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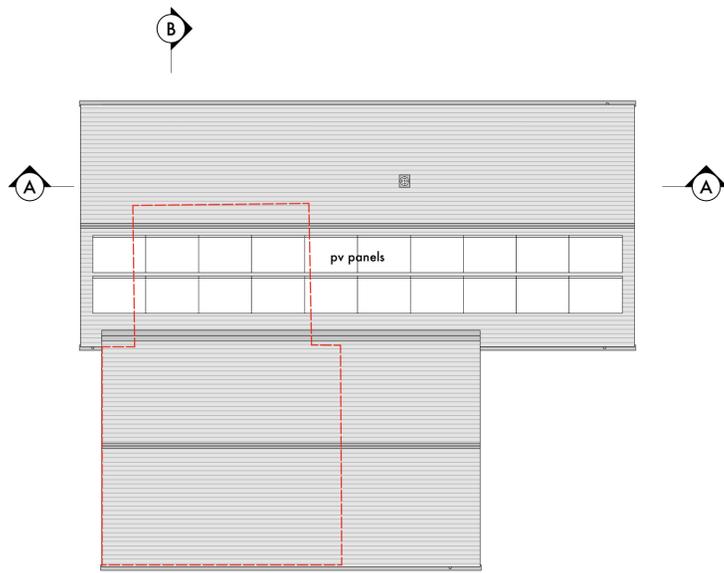
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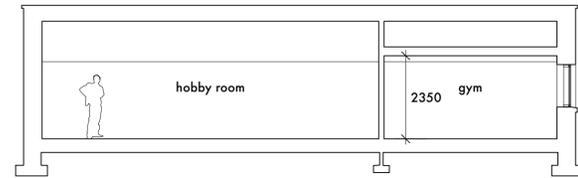
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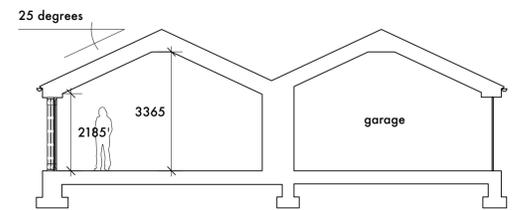
revision	date	note
A	march 2024	issued for lawful development certificate application.



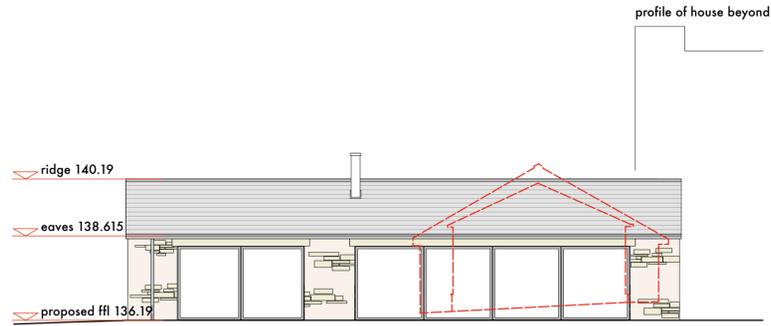
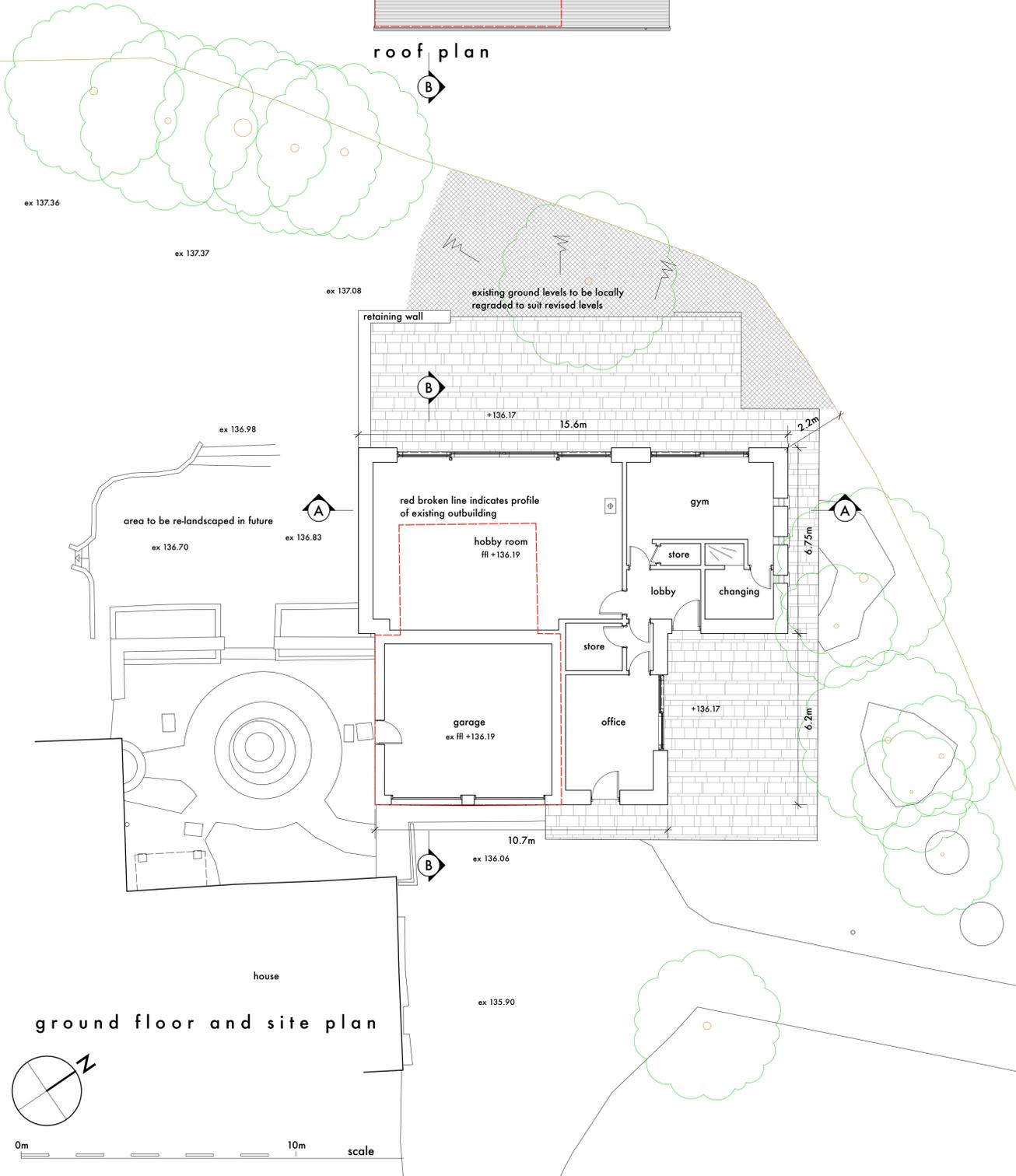
roof plan



