

Paul Snape Consulting

Mr N Forshaw

Barn at Bolton Fold Farm, Alston Lane, Alston, Longridge, PR3 3BN

Structural Condition Survey for Assessing Conversion to Storage Unit



PSC- 916-001

October 2024

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Mr N Forshaw
Structural Condition Survey
Barn at Bolton Fold Farm

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Mr N Forshaw Structural Condition Survey Barn at Bolton Fold Farm

1.0 Terms of reference

Paul Snape Consulting were appointed by Mr N Forshaw to carry out a visual structural inspection and produce a structural condition survey report for the barn at Bolton Fold Farm.

2.0 Purpose of the survey

It is proposed to convert the building to form a storage unit. A proposed layout has been prepared by ALH Design Services. Details of the proposals and of the existing layout are included as Appendix A. The visual structural survey is required to confirm the current condition of the building and to assess the suitability for conversion for residential use.

Photographic records of the building are included in Appendix B and these are referenced throughout the report.

The drainage, foundations and electrical systems of the building have not been inspected. Therefore, we are unable to confirm that these are in a satisfactory condition.

We have not inspected woodwork or other parts of the structure which are covered, unexposed or inaccessible and we are therefore unable to report that any such part of the property is free from defect.

Our inspection was undertaken on 23rd September 2024 at which time the weather was overcast but dry. The survey was undertaken by a Chartered Engineer, Paul Snape BEng (Hons) CEng MICE

3.0 Description of the Buildings

The existing building is of a steel framed construction, with steel portals supporting a cement profile sheeted, pitched, timber purlin roof. The side and rear elevations consist of timber and metal cladding, with a low concrete panel at lower levels. There is a large doorway to the northwest corner and the north elevation is open above the low concrete wall. The location of the building is indicated on the location and existing site plans in Appendix A.

4.0 External and Internal Survey

External Survey

North Elevation (Photos 1 to 2)

This elevation has a low concrete panel wall sat between the portal frames. The elevation is mainly open above the low wall (photo 1). The portal frames are set at 6m centres and are in good condition. The columns are plumb and have no sign or corrosion. The age of the building is such that the columns will be sat on suitable pad foundations. Photo 2 shows the large door

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opening at the west end with a gate on the adjacent bay. The final east bay has timber cladding above the concrete wall (photo 1). The timber cladding is in good condition with no sign of rot or infestation. The concrete wall is in good condition.

East Gable (Photo 3)

This elevation has timber and cement sheet cladding above the lower concrete wall. The timber cladding is in very good condition with no obvious sign of rot or infestation. The cement sheeting is in good condition. The corner columns and gable posts are all in good condition with no sign of corrosion. The concrete wall is in good condition.

South Elevation (Photos 4 & 5)

This elevation has metal sheeting with plastic light panels sitting above the concrete lower wall. The cladding is in very good condition. The concrete wall is in good condition. The steel columns are plumb, in good condition and do not have any signs of corrosion.

West Gable

See internal inspection below – not surveyed externally due to adjacent building obscuring.

Internal Survey (photos 6 to 16)

West Gable

The west gable is shown on photos 6 to 8 and has a greater height of concrete wall with timber cladding above. There is a small mezzanine floor supported by a steel beam with a central column (photo 7). There is a small section of concrete floor slab under the mezzanine area. The steelwork, cladding and concrete to the gable are all in good condition.

Roof and steel frames (Photos 11, 12 & 16)

As noted above the building is supported by portal frames which are set at 6m centres. The steelwork is painted and in good condition with no rust. There are twin timber ridge timbers either side of the apex with a further 4 purlins to each rafter plus the wall plate (photo 12). The timbers are in very good condition with no sign of excessive deflection. All the columns are vertical in both directions and there is no sign of movement or excessive deflection in the frames. The frame is braced as indicated on photo 12. The apex and haunch details are suitable (photo 11).

Concrete Lower Walls and Cladding (Photos 10, 13 & 14)

The lower concrete panel walls are all in good condition with no sign of damage. The cladding above is all in good condition reflecting the external surveys

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Floor (Photo 7)

The floor is a hardcore/earth floor with a short section of concrete slab in place under the mezzanine to the west gable (photo 7).

5.0 Suitability for Conversion and Method of Construction

It can be seen from the survey detailed above that this building is in a very good condition in terms of structure. There is no sign of movement to the steel frame and concrete walls. The cladding and roofing sheets are in a very good condition. It is clear that the building has been well maintained.

Proposals for the conversion have been prepared by ALH Design Services and these are included in Appendix A. The proposals are for using the building as a storage unit. The steel frame, foundations and concrete walls, could be retained together with the cement profiled sheeting to the roof. The upper sections of the walls will be re-clad or have cladding added as required. A new concrete floor will be added. A roller shutter door will be provided at the existing location at the west end of the north elevation and a further door will be added in the east gable. The proposals do not indicate any internal works other than the new floor.

The existing steel frame structure is in very good condition and the frame will not be subjected to any additional loading. The timber purlins are in good condition. The nature of the structure means that the openings introduced for the doorway in the east gable would have no effect on the structural frame and integrity of the building.

