

23rd May 2024

The Planning Department
Ribble Valley Borough Council
Council Offices
Church Walk
Clitheroe



Our ref: LJC275

Your ref: -

By email only

Dear Sir/Madam,

**RETENTION OF AGRICULTURAL BUILDING, ASSOCIATED HARDSTANDING, GATES AND
PILLARS
STELLA MARIS, ALSTON LANE, LONGRIDGE**

I am pleased to enclose a full planning application, made retrospectively, on behalf of my clients, Mr & Mrs Rich, for the retention of an existing agricultural building on land at Stella Maris, Alston Lane, Longridge.

The application has been made via the Planning Portal (ref - PP-13089760) and is supported by the following drawings:

- Location Plan 0593/93 00C
- Existing Site Plan 0593/93 03C
- Proposed Site Plan 0591/93 12F
- Proposed Floor Plan 0593/93 10B
- Proposed Elevations (Sheet 1) 0591/93 15B
- Proposed Elevations (Sheet 2) 0591/92 16B

Introduction & planning history

This submission is made retrospectively and seeks planning permission to retain an existing agricultural building and its associated infrastructure, as built.

In 2021 an application for Prior Approval (ref – 3/2021/0029) was granted for an agricultural storage building. A subsequent application was made earlier this year (ref – 3/2024/0062) to retain a hardstanding area which had been created around the aforementioned building.

During consideration of the latter submission, the case officer noted that there were differences between the approved drawings and the development as built, and that gates (with associated pillars) had been erected at a height which would require planning permission. Accordingly, it was recommended that a fresh application be made to regularise all of these elements.

Site description & proposals

The site comprises an existing agricultural building located immediately to the south of Stella Maris. It is enclosed by a combination of dry stone walling, post and rail fencing and hedgerows. Access is taken directly from Alston Lane via the newly formed gateway.

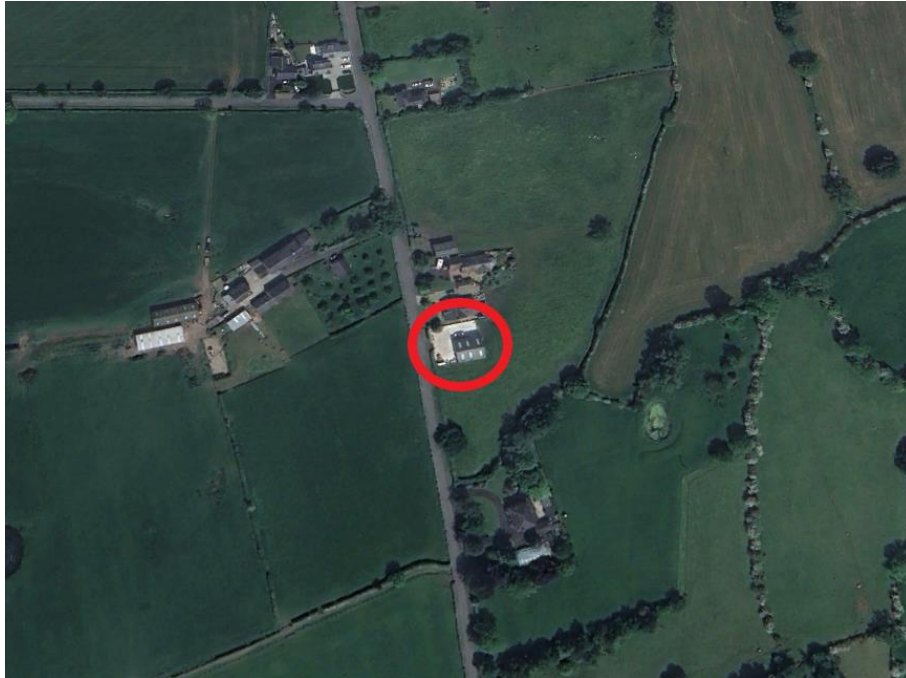


Figure 1 – site location

As referenced above, it is sought to retain the development in its current guise. The remainder of this supporting statement will demonstrate that the scheme is compliant with all relevant local and national planning policies and that permission should be granted.

Policy context

Section 38(6) of the Planning and Compulsory Purchase Act 2004 refers to the development plan as a whole and requires that application be determined in accordance with the plan, unless material considerations indicate otherwise.

