From:

Sent: 17 April 2024 19:33

To: Planning

Cc:

Subject: OBJECTION :Planning Application 3/2024/0196 Approval of details reserved by

Conditions 9 (surface water sustainable drainage scheme) and 17 (boundary

treatment) of planning permission 3/2019/1104.



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For the attention of the planning department

The reasons for my objection to Condition 9 are cited below. Subsequently a further objection will be submitted with regards to Condition 17.

Objections to discharge of Condition 9 - 3/2019/1104

My understanding from the applications submitted that Persimmon have failed on four occasions to receive full and final approval of the drainage scheme applications that have been submitted RVBC Planning (My comments added in bold):

3/2019/1104 - Condition 9 applied

No development shall commence until a final, detailed surface water sustainable drainage scheme for the site has been submitted to, and approved in writing by, the local planning authority.

Objection Comment: Building commenced with some properties now sold and inhabited, even though further applications with regards to this condition where not discharged - How could the development continue and does this mean the houses occupied are in fact without planning permission?

3/2022/0177 - Condition 9 not discharged -06/04/22

The applicant has failed to provide evidence of flood water exceedance routes

The applicant has failed to provide a full set of sustainable drainage flow calculations for the surface water drainage network

3/2022/0657 - Condition 9 not discharged - 25/10/22

Condition 9 (Surface Water Sustainable Drainage Scheme) is not discharged as the submitted details are not acceptable.

3/2022/116- Application Refused - 12/12/23

The proposed drainage scheme is not accepted as it is dependent upon raising land levels on the site which do not form part of the consented development will result in an unacceptable impact on adjacent properties on Park Avenue. Furthermore, the Lead Local Flood Authority have expressed concern with the raising of land levels and it has not been demonstrated that the proposed scheme including the raised levels will not result in an increased risk of flooding for surrounding properties off-site.

Objection Comment: Given that the proposed drainage scheme is still reliant on raising the levels which still result in an unacceptable impact on adjacent properties on Park Avenue with regards to privacy as well as flooding.

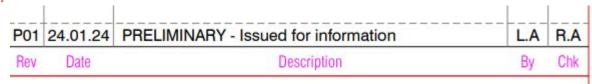
With regards to The 19310-EDGE-XX-XX-CO-C-L03_FRA ADDENDUM[p02] submitted by Persimmon, there are two documents which have been referred to in the document which do not provide to a revision number.

These documents also do not have a revision number on the cover letter - How is it known that the submitted information to EDGE, the council and I assume the LFA are aligned?

The documents with reference to Revision numbers are:

A surface Water Displacement plan – 19310.C2004

Rev P02 - No update in the comments as to why the document submitted has moved to REV P02
 Why?



Drainage Flow Calculations – 19310-MDX-CULVERT-230303

• This document does not appear for review on the application - Please can you supply this? My final point would be that <u>is it acceptable</u> for the same company who provided the drawings and information regarding flood risk to also provide the assessment.

Kind Regards,

From:

Sent: 18 April 2024 22:23

To: Planning

Cc: Nicola Hopkins; Steve Maggs

Subject: OBJECTION :Planning Application 3/2024/0196 Approval of details reserved by

Conditions 9 (surface water sustainable drainage scheme) and 17 (boundary

treatment) of planning permission 3/2019/1104.



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For the attention of the planning department

With reference to the above planning application Ref (3/2024/0196) I write to offer my **objection** to this application (which is supported ...). This is further to my previous objections on Monday 15th April 2024 and Wednesday 17th April 2024.

Please find the reasons for my objection to Condition 17 cited below.

Note: The google images and any snapshots of the Persimmon application documents are available to the general public and therefore I hope they will not be redacted as I understand them are not in breach of The Data Protection Act 2018 (UK General Data Protection Regulation (UKGDPR)).

Objections to discharge of Condition 17 - 3/2019/1104

3/2022/116- Application Re/2022/116- Application Re/2022/116- Application Refused - 12/12/23

Abstract of decision: The proposed drainage scheme is not accepted as it is dependent upon raising land levels on the site which do not form part of the consented development will result in an unacceptable impact on adjacent properties on Park Avenue.

<u>Objection comments:</u> The latest revised boundary treatment is inadequate with regards to the impact on adjacent properties of Park Avenue and does not offer an acceptable solution to those affected.

214.302 Rev O - Boundary Treatment Plan

K 04.04.23 Fence on east side of attenuation pond changed to1200mm high bow top railing. Indicative life preserver location repositioned.

Last Approved Revision

L 17.08.23 Fence on east side of attenuation pond changed to1200mm high 'post & 4 rail' fence.

M 20.09.23 Knee rail fence around attenuation pond changed to 1200mm high 'post & 4 rail' fence.

N 07.12.23 Trees and hedges removed at rear boundary of plots 17-19. Position of fences in rear gardens of plots 17-21, 23-24 and 39 amended. Fence in front of attenuation pond reverted to 600mm knee rail, and fence at rear of attenuation pond reverted to 1200mm bow top railing.