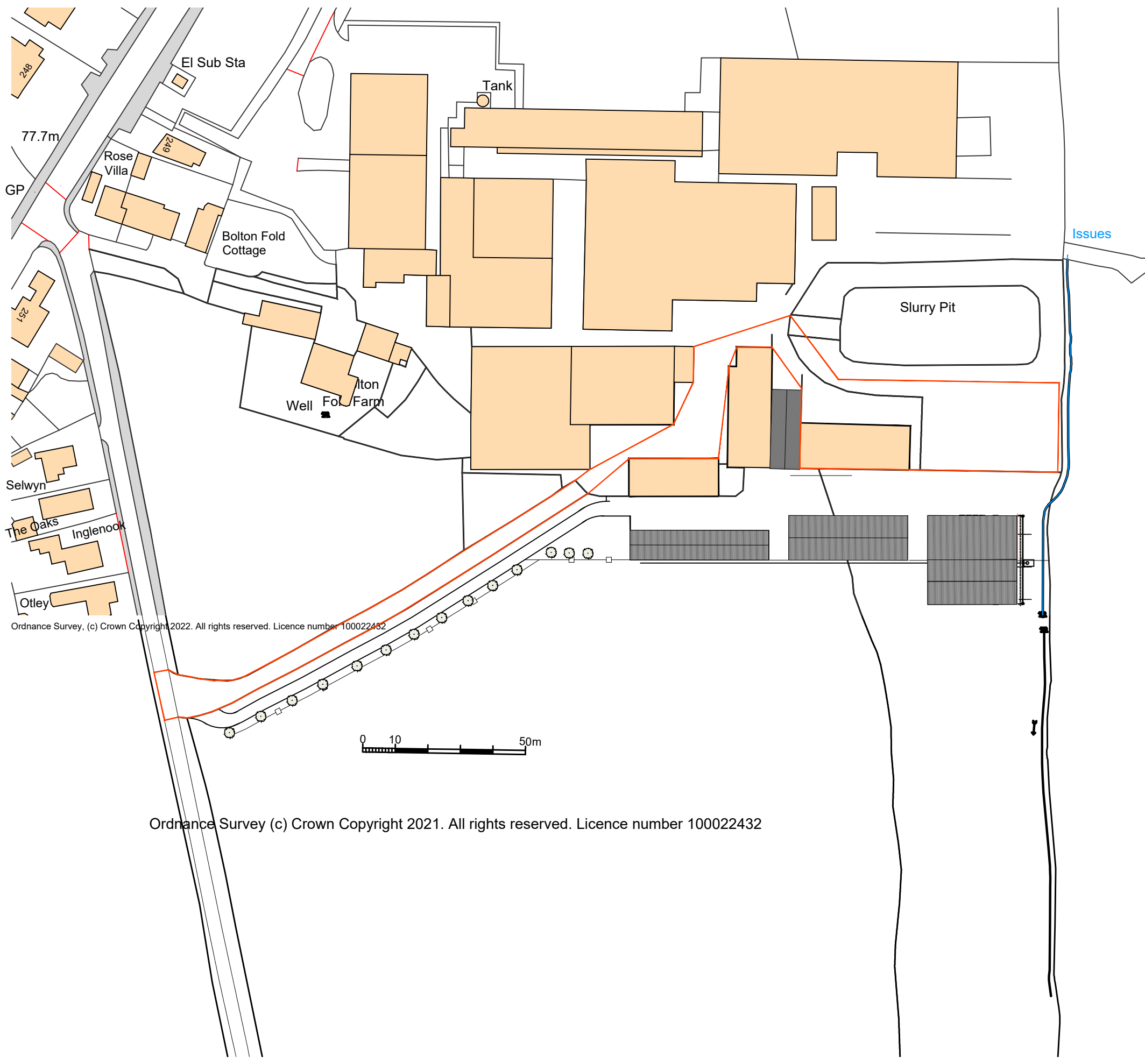
6.0 Conclusions

Given the assessment and proposed construction options briefly outlined above, it is considered that the building is suitable for partial conversion to form a storage unit without any significant rebuild. The conversion will not require any structural work to be carried out to the foundations or the steel frame. I am satisfied that the building is capable of conversion without any significant rebuilding and without requiring any works outside of the envelope of the existing building.

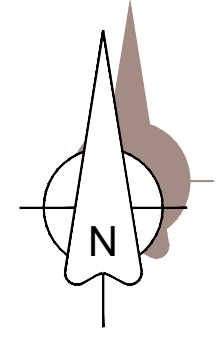
When converting agricultural buildings, it is essential that the construction techniques and sequence are carefully considered by the Architect and the final design should be assessed by a Chartered Engineer.

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Structural Condition Survey
Barn at Bolton Fold Farm

Appendix A
Existing and Proposed Layouts



NOTES
 THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS FOR THIS PROJECT. ALL LEVELS AND DIMENSIONS ARE TO BE CHECKED ON SITE BY THE CONTRACTOR, PRIOR TO PLACING ORDERS OR COMMENCING ANY OF THE RELEVANT WORKS. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS STATED OTHERWISE. ANY DISCREPANCIES BETWEEN THE INFORMATION SHOWN ON THE PLAN AND THAT FOUND ON SITE ARE TO BE REPORTED TO THE DESIGNER IMMEDIATELY.



Rev.	Date	Description
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Client
 Mr N Forshaw,
 Bolton Fold Farm,
 Alston Lane, Alston,
 Longridge,
 Nr Preston, Lancs, PR3 3BN

Job/Scheme Title
 CHANGE OF USE BUILDING AND
 YARD TO STORAGE AND
 HARDSTANDING FROM
 AGRICULTURAL

Drawing Title
 PROPOSED LOCATION PLAN

Job/Scheme Number		Drawing Number	
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1/1250	July24	a.t.l-h.	

