

Peter Hitchen Architects

Peter Hitchen Architects Ltd

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The Sidings Business Park
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Lancashire
BB7 9SE
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Discharge of planning conditions evidence document.

This document and accompanying sheets support the application to discharge the following outstanding planning conditions prior to their installations on site. This should read in association with the decision notice for application 3/2023/0521.

Condition 7 :

The building works shall be carried out in strict accordance with the Structural Appraisal dated May 2023 and no other elements shall be removed/demolished at any time.

For the avoidance of doubt a full schedule of all works to be undertaken shall be submitted to and approved in writing by the Local Planning Authority prior to any additional works being undertaken and further to the recommendations set out in the Structural Appraisal. This schedule of works shall allow for limited repair and replacement only, and shall include details of any proposed reconstruction and repair including joints and cracking, replacement heads and cills, re-roofing, replacement roof trusses, ceiling joists and purlins, first floor and ground floor construction.

The repair works shall be undertaken in accordance with the approved details.

Reason: To ensure the amount of demolition and reconstruction required to convert this building into residential use is limited and that full details of the repair works necessary are known, to retain as much of the historic fabric as possible.

Following the structural appraisal we confirm a schedule of works to the existing structure following the planning approval and commencement of site operations after subsequent investigations at high level. Refer to the drawing showing the window schedule submitted with this application also. These can be summarised as follows :-

1. Re-building of the gable at high level due to a substantial lean and instability of this section of wall. Reclaimed natural stone used and the owl hole re-instated.
2. Re-built section (approx. 4sqm) to the west gable where localised cracking evident as per the structural engineers report

3. Replacing all modern shuttered concrete heads and jambs to the windows to ensure the original appearance of the barn is maintained using shot blasted natural sand stone ensuring an old weathered appearance
4. Replace rotten and decayed roof members as necessary including rafters and purlin sections. Timber purlins replaced of same dimensions. Existing rafters in extremely poor condition due to distortion (weight of the concrete tiles) and rot. New rafters installed for the replacement natural slate finish.
5. The roof trusses have all remained intact as they showed no evidence of rot or decay.
6. Removal the existing collapsed structure and stone tiles complete to the shippin area and all replaced with new supporting structure to maintain the 'cat slide' roof formation. Natural slate finish to continue to the eaves as per the details included in this statement.





Condition 8:

Precise specifications of all windows and doors, both cart door openings and rooflights including elevations, cross – sections, reveals, glazing type, opening mechanism and surface finishes shall have been submitted to and approved in writing by the Local Planning Authority before their use in the proposed development.

The submitted details shall demonstrate that all doors and windows, with the exception of the bi-folding doors and windows on the rear elevation to serve the lounge and kitchen/dining /siting area on the southwest projections, are to be constructed in timber.

The approved openings shall thereafter be implemented in strict accordance with the approved details and retained as such in perpetuity.

Windows: All Windows for the property to be timber framed made from either oak or accoya similar to the doors. Quotes are currently being obtained from the selected supplier.

General Window Specification:

Frame: Traditional flush casement (sashes)/Paint tbc/ Accoya

Glass: 4MM Softcoat -16mm Black warm edge (Argon)- 4mm Low Iron (24.0mm)

Details for the window/door reveals are shown on drawing reference PHA/830/A4.6. Internally the windows will have splayed reveals to allow extra light into the property which is a traditional method for barn conversions.

Refer also to the elevation drawings ref PHA/830/A3.3 & A3.4 showing the arrangement and demonstrating the window/aluminium colour to be incorporated in the works. Reference to be made also to drawings PHA/830/A4.8 & A4.9.

Details for the powder coated sliding doors to the south elevation are included on the supporting sheets from Express bi-folding doors with regard to their technical information etc. The applicant is committed to installing this product which is in line with the approval description.

The aluminium powder coated frames to the south elevation will be RAL 7012. The timber windows will receive a final paint finish to match this colour.



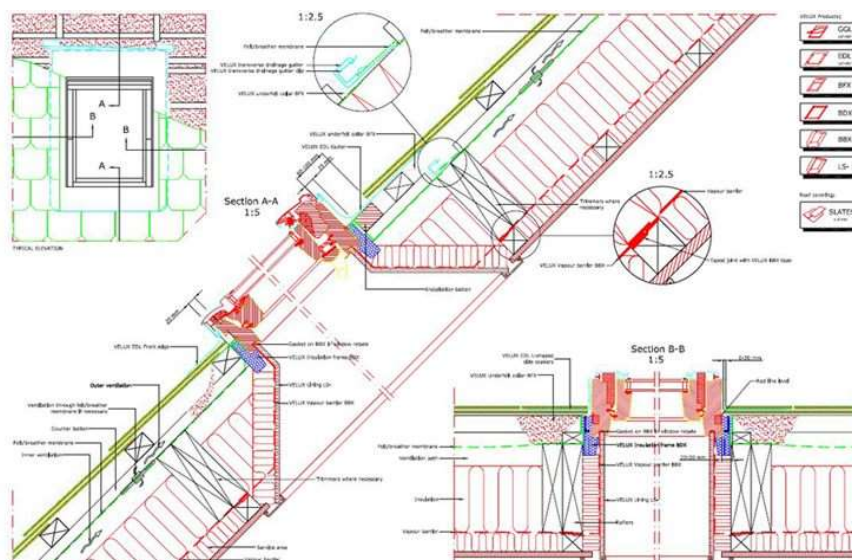
RAL 7012



Timber framing arrangement - head of frame to match the curvature of the original cart door openings (Colour as above)



