

[REDACTED]

From: Contact Centre (CRM) <contact@ribblevalley.gov.uk>
Sent: 15 September 2024 14:46
To: Planning
Subject: Planning Application Comments - 3/2024/0491 . 3/2024/0492 FS-Case-647208731

[REDACTED]

[REDACTED]

[REDACTED]

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Planning Application Reference No.: 3/2024/0491 . 3/2024/0492

Address of Development: Beacon Cottage
Carr Lane
Balderstone
BB27LN

Comments: Subject: Objection to Planning Applications 3/2024/0491, 3/2024/0492, and 3/2021/0379

Dear Ribble Valley Borough Council,

I am writing to formally express my concerns regarding planning application numbers 3/2024/0491, 3/2024/0492, and 3/2021/0379.

It has come to my attention that the applicant has repeatedly failed to adhere to local planning regulations, with various outbuildings being erected without prior planning approval. In the case of the aforementioned applications, these buildings were only submitted for retrospective planning permission after local residents raised the issue with the council. I believe this approach is unfair and sets a concerning precedent, particularly in a residential area such as ours.

The visual impact of these outbuildings is detrimental to the surrounding neighbourhood, giving the area an industrial appearance, which significantly compromises the residential character and scenic views. The current application refers to the use of a storage shed or outbuilding for the keeping of hens and wood, but I understand that these structures were part of previous applications, which have already been approved. I am also aware that the applicant is currently using the outbuildings as workshops, complete with access to mains water and electricity.

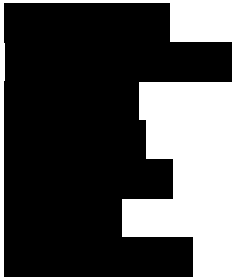
Moreover, the applicant has made local residents aware of his intention to convert these outbuildings into residential properties. I believe that granting approval for these applications would further support his plans for conversion, which would be highly inappropriate for the area.

Given these concerns, I strongly urge the council to refuse planning applications 3/2024/0491 and 3/2024/0492, as the continued presence and potential future conversion of these outbuildings would negatively impact the residential character of the area. If the council was minded to grant any

consent that it should put restrictions on permitted development rights.

Thank you for your consideration of this matter.

Yours sincerely,

A large black rectangular redaction box covering the signature area.

From: [REDACTED]
To: [Planning](#)
Subject: Beacon Cottage. 3/2024/0491 3/2024/0492
Date: 16 September 2024 13:47:12

External Email

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Good afternoon,

I have recently submitted a third-party response via the online portal, reference number 647208731. Unfortunately, I only became aware of the planning application concerning Beacon Cottage when I drove past the property this past weekend.

Additionally, I would like to point out that the sign posted by the council at Beacon Cottage had been turned around, making it difficult for anyone passing by to see. It was only after I checked the side of the post that I was able to read it. Given these circumstances, I hope that my response will still be considered, despite being submitted after the 21-day period.

Thank you for your understanding.

[REDACTED]

[REDACTED]