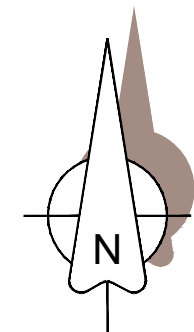
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Slurry Pit



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Job/Scheme Title

CHANGE OF USE BUILDING AND
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 HARDSTANDING FROM
 AGRICULTURAL

Drawing Title

EXISTING SITE PLAN

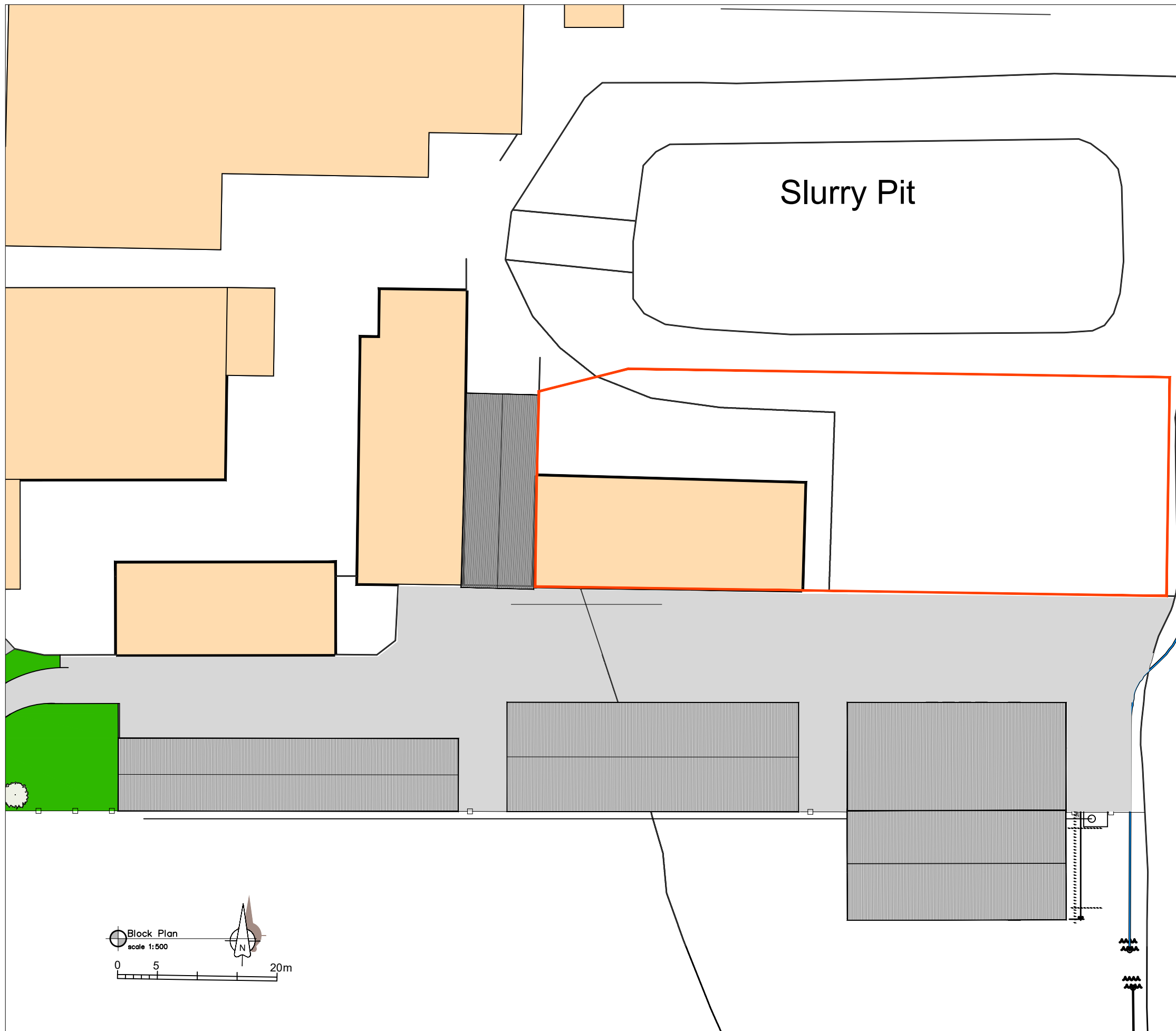
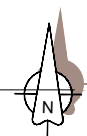
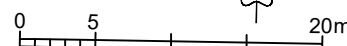
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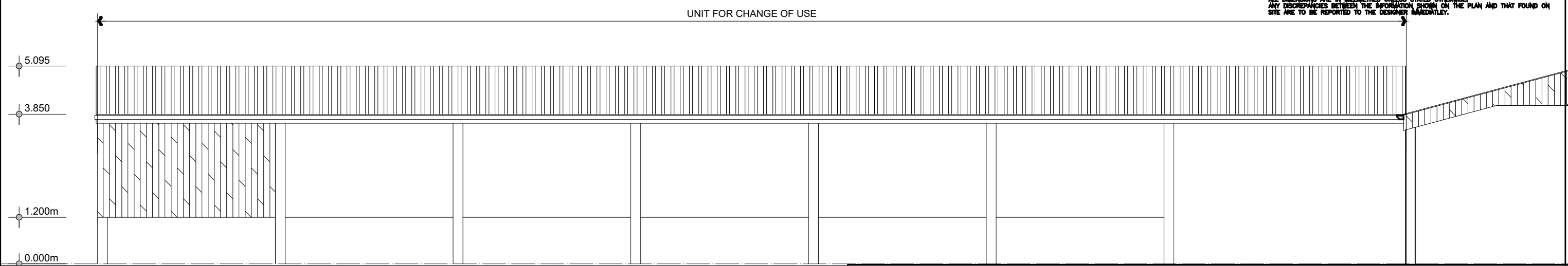
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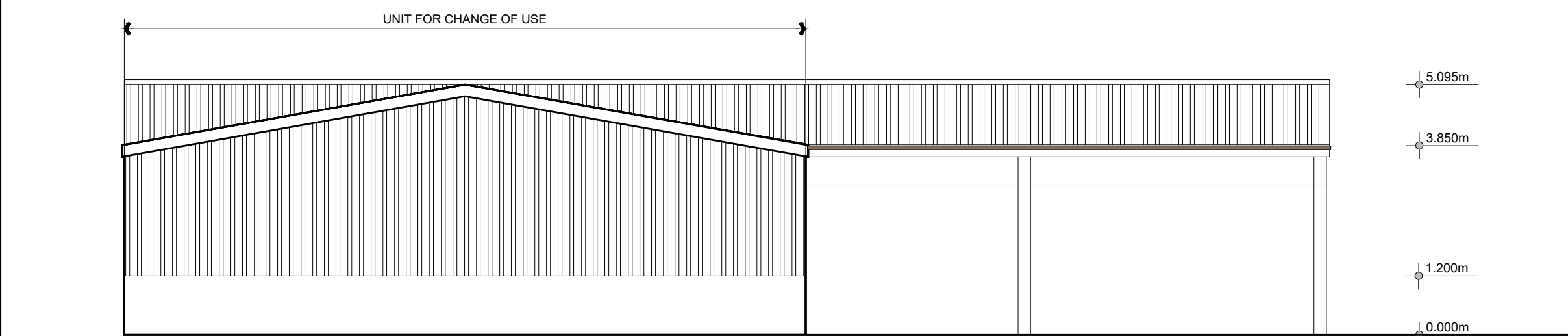
Block Plan
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FRONT ELEVATION (view A)



