

Stanton Andrews do not accept liability for any loss or degradation of information held in the drawing resulting from the translation from the original file format to any other file format or from the recipients reading of it in any other programme, or an earlier version of the programme. Stanton Andrews accepts no liability for use of this drawing by parties other than the party for whom it was prepared or for purposes other than those for which it was prepared.

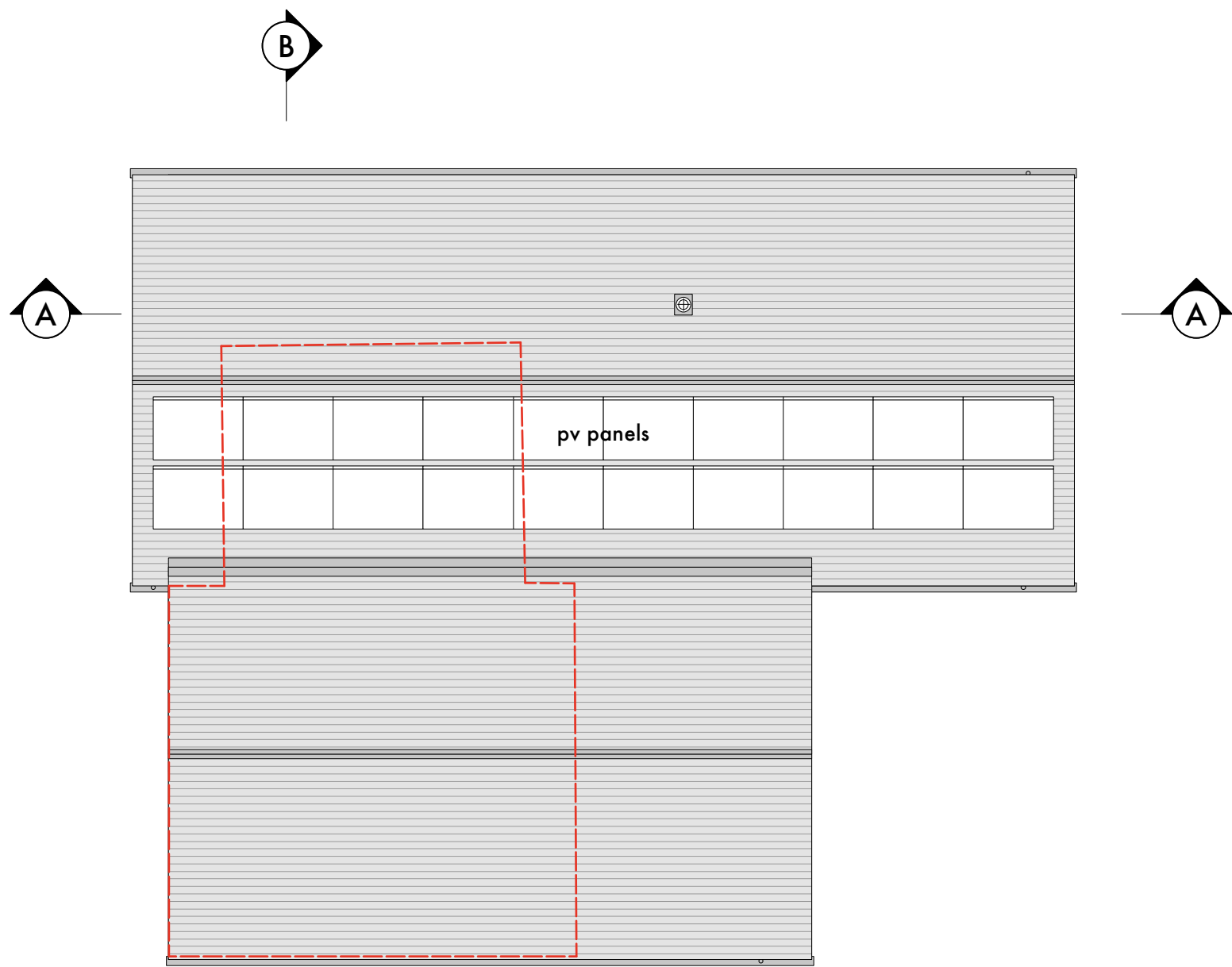
Do not scale, use figured dimensions only. All dimensions to be checked on site. This drawing should be printed and read at the original size, as stated in title block. Stanton Andrews accept no responsibility for errors that occur as a result of reviewing this drawing at any other size. Stanton Andrews to be notified of any discrepancies before proceeding.

