

CONSTRUCTION TRAFFIC MANAGEMENT PLAN (CTMP)

Chaple Hill, Longridge

Introduction

This CTMP has been prepared as required by Condition 9 of the planning approval (Ref 2/2021/1262) for the construction of 4no. commercial units (Use Class E). on land at the North of the Chapel Hill site Longridge. This CTMP will cover all phases of the construction, from site clearance and earthmoving to building construction and fit-out.

Site Management Contact Details will be as follows:

Ste Manager: Mr J Ayrton

Email Address: [REDACTED]

Tel Number: [REDACTED]

CONSTRUCTION TRAFFIC MANAGEMENT PLAN

SITE ADDRESS

Land at the North of the Chapel Hill site, Longridge PR3 3BU

BRIEF DESCRIPTION OF THE WORK.

*Construction of a development comprising 4no. commercial units (Use Class E) with associated access road, car parking and servicing areas. The proposed Site Layout Plan is reproduced at **Annex 1**.*

WORK PROGRAMME

*Commence late summer 2024 subject to discharge of pre-commencement planning conditions. Anticipated that construction will take circa 24 months. The proposed construction programme is included at **Annex 2**.*

DAYS AND HOURS OF SITE OPERATION

Monday to Saturday – 8:00am to 5:00pm. In addition, there will be no material haulage or construction related transport/deliveries between the hours of 08:30 to 09:30 and 15:00 to 16:00.

ROUTEING OF LOADED VEHICLES

See routing plan below.
All loaded and unloaded vehicles will access the site to/from the South – via Chapel Hill, the Chapel Hill/Preston Road (B6244) roundabout and Preston Road to/from the south.

Before commencement of development, the applicant will undertake a joint survey with Lancashire County Council Highways to determine the condition of the Chaple Hill carriageway, with a similar survey undertaken on completion of development. Should there be any damage attributable to the construction operations then this will be made good and returned back to pre-construction conditions.

INORMATION

HGV vehicles will be under the direct control of the main contractor and sub-contractor – drivers will all be made aware of the agreed routeing plan and that waiting on Chaple Hill is not permitted, either laden or unladen.

SITE ACCESS

Access to the site will be by the existing site access onto Chapel Hill. All loading/unloading operations will take place within the site. There will be no loading/unloading operations or storage of materials within the public highway.

*A Site Management Plan is included at **Annex 3** which illustrates proposed storage and compound areas together with the location of the proposed wheel wash facilities.*

In addition, the internal site access road will be constructed to at least basecourse level prior to commencement of construction.

MAINTAINING CLEANLINESS OF THE HIGHWAY

The Contractor will take all necessary measures to ensure that any mud/detritus originating from the site is not deposited on the public highway. Such measures will include a jet wash facility ensure the wheels of vehicles are cleaned before leaving the site. In addition to the wheel washing, The Site access road in particular and other adjacent highways as necessary will be mechanically swept at regular frequencies as necessary and whenever directed by Lancashire County Council Highways to avoid the possibility of the public highway being adversely affected by the illegal deposit of mud, dust and loose materials.

EXISTING WAITING AND LOADING RESTRICTIONS

There are no existing waiting/loading restrictions in force in the immediate vicinity of the site. However, there will be no parking of site construction or operatives vehicles within the highway on Chapel Hill or the Existing site access road at any time during the period of construction. Site operatives will park in the designated area within the site. This will be proactively managed by the site management team.

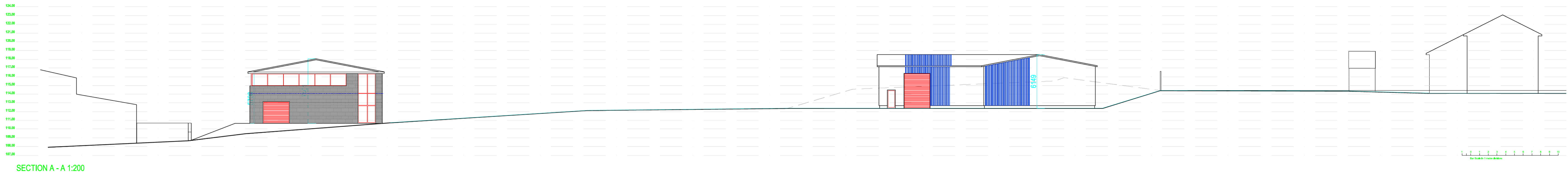
GENERAL MANAGEMENT ISSUES

The CTMP will be put in place prior to commencement on site and will be reviewed during the construction period to ensure that it remains appropriate, particularly if any unforeseen issues arise. The Site Manager will be responsible for this and for liaison with the highway authority should any issues arise.