SIDE ELEVATION (view B)

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Job/Scheme Title
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 YARD TO STORAGE FROM
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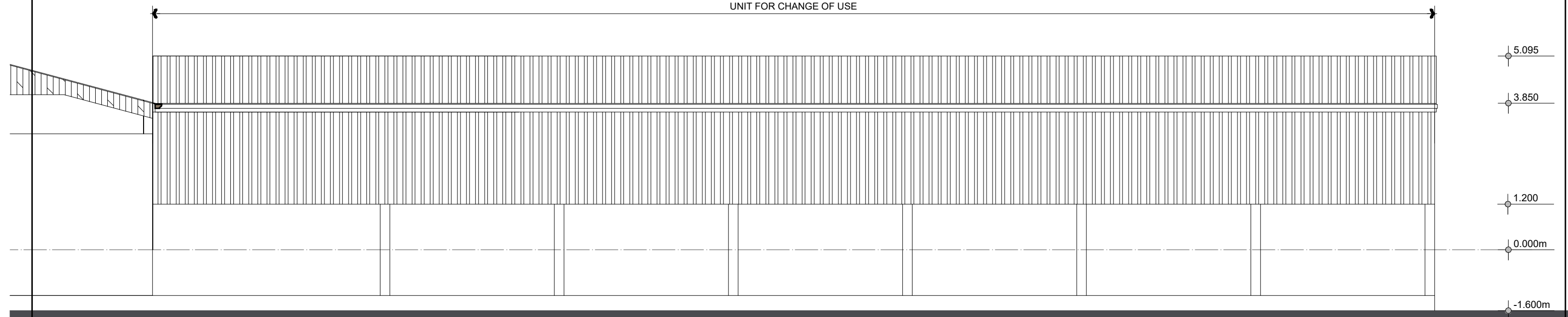
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UNIT FOR CHANGE OF USE



REAR ELEVATION (view C)