DWG issues - when this drawing is issued in DWG format it is an uncontrolled version and is provided to enable the recipient to prepare its own documents/drawings for which it is solely responsible. It is based on background information current at the time of issue. Stanton Andrews accepts no liability for any alterations to, additions to or discrepancies arising out of changes to such background information which occur after it has been issued by Stanton Andrews.

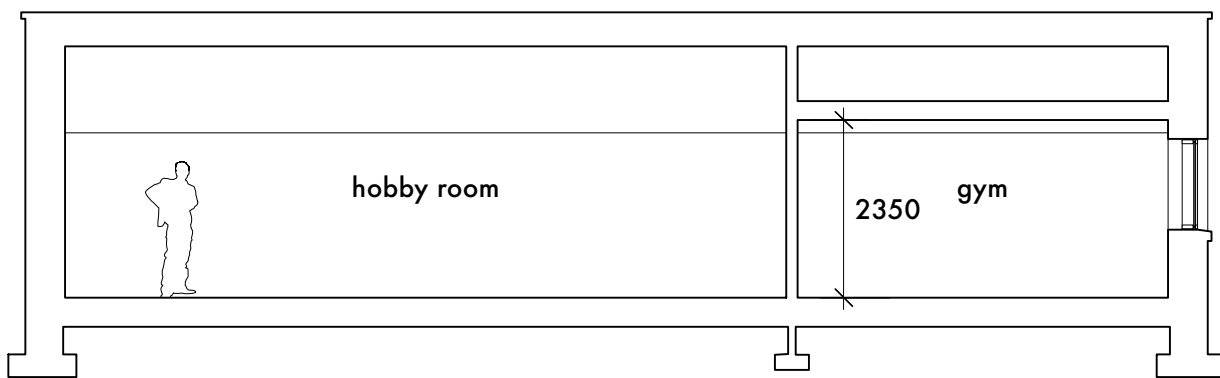
This drawing must be printed in colour, if this text is not RED the drawing must be reprinted.

As existing' drawings based on information provided by others - no measured survey of the property has been undertaken by the architect. This drawing is subject to copyright.

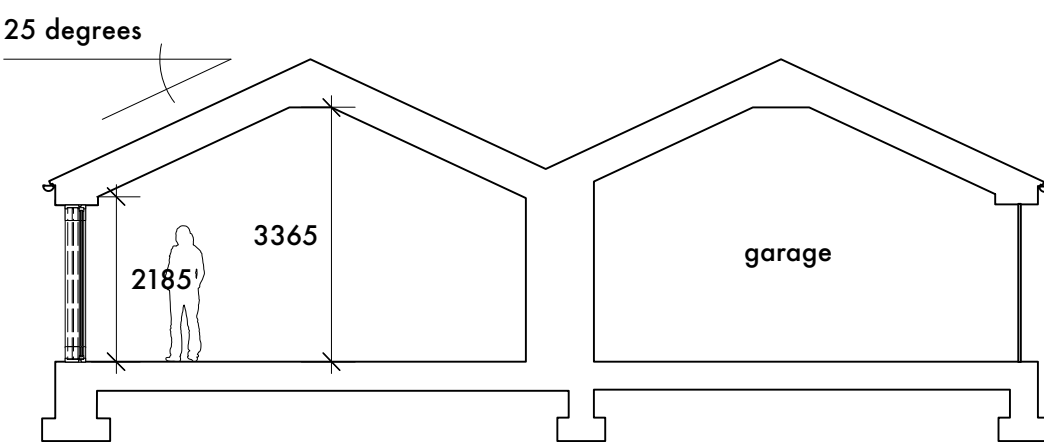
revision	date	note
A	march 2024	issued for lawful development certificate application.