The Site Manager will also be the point of contact for local businesses and residents.

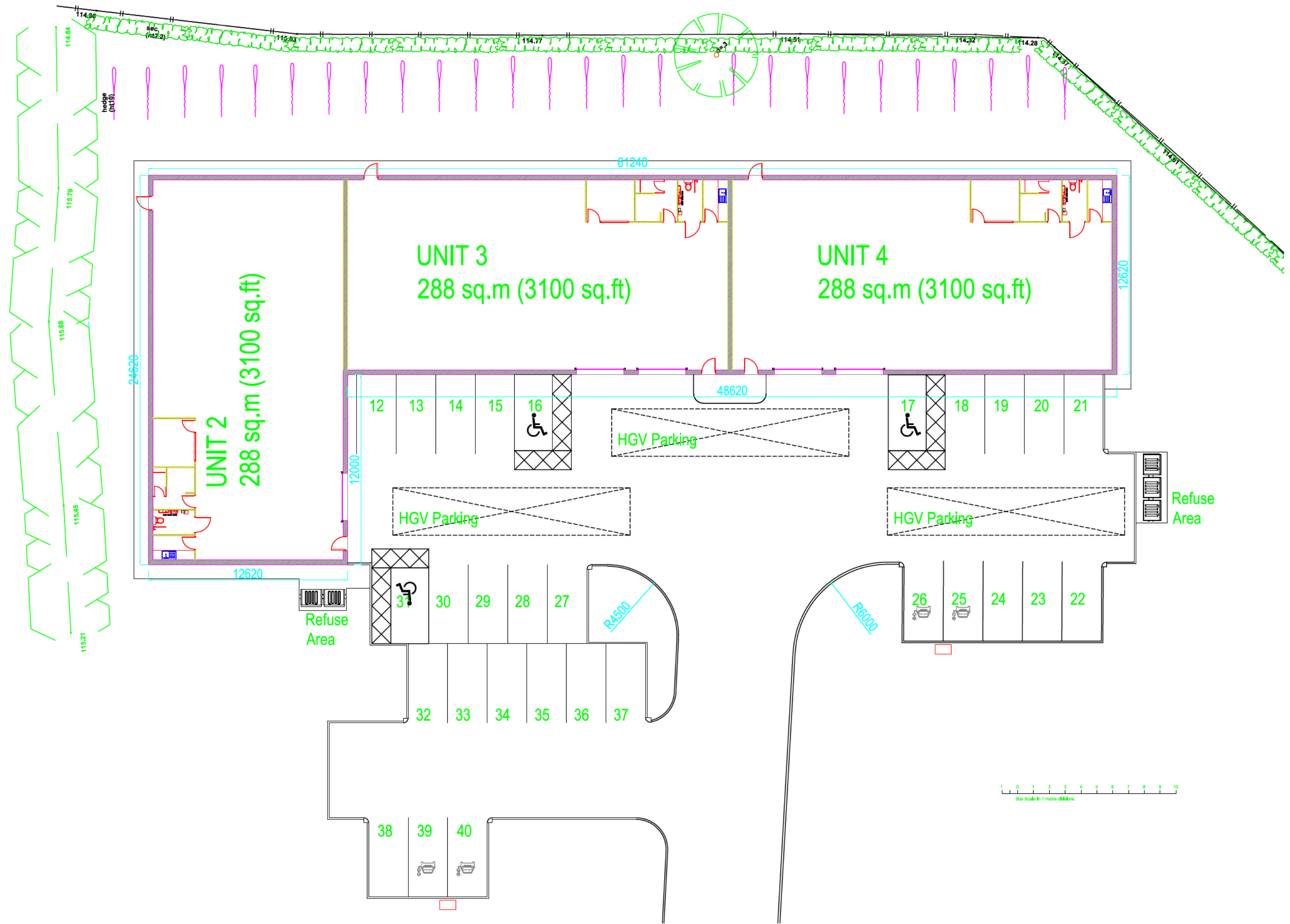
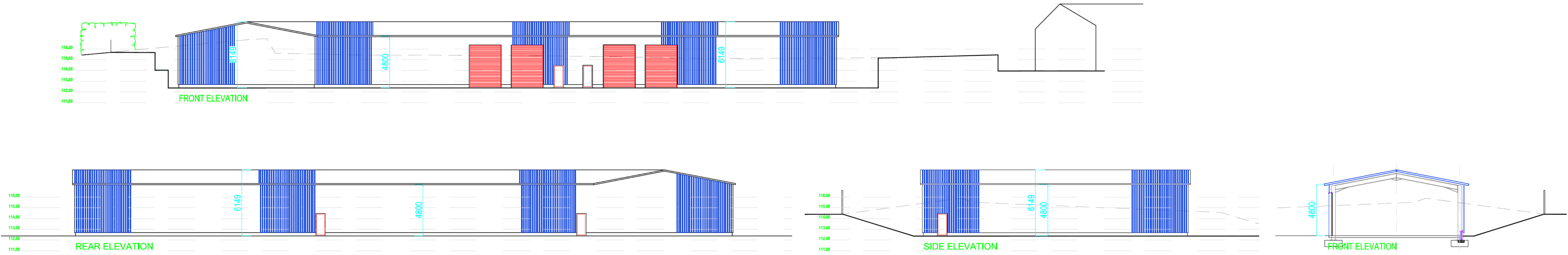