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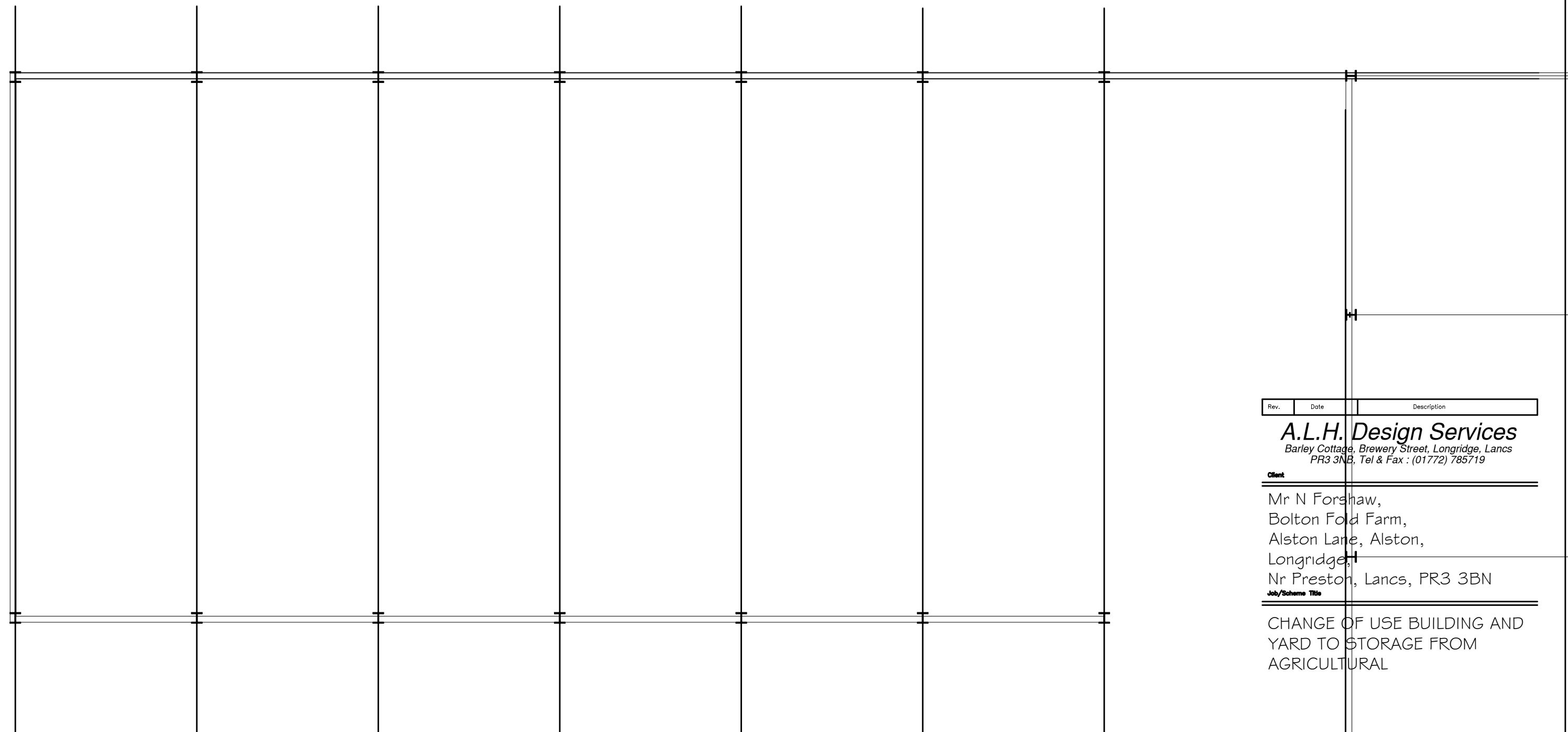
Client
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 Alston Lane, Alston,
 Longridge,
 Nr Preston, Lancs, PR3 3BN

Job/Scheme Title
 CHANGE OF USE BUILDING AND
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 AGRICULTURAL

Drawing Title
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 (Sheet 2 of 2)

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Ground Floor Plan
 scale 1:100
 0 1 2 3 4 5m

Rev.	Date	Description
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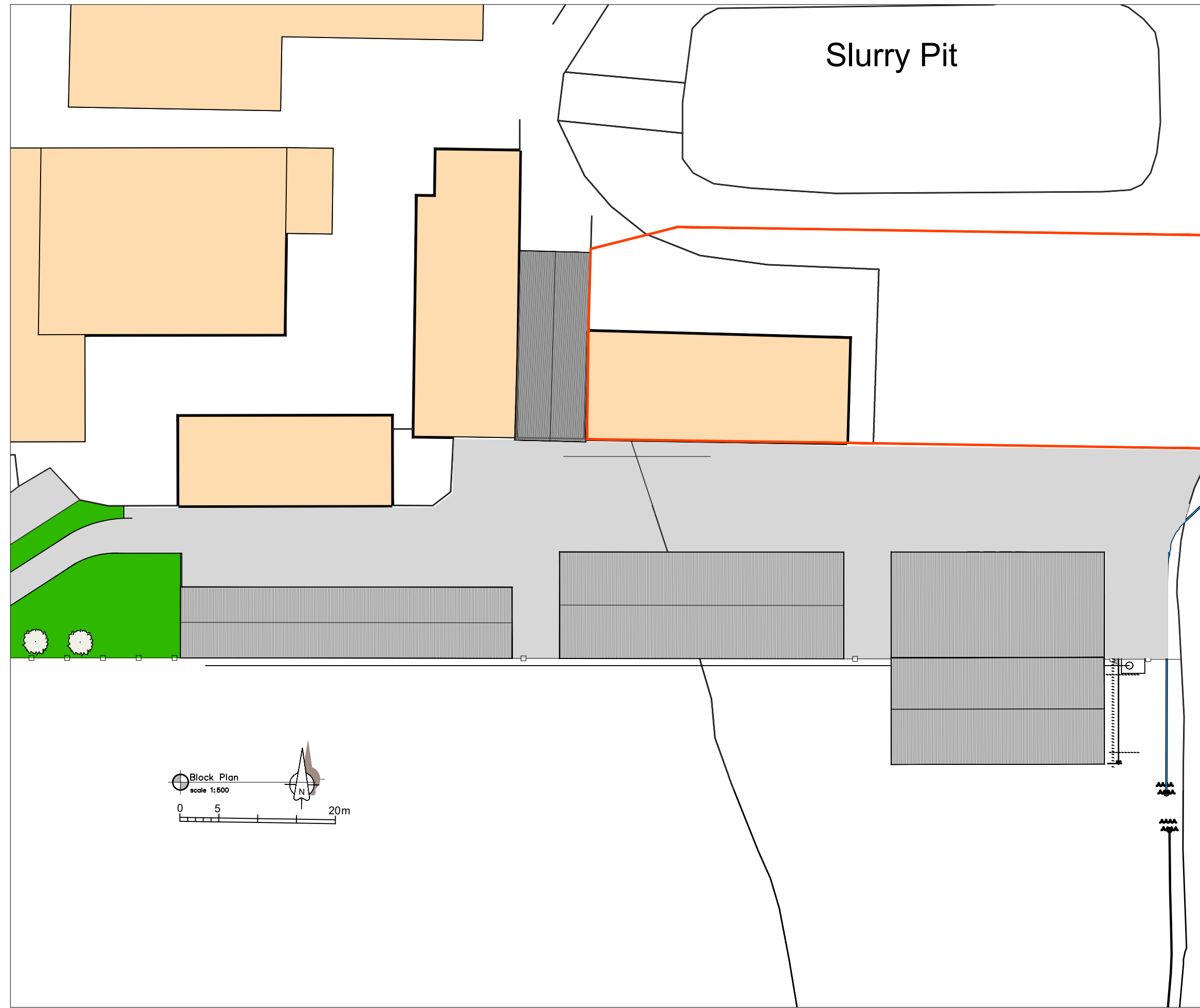
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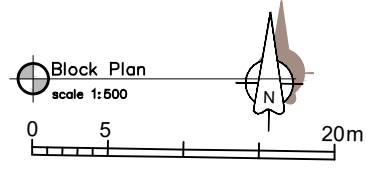
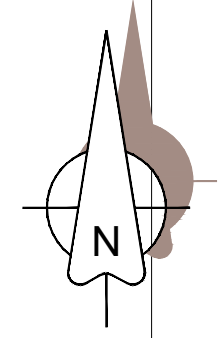
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Drawing Title
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Job/Scheme Number	Drawing Number
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Scale	Date
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a.t.l-h.	