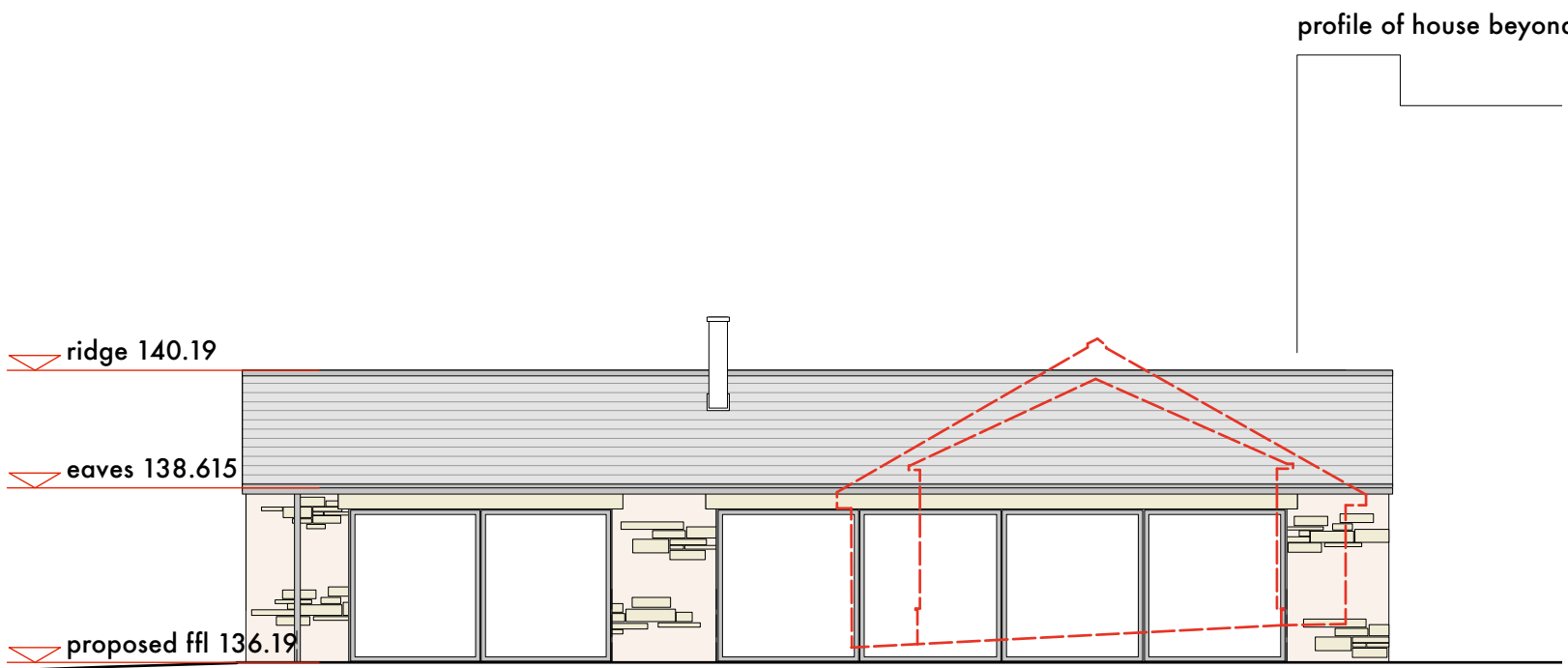
roof plan



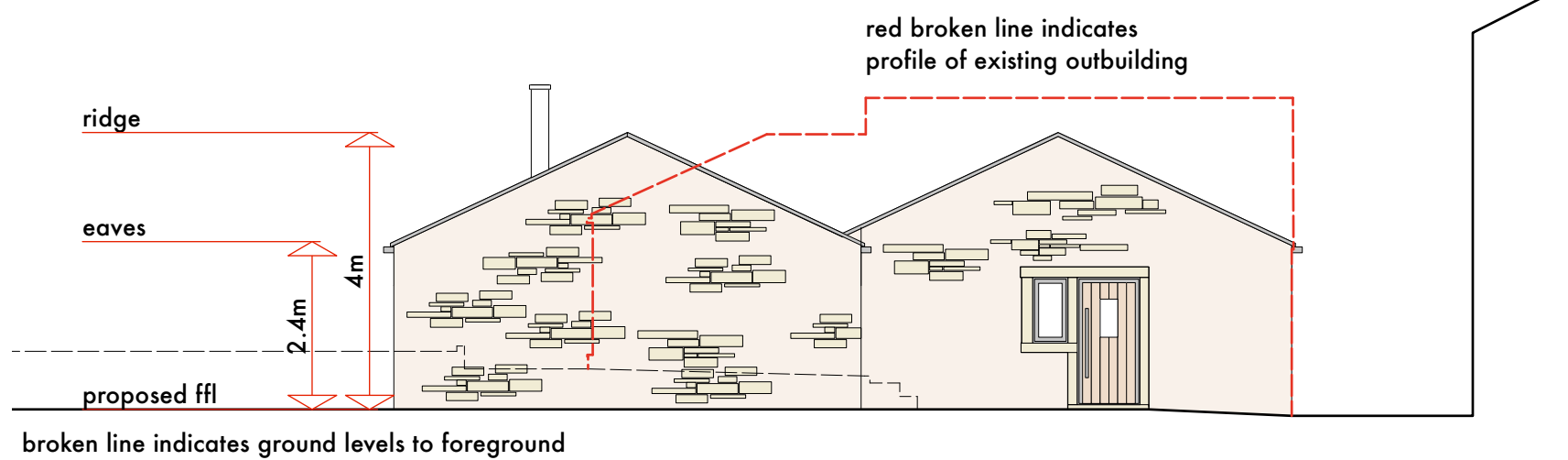
section A



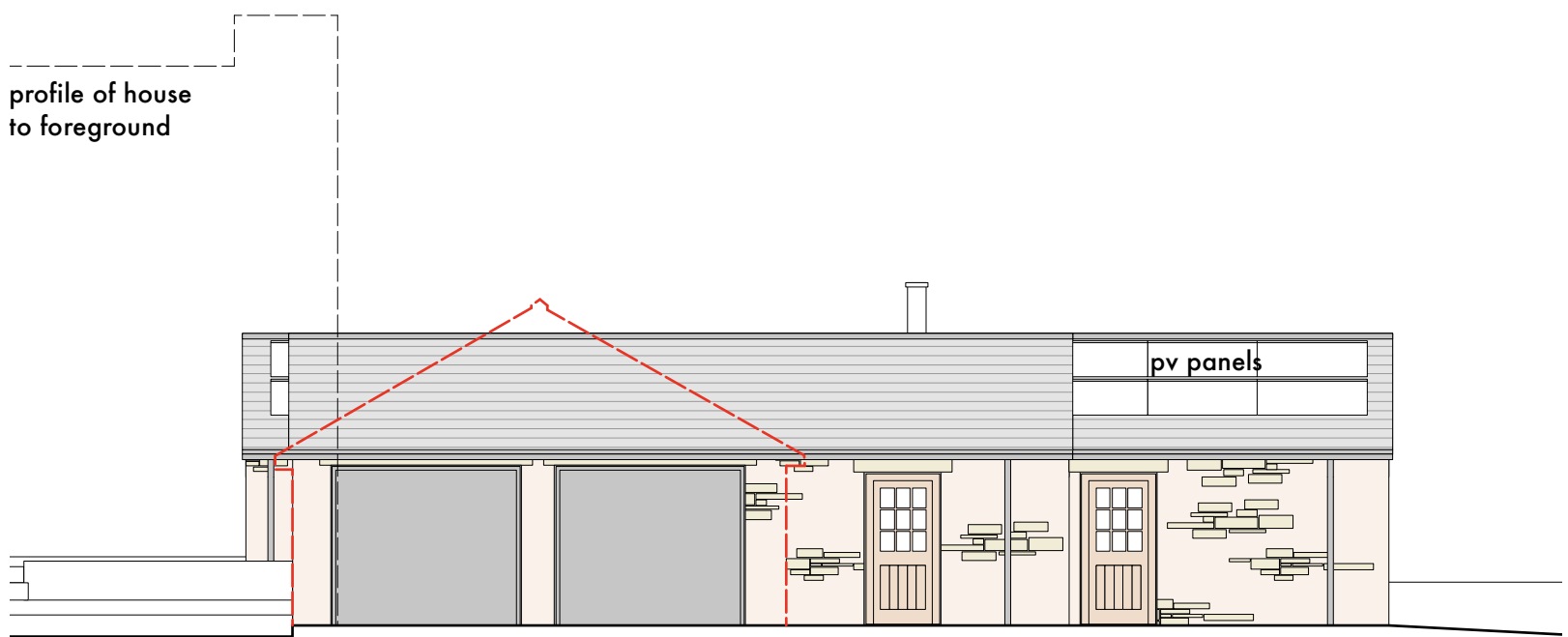
section B



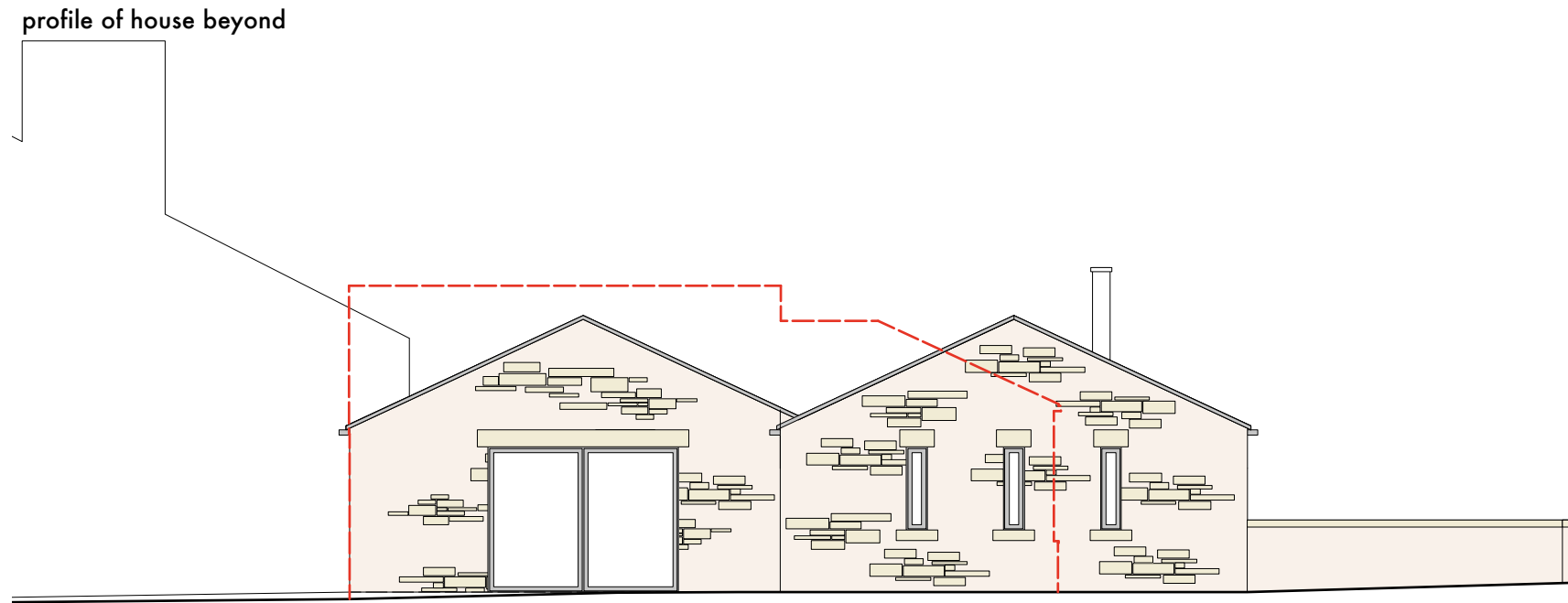
north west elevation



south west elevation



south east elevation



north east elevation

permitted development conditions

Town and Country Planning (General Permitted Development) (England) Order 2015
Schedule 2: Part 1 Class E - Outbuildings are permitted development so long the following conditions are met: -

- permission to use the dwellinghouse as a dwellinghouse has not been granted only by virtue of Class G, M, MA, N, P, PA or Q of Part 3 of this Schedule (changes of use).
- the total area of ground covered by buildings, enclosures and containers within the curtilage (other than the original dwellinghouse) does not exceed 50% of the total area of the curtilage (excluding the ground area of the original dwellinghouse).