Annex 1 – Proposed Site Plan



New hedge to Northeast boundary consisting of Hawthorn, Blackthorn, Holly, Hazel and Beech planted in a staggered double row 40 centimeters (cm) apart with a minimum of 6 plants per meter.

All area to the Northwest between Unit 1 and Units 2-4 to be grass, banking to rear of Units 2-4 to be grassed between footpath and new hedge



Unit 1

Walls:- Facing brickwork, Red colour

Roof:- Kingspan KS1000RW Trapezoidal Pitched Roof System, Goosewing Grey BS10 A 05 RAL 080 70 05

Windows & Doors:- Aluminium Anthracite RAL 7016

Roller Shutter Doors:- Insulated Anthracite RAL 7016

Downpipes:- 100mm dia colour Anthracite RAL 7016

Units 2 - 4

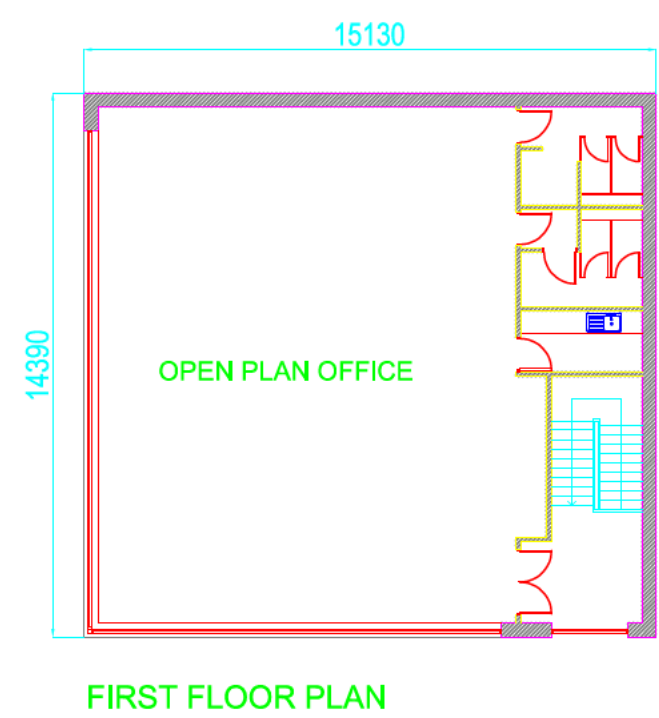
Walls:- Kingspan KS1000RW Trapezoidal Wall Panel System, vertically installed, Goosewing Grey BS 10 A 05 RAL 080 70 05

