restricted to the flat roof extensions, dormer and the first floor to ensure cohesion across the scheme.



# BUCKLEY DENE

## 6 PROPOSED

### 6.1 DESIGN CONCEPT

A robust architectural language is used with the extensions and remodelling of the existing house.

Where possible the existing is retained and where needed the extensions have been kept as small as possible.

The previous extension to the East (of substandard construction) is to be removed and rebuilt creating an open and inviting family room, with master suite above, that connects the house to the gardens and countryside beyond.

The existing hip roof is replaced with a traditional gabled roof, more in keeping with the surrounding vernacular. The eaves height is maintained, however a steeper pitch is used to increase the floor area with usable head height. The same pitch is used on the extension.

Leaded roofs are used on the single storey extensions to reduce the visual impact.

### 6.2 USE

The use of the building is unaffected by the application and will remain a dwelling.

### 6.3 LAYOUT

The entrance leads you into a large hall. To the right there is a utility and the existing lounge. To the left, under the stairs, are two existing bedrooms and a bathroom. The existing kitchen is opened up creating access to the proposed family room.

A staircase off the family room leads you to the master suite with an en suite, dressing and master bedroom. At the top of the stairs there is a viewing gallery overlooking the family room and out to the garden.

The existing playroom which sits 200mm higher than the lounge will be converted to a garage with an extension added to the rear making it suitable for a single car.

Due to the roof alterations the existing first floor area is increased creating the space for a guest bedroom, en suite and office

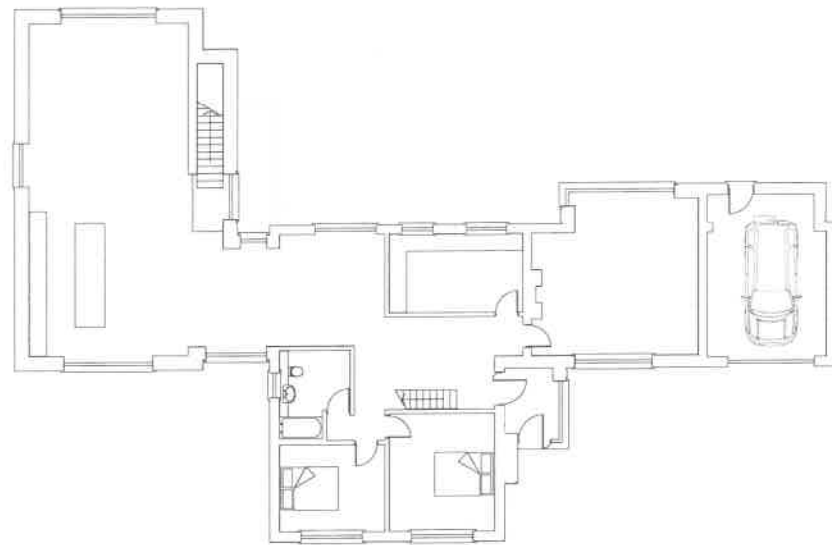
### 6.4 APPEARANCE

A new porch creates a well defined covered main entrance to the property.

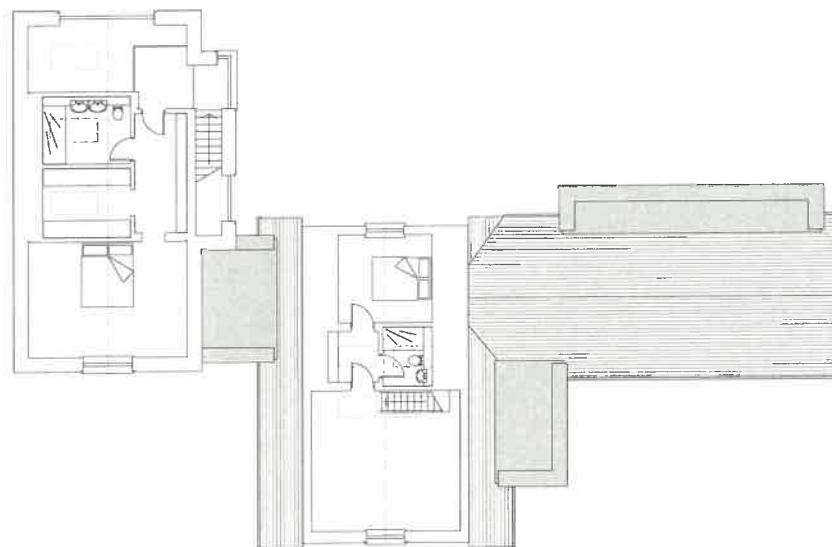
The principal elevation is re presented as twin gables. The proposed single storey extensions have a flat roof with a parapet detail.

The stone and render on the existing dwelling is retained. The proposed extension to the North East will be finished in a local natural stone at ground floor. At first floor timber cladding is used to match the dormer and single storey extensions.

The existing dwelling will be re-glazed. This will include the removal of the bay windows, one being replaced by a garage door.



first floor plan



ground floor plan





# BUCKLEY DENE

## 7 CONCLUSION

7.1 The current proposal has been prepared following detailed consideration of the pre-application advice received from the Council.

The design is sympathetic and respectful to its setting, increasing the visual similarity to the local vernacular.

The area and volume assessments comparing the proposals to the existing house demonstrate no more than 33% increase as guidance provided for dwellings in the open countryside within by RVBC's Supplementary Planning Guidance for 'Extensions and Alterations to Dwellings'.

### 6.5 ACCESS / PARKING

Site access and parking will be unaffected by the proposals.

### 6.6 ENDANGERED SPECIES

A preliminary bat roost assessment report accompanies this application. This found:-

- i. no evidence of roosting bats
- ii. observed no bats
- iii. property had negligible roosting potential

The report concludes that no further survey work was deemed appropriate and considered that the proposals would not be in breach of the Conservation (Natural Habitats, etc) Regulations 1994, therefore the proposed development does not require an EPS Licence (EPSL) to proceed lawfully.

### 6.7 PROPOSED AREA AND VOLUMES

A breakdown of the proposed areas are as follows:-

existing external area	254 m <sup>2</sup>
pre application	338m <sup>2</sup>
proposed external area	340 m <sup>2</sup>
	(33% increase)

A breakdown of the proposed volumes are as follows:-

existing	1345 m <sup>3</sup>
pre application	1781m <sup>3</sup>
proposed total	1446 m <sup>3</sup>
	(7% increase)