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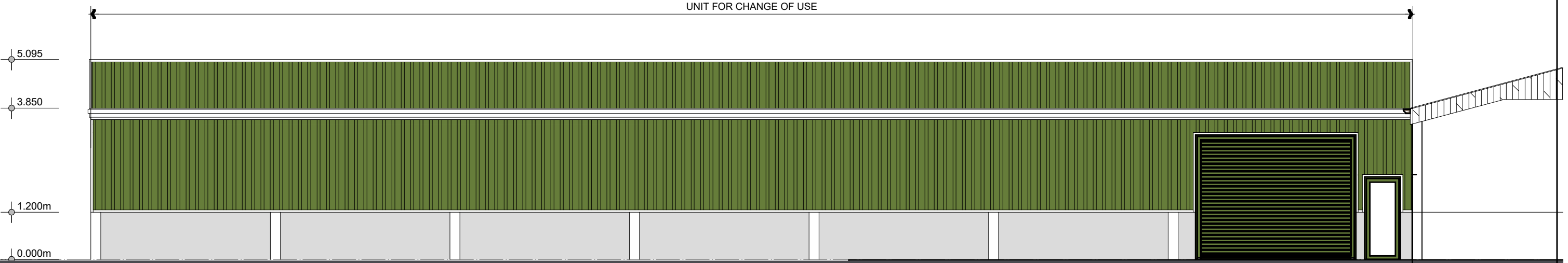
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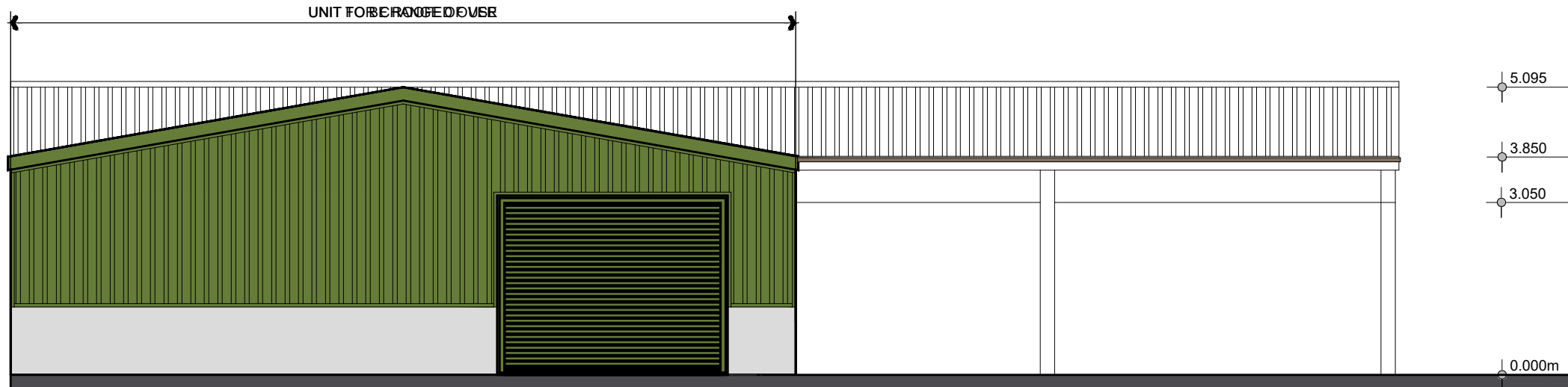
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FRONT ELEVATION (view A)