- no part of the building would be situated on land forward of the principal elevation of the original dwellinghouse
- the building would not have more than a single storey
- the height would not exceed 4 metres in the case of a building with a dual-pitched roof
- the eaves of the building would not exceed 2.5 metres
- the building would not be situated within the curtilage of a listed building
- it does not include the construction or provision of a verandah, balcony or raised platform
- the total area of ground covered by buildings, enclosures, pools and containers situated more than 20m from any wall of the dwellinghouse would not exceed 10 sqm.
- any new building must not itself be separate, self-contained, living accommodation and must not have a microwave antenna.

Schedule 2: Part 14 Class A - Solar equipment is permitted development so long the following conditions are met: -

- equipment on a building should be sited to minimise the effect on the external appearance. On a pitched roof, panels should not project more than 200mm from the roof slope.

garden curtilage: 3940sqm proposed gross external area: 172sqm

the elevation fronting green lane is considered to be the principal elevation of the original dwellinghouse

ground floor and site plan



SA

stanton andrews
architects

44 york street clitheroe BB7 2DL
t. 01200 444490 e. mail@stantonandrews.co.uk w. stantonandrews.co.uk

project number
22.06

drawing number
LDC.01

project
Summerfield

scale
1 to 100 @ A1

date
february 2024

status
lawful development certificate

revision
A

Chartered Practice