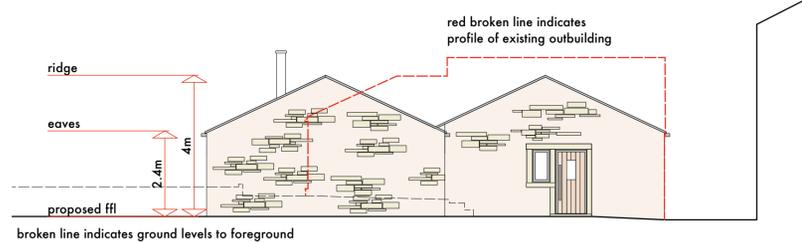
section A



section B



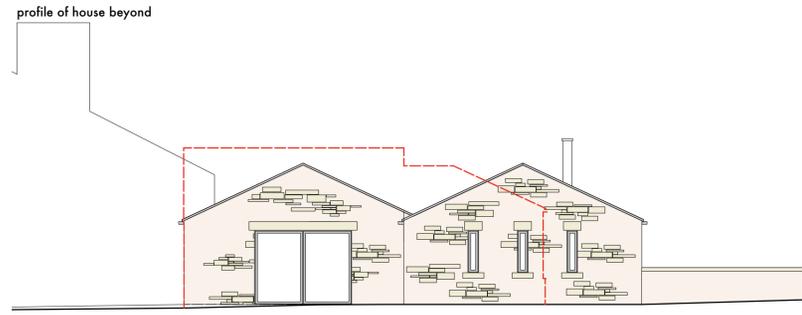
north west elevation



south west elevation



south east elevation



north east elevation

permitted development conditions

- Town and Country Planning (General Permitted Development) (England) Order 2015  
 Schedule 2: Part 1 Class E - Outbuildings are permitted development so long the following conditions are met: -
- permission to use the dwellinghouse as a dwellinghouse has not been granted only by virtue of Class G, M, MA, N, P, PA or Q of Part 3 of this Schedule (changes of use).
  - the total area of ground covered by buildings, enclosures and containers within the curtilage (other than the original dwellinghouse) does not exceed 50% of the total area of the curtilage (excluding the ground area of the original dwellinghouse).
  - no part of the building would be situated on land forward of the principal elevation of the original dwellinghouse
  - the building would not have more than a single storey
  - the height would not exceed 4 metres in the case of a building with a dual-pitched roof
  - the eaves of the building would not exceed 2.5 metres
  - the building would not be situated within the curtilage of a listed building
  - it does not include the construction or provision of a verandah, balcony or raised platform
  - the total area of ground covered by buildings, enclosures, pools and containers situated more than 20m from any wall of the dwellinghouse would not exceed 10 sqm.
  - any new building must not itself be separate, self-contained, living accommodation and must not have a microwave antenna.
- Schedule 2: Part 14 Class A - Solar equipment is permitted development so long the following conditions are met: -
- equipment on a building should be sited to minimise the effect on the external appearance. On a pitched roof, panels should not project more than 200mm from the roof slope.

garden curtilage: 3940sqm proposed gross external area: 172sqm

the elevation fronting green lane is considered to be the principal elevation of the original dwellinghouse

**SA stanton andrews architects**

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project: Summerfield drawing number: 22.06

name: Proposed Site, Plan and Elevations

scale: 1 to 100 @ A1 date: february 2024 status: lawful development certificate

**LDC.01**

Chartered Practice