SIDE ELEVATION (view B)

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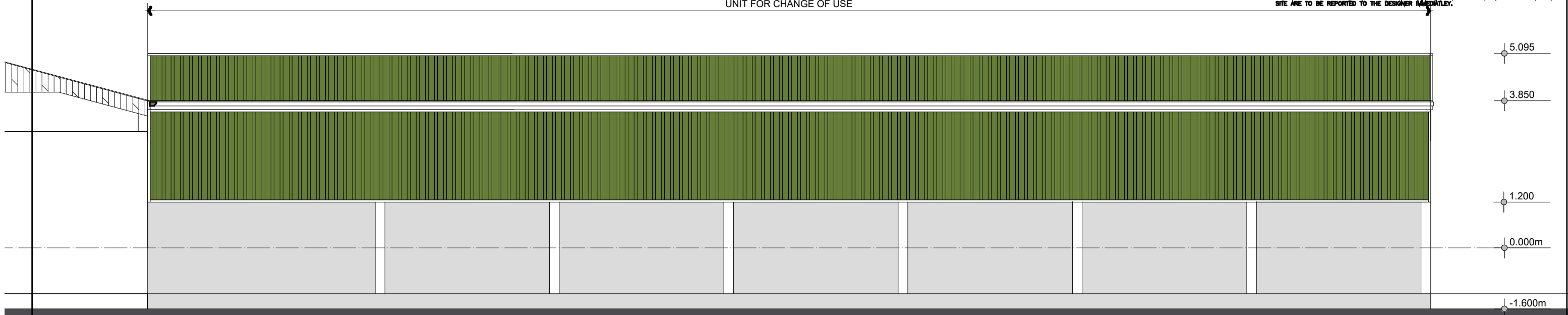
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UNIT FOR CHANGE OF USE



REAR ELEVATION (view C)

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Client

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Job/Scheme Title

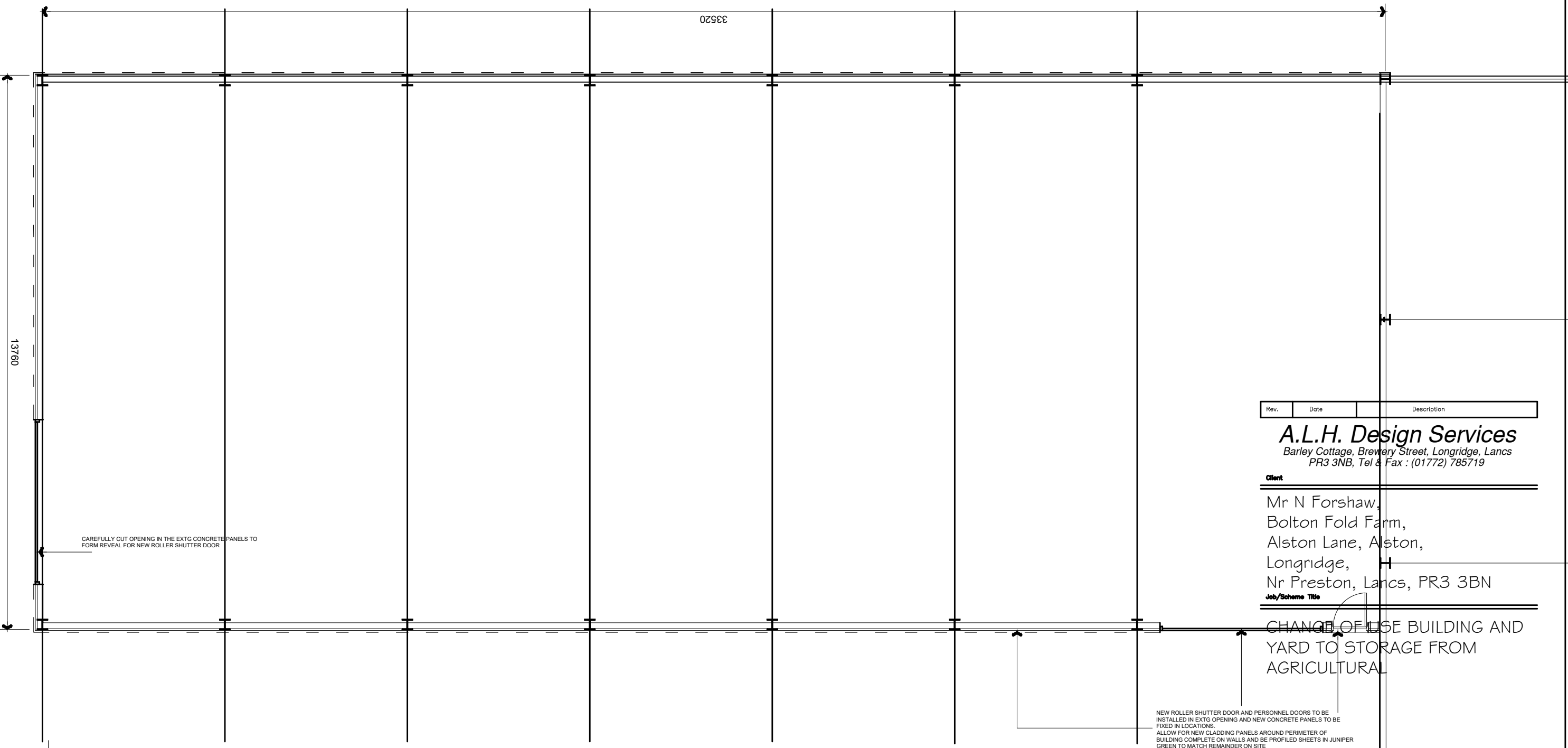
CHANGE OF USE BUILDING AND
 YARD TO STORAGE FROM
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Drawing Title