Typical image for the velux roof window installation



Typical velux window detail with splayed reveals internally

Condition 9:

Notwithstanding the submitted details, specifications or samples of any external walling, heads/cills, roofing/ridging materials, render and external floor surfacing shall have been submitted to and approved in writing by the Local Planning Authority prior to their use in the proposed development. The development shall be carried out in strict accordance with the approved details and retained as such in perpetuity.

Reason: In order to ensure that the detailed design of the proposal safeguards the special architectural and historic interest of the building, the character and appearance of the area and that the detailed design of the proposal is appropriate to the locality area.

Exterior Stone: For the external walls of the sections which need to be re-built/restored the stone to be used for the exterior will be natural sandstone which has been locally reclaimed.

Most of this will be reclaimed directly from site but for any other stone needing to be brought in ,another suitable reclaimed sandstone such as below will be used.

The heads and cills for the windows will all be in natural stone (150mm square section) traditional and sized accordingly for the openings.



Reclaimed Random Rubble Sandstone sourced from local supplier as necessary

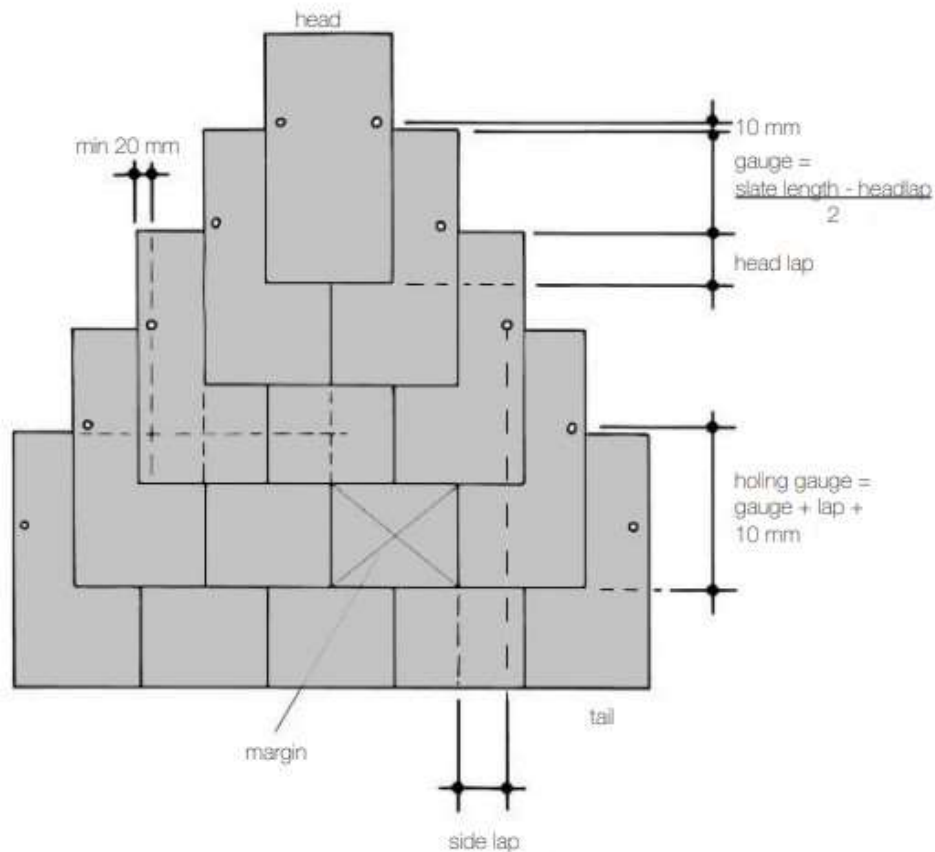


Typical detail of a natural stone cill

Roof Slate: The Proposed replacement natural slate (the existing is a concrete tile to the main barn and grey stone slate over the shippons) for the roof is the Passaro SS56F Ultra Grade Spanish Natural Slate in Blue/Grey (600 x 300mm) and a sample has been left at the council offices. This is a vernacular slate. The slates will be fixed in accordance with the submitted fixing guide document The ridge tiles will be dark grey clay dry ridge system.