O 26.02.24 Rear boundary fence, plots 40-45 changed to 3000mm close boarded fence with trellis. Side boundary fence, plots 46 & 57 changed to 2500mm close boarded fence with trellis.

Objection comments:

Rev N - The Tree removal from plots 17-19 - Will this not have a environmental impact with regards to habitat.

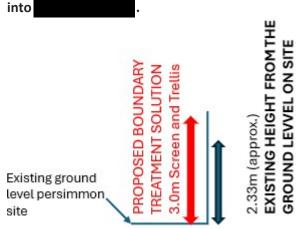
Rev O - The proposed fence heights whilst increased is not acceptable for most if not all adjacent properties.

For example, due to the FFL levels of Plot 57 being 1.75m higher than the original ground level, the proposed boundary treatment of "2500mm close boarded fence with trellis" does not offer adequate screening to protect the privacy of the existing properties on the Park Avenue boundary - diagram and pictures below.

Also as stipulated in my initial objection (24 0196 3rd party rep 180424) - During a recent meeting with Persimmon representatives it was accepted that the privacy was very much determined by the height of fence height of the plots 53-57 on the Hawthorne Farm development. This means I have no control over the privacy to now or in the future, as it (rightly so) would be within the control of the owner of to change to the fence height, remove any trees etc.

Approx. measurements - See diagram and pictures (further pictures available on request)

Summary: The fence height proposed is only approx. 0.67m higher than the current fences of fences. Therefore due to the increased heights of plots 53-57 against the original ground level the proposed fence heights will not stop the new houses and any street view from the new properties seeing directly



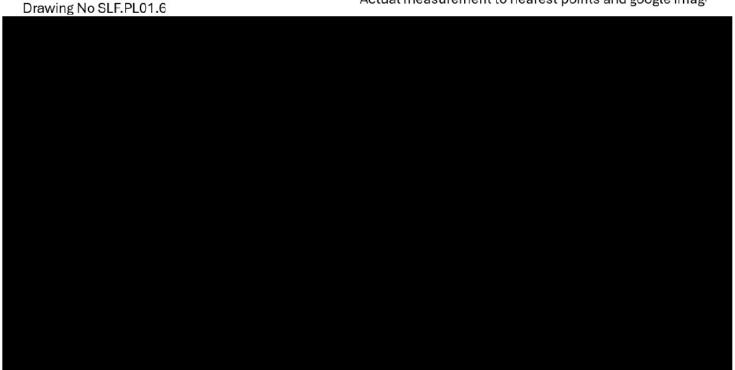
214.302 Rev O – Boundary Treatment Plan 24 0196 2500 Screen and Trellis Measurements and Images from - Proposed fence height 2.5m - 3m (inc. trellis) The proposed screen Existing fence wall height and trellis are not sufficient to restrict views from the development into no. PROPOSED BOUNDARY View Kitchen window -Taken prior to first EXISTING HEIGHT floor completed. **Existing ground** level persimmon Views from Kitchen/Diner - Rear of The height of plots 53-57 means now exposed.

SLF.PL01.6 Section A-A, B-B and C-C

Objection comments:

It is my understanding that not all the details in this document are accurate with many not physically measured to existing properties.

With regards to section C-C and its reference to the distance between plot 57 and distance of 18.25m is inaccurate and needs revising.

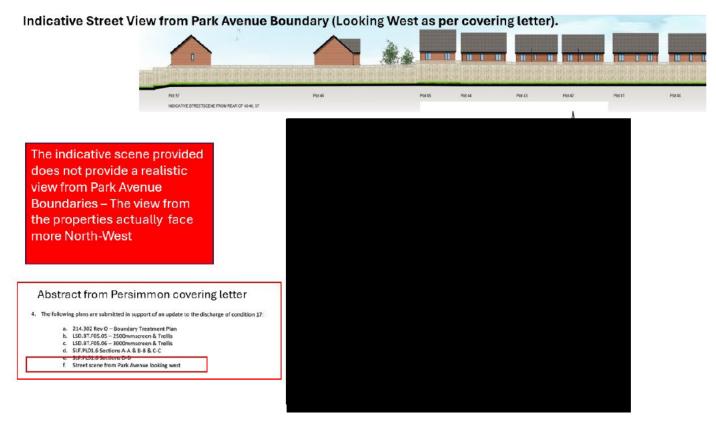


Street scene from Park Avenue looking west

Objection comments:

As demonstrated on Persimmons own drawings the rear of properties on <u>do not</u> face West they in fact more North-West facing.

Whilst I appreciate that is an "Indicative view" the image is deceptive and is not reflective of the true views residents will be forced to have should this application be successful. I also raised this during my recent



Please find a representation of Actual Vs the indicative street view which I am sure will be mirrored by other residents of

Indicative Street View from Boundary (Looking West as per covering letter)
VS. Reality



Kind Regards,