Roof:- Kingspan KS1000RW Trapezoidal Pitched Roof System, Goosewing Grey BS 10 A 05 RAL 080 70 05

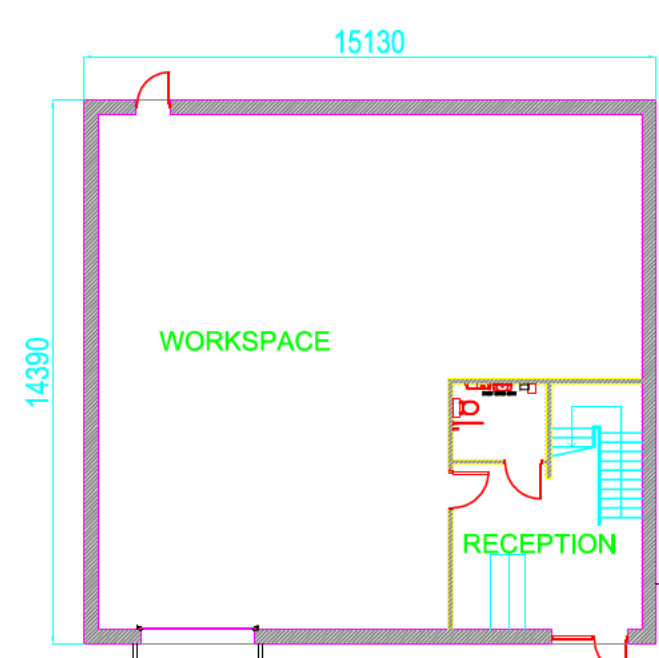
Roller Shutter:- Insulated colour red RAL 3000 or 3001