Proposed Natural Spanish Slate



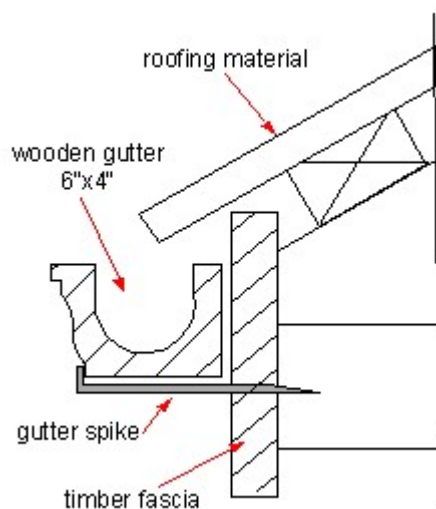
Fixing arrangement for the natural slate

The external pavings will be reclaimed stone flags from the site to be supplemented by reclaimed in order to blend.

The high level guttering to the north elevation will be fixed back to the building utilising the existing stone corbel supports.

Fascia Boards: Fascia boards will only be applied to the lower level and will be external grade traditional timber boards stained or painted black to match with the proposed black aluminium guttering and brackets. The proposed boards will be of a similar style to that shown below.

<https://www.mstc.co.uk/sawn-carassing-planed-one-face-celcured-21x200-70-pefc-certified-bmt-pefc-0277-21200cepefc>



Typical detail for the fascia at the lower level (south elevation)

External surfacing: The external pavings will utilise the existing stone slabs from within the existing barn and supplemented with Indian stone to create a blend across the patio area and perimeter of the barn

Condition 11:

Details of all artificial lighting shall have been submitted to and agreed in writing by the Local Planning Authority prior to installation. The submitted details shall include type and intensity of lighting and its potential impact on roosting and foraging of protected/species of conservation concern and light pollution in the area together with suitable mitigation. The scheme shall have been completed in accordance with the approved details prior to occupation of the dwelling.

Reason: In order to prevent any harmful impact on wildlife and habitat and the open countryside.

Refer to the elevations included with the application for the positions of the external lights and the design/spec data sheet included also.

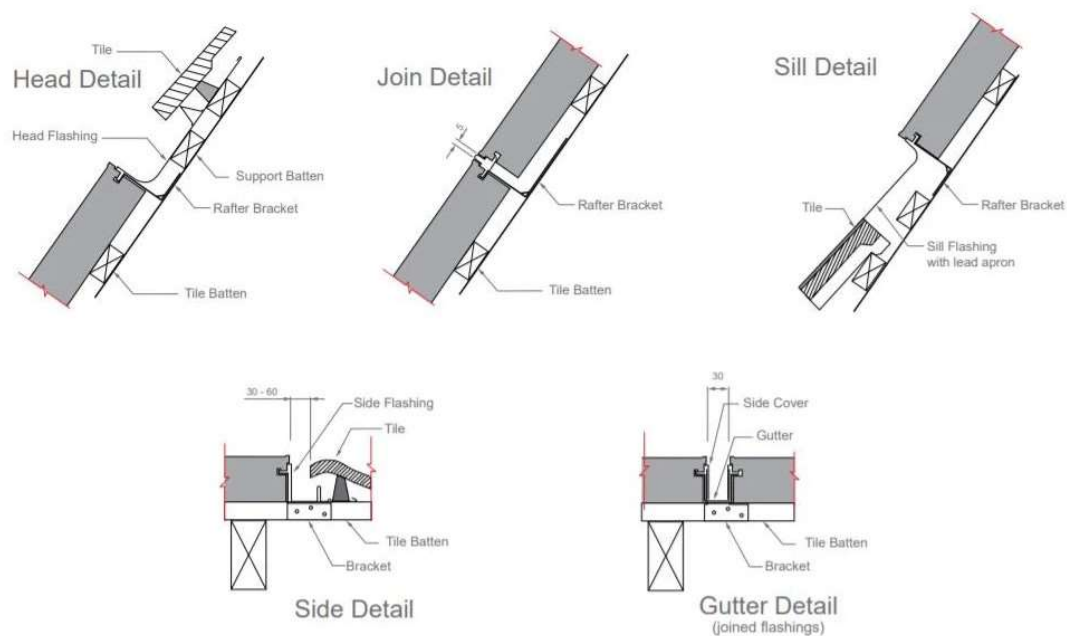
Condition 17:

Details of the solar panels as shown on the approved plans shall have been submitted to and approved in writing by the Local Planning Authority prior to installation. The submitted details shall include materials, type and profile. The scheme shall be completed in accordance with the approved details.

Reason: In order to ensure that the detailed design of the proposal safeguards the special architectural and historic interest of the building, the character and appearance of the area and that the detailed design of the proposal is appropriate to the locality area.

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Refer to the quotation and details below to support this application demonstrating the type/specification of the black framed solar pv panels to be incorporated as integrated into the roof and as per the arrangement on the approved elevations as a single row.



Details for the integrated solar PV array on the south slope