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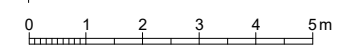
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 Nr Preston, Lancs, PR3 3BN

Job/Scheme Title
 CHANGE OF USE BUILDING AND
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Drawing Title
 PROPOSED FLOOR PLAN

Job/Scheme Number	Drawing Number		
0750/93	Drawing No 10		
Scale	Date	Drawn	Checked
1/100	Sept24	a.t.l-h.	

Ground Floor Plan
 scale 1:100



Mr N Forshaw
Structural Condition Survey
Barn at Bolton Fold Farm

Appendix B
Photographs



Photo 1 - North Elevation



Photo 2 – North Elevation



Photo 3- East Gable



Photo 4 – South Elevation



Photo 5 – South Elevation



Photo 6 – South West Corner



Photo 7 – West Gable (internal)



Photo 8 – West Gable



Photo 9 – Column to frame



Photo 10 – South Elevation (internal)



Photo 11 – Apex detail to frame



Photo 12 – Bracing to frames



Photo 13 – Lower concrete wall



Photo 14 - North Elevation (internal)



Photo 15 - East gable (internal)

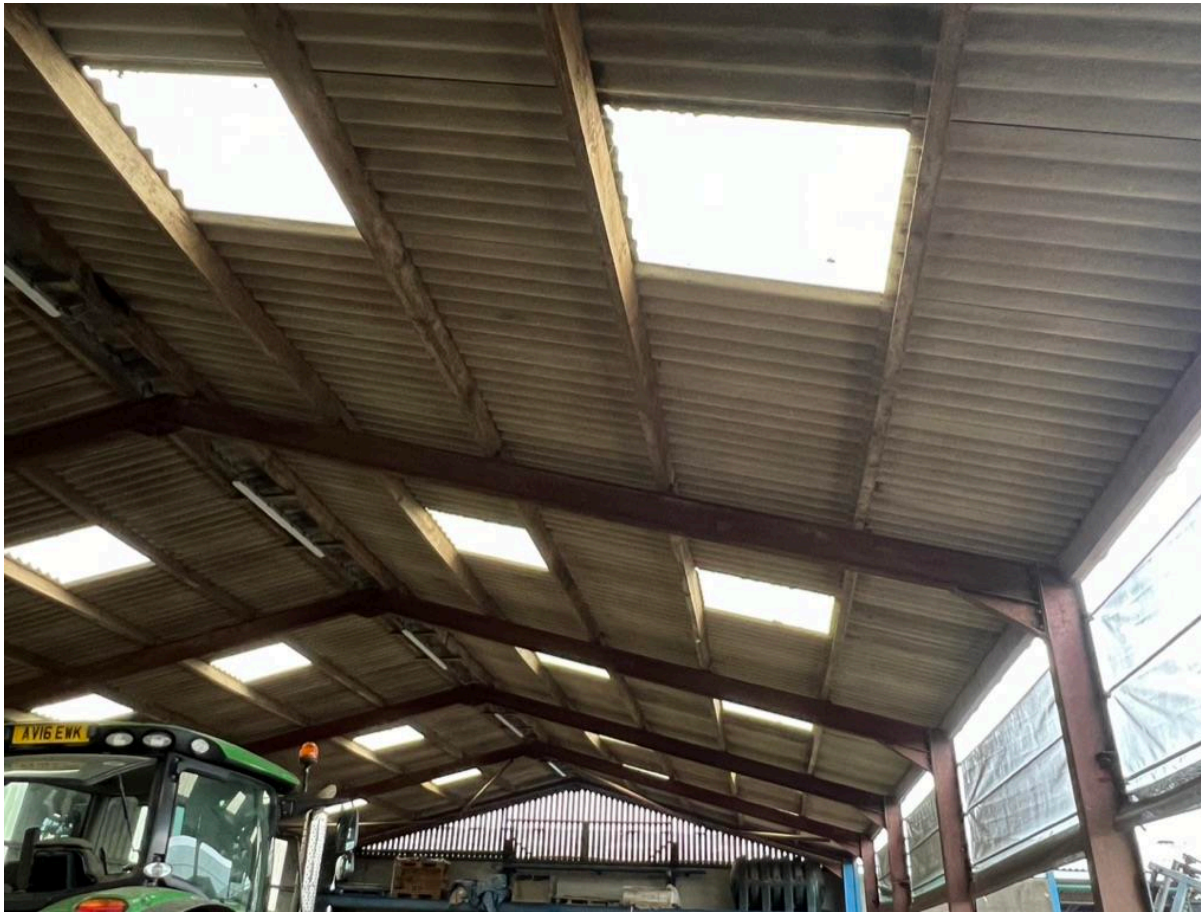


Photo 16 – roof (internal)