Personnel Doors:- Steel faced security doors colour red 3000 or 3001

Downpipes:- 100mm dia colour Goosewing Grey BS10 A 05 RAL 080 70 05

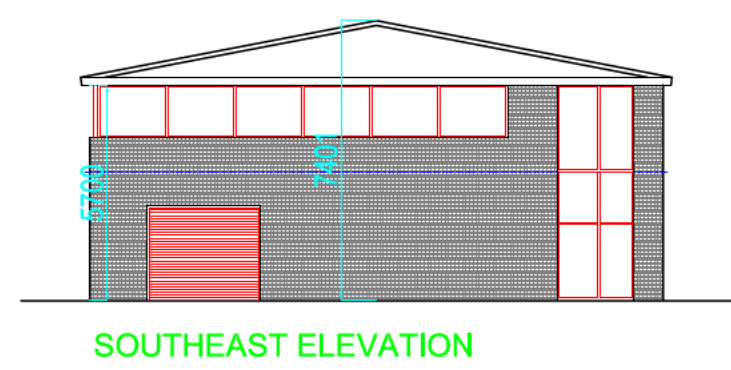


FIRST FLOOR PLAN

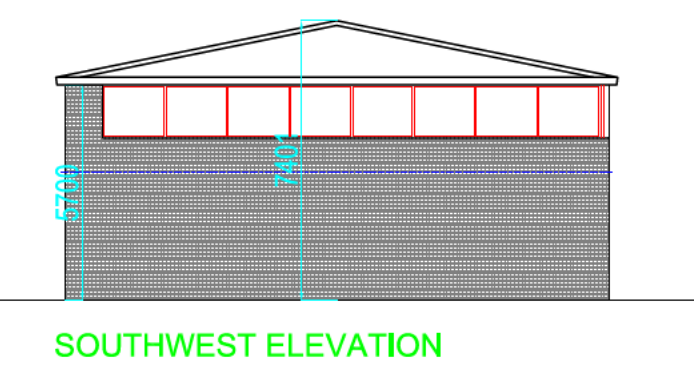


GROUND FLOOR PLAN

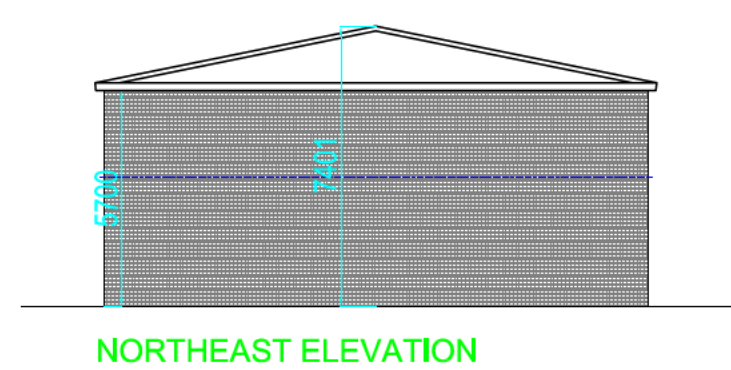
UNIT 1
196 sq.m per floor
392sq.m (4220 sq.ft)



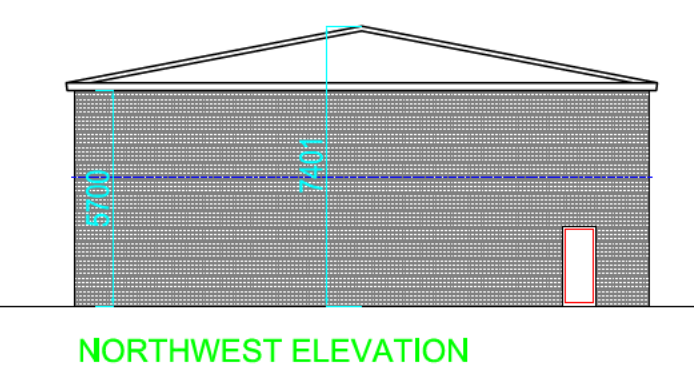
SOUTHEAST ELEVATION



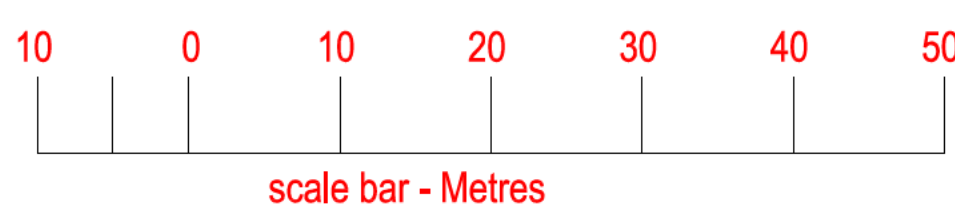
SOUTHWEST ELEVATION



NORTHEAST ELEVATION



NORTHWEST ELEVATION



Rev C	24.03.22	Parking Spaces Added, Road width increased and HGV Parking spaces indicated, EV Charge points added
Rev B	12.01.22	Material specifications added
Rev A	07.01.22	Additional dimension added

Amendments

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Architectural
& Building
Design
Consultant
Jan Pawson Ltd, 26 Essex Street, Barnoldswick, Yorkshire, BB18 5DT
Tel: 01524 814148
E-mail: info@janpawson.com
www.janpawson.com

Client:
WILLIAM PYE LIMITED

Project:
LAND AT CHAPEL HILL,
LONGRIDGE, PRESTON PR3 3BU
PLANS & ELEVATIONS AS PROPOSED

Scale:	1:200 1:500	Drawing No.	Am.
By:	I Pawson		
Date:	Oct 2021	3	C
Job No.	4021 /		

Annex 2 – Construction Programme - to be added when available

new hedge to Northeast boundary consisting of Hawthorn, Blackthorn, Holly, Hazel and Beech planted in a staggered double row 40 centimeters (cm) apart with a minimum of plants per meter.
If area to the Northwest between Unit 1 and Units 2-4 to be grassed, banking to rear of Units 2-4 to be grassed between footpath and new hedge.

Compound/Welfare /Storage

Wheel Wash Area

Car Park at WP Offices



Proposed Site Management Plan