The development plan in this instance comprises the Ribble Valley Core Strategy, adopted in December 2014. The site lies within the open countryside, as shown in the policy map excerpt below.

Accounting for this designation, the following policies of the Core Strategy are engaged:

- **Key Statement DS2** confirms that the Council will take a positive approach to sustainable development, as set out in the National Planning Policy Framework;
- **Policy DMG1** sets out various criteria to be considered in assessing planning applications and requires new development to deliver a high standard of

design, be sympathetic to existing land uses, acceptable in terms of highway safety and should not adversely affect the amenities of the area;

- **Policy DMG2** confirms that new development should be in accordance with the Core Strategy development strategy and should support the spatial vision. With the countryside proposals will be expected to be in keeping with the character of the landscape. The size, design and siting of new buildings should be in keeping with the character of the area; and
- **Policy DME2** seeks to ensure that important landscape features (walls, meadows, pastures and woodland) are retained and that the scale, form and use of materials in new development contributes to the character of the area.



Figure 2 – HED DPD Proposals Map

Appraisal

The various components of the application will be considered below, in the context of these policy requirements.

The building

The overall scale, form and massing of the building remains as originally considered in application 3/2021/0029. It stands 3.6m in height to eaves, 5.7m to ridge level and the footprint is 12.1m by 13.8m.

The most notable differences to this earlier submission are the location of the building within the plot and the arrangement of doors to the west and north facing elevations. The plan excerpt below shows the current position of the building when compared to the previously submitted plans. As is evident, the structure now sits marginally further to the north west, the visual and landscape impacts of which are negligible.



Figure 3 – development as approved and as built

It should also be noted that the applicant has created a smaller associated curtilage, bringing the fencing to the eastern and southern boundaries in line with the respective elevations of the building. As such the projection into the surrounding countryside is reduced in this respect, creating a more compact form of development, which again raises no undue concerns.

In light of these factors, the retention of the structure as built raises no conflict with the relevant policies of the Core Strategy.

Hardstanding

The new hardstanding has been created around the perimeter of the building to ensure that vehicles can leave the site without carrying debris into the surrounding highway network and for general ease of movement.

Surfacing of this nature is common around agricultural buildings and raises no undue visual impacts, accounting for its modest size and the limited public vantage points from which it would be seen. Accordingly, this element of the development presents no conflicts with the Core Strategy.

Gates and pillars

Two natural stone pillars (standing 2.45m in height), with a sliding composite gate (2m in height) have been erected at the site entrance, as shown in the photograph below.



Figure 4 – existing gates and pillars

The pillars are flanked by mature hedgerows of a similar height and as such, the gates only become visible when passing this short stretch of Alston Lane, as shown in the images below.

This first image is looking north, with only the uppermost point of the pillars visible above the hedge (as shown by the red arrow). The gates cannot be seen, being set back from the highway edge. The same can be said looking south (Figure 6), with neither element immediately evident until standing directly adjacent to the entrance.



Figure 5 – view looking north on Alston Lane



Figure 6 – view looking south on Alston Lane

The gates cannot therefore be said to be unduly prominent or incongruous in this setting, with high quality materials used which are sympathetic to other walls and means of enclosure in the vicinity.

As such, this element of the scheme is considered to be in compliance with the requirements of the Core Strategy, and is therefore acceptable.

Other matters

Highway safety

The development raises no undue issues with regard to highway safety or capacity. The provision of a concrete apron around the building will avoid debris being carried into the adjacent road and the provision of sliding gates means there is no adverse impact in this regard.

Residential Amenity

The relocation of the building and the additional, minor elements which have been applied for in this submission, result in no unacceptable impacts for adjacent neighbours due to the level of physical separation in this rural location.

Flood Risk

The site lies within Flood Zone 1 and the development is therefore at low risk in this regard.

Summary

It has been demonstrated that the development is wholly compliant with the relevant, up to date policies of the Ribble Valley Core Strategy. Additionally, no material considerations have been identified which would warrant the withholding of planning permission.

Accordingly, the presumption in favour of sustainable development should be applied and permission should be granted without delay, in accordance with Key Statement DS2 of the Core Strategy and paragraph 11 of the Framework.

If you require any further information to assist in your assessment of the proposals, please feel free to contact me.

Yours sincerely

Lee Greenwood

LJG Planning Consultancy