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Complete Property Management

**Outbuilding 1 at Writtenstone Farm,
Writtenstone Lane, Longridge, PR3 2ZN**

Structural Condition Survey



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Structural Condition Survey
Outbuilding 1 at Writtenstone Farm

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1.0 Terms of reference

Paul Snape was appointed by Complete Property Management to carry out a visual structural inspection and produce a structural condition survey report for the existing outbuilding to the south of the farmhouse at Writtenstone Farm, Longridge. A location plan and layout of the farm is included in Appendix A

2.0 Purpose of the survey

It is proposed to remove this building as part of the redevelopment of the buildings at the farm. The proposals are currently being prepared. The visual structural survey is required to confirm the current condition of the building and to assess its suitability for re-use. There are photographic records of the building in Appendix B and these are referenced throughout the report.

The drainage and electrical systems of the building have not been inspected. These will be renewed as part of the proposals and detailed for Building Regulation purposes.

We have not inspected parts of the structure that are covered, unexposed or inaccessible. Hence, we are unable to report if such parts of the property are free from defect.

Our inspection was undertaken on 13th June 2024 at which time the weather was fine and partly cloudy.

The survey was undertaken by a Chartered Civil Engineer, Paul Snape BEng (Hons) CEng MICE

3.0 Description of Building

The building is a brick built, single storey outbuilding with a mono-pitch roof. The solid brickwork walls have been rendered externally and the roof is made up of cement/asbestos sheets on timber purlins/rafters. There are two sections of the building with concrete floors and animal stalls.

4.0 External Survey

North East Elevation (Photos 1 to 3)

This elevation is built in solid brick 225mm thick and rendered on the outside, with one doorway opening. The wall is reasonably plumb with the majority of the render in place with minor crazing (photo 2). Photos 1 & 2 show a large crack at the top right of the door on this elevation. This is due to movement of the rear (south east) elevation which is pulling this corner with it.

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North West Elevation (photos 4 to 6)

This elevation is of the same construction as above and is also rendered. There are 3 window openings and a doorway to this elevation. The wall is reasonably plumb with the majority of the render in place. Photos 5 & 6 show a distinct line in the render and this would suggest that the building was extended to form the additional section to the south west. It can be seen that the roof to this extension has been lost.

South West Elevation (Photo 7 to 9)

This gable elevation is a 225mm thick brick wall with render. There is one doorway opening. The wall has been seriously damaged possibly by the roof falling in or from a collision by a vehicle. Photo 8 shows the damage at the upper level and the impact/movement has caused further damage lower down (photo 9).

South East Elevation (Photos 10 to 13)

This elevation is of the same construction as above and is also rendered. There are 3 window openings to this elevation. The wall is not plumb and is leaning out at the top, due to previous and possibly ongoing movement. As with the north west elevation there is a distinct line in the render and this would suggest that the building was extended to form the additional section to the south west. Photo 10 shows the twist in the roof caused by partial collapse and structural movement.

5.0 Internal Survey

North East End (Photos 14 to 22)

Internal inspection shows the movement noted externally to the north east corner reflected internally (photo 14). Similar movement can be seen in the mid wall where it abuts the rear wall (photo 17). The rear wall has numerous cracks in the plaster, extending into the brickwork and this confirms the movement in this wall. The photos indicate the rot to the timbers and partial collapse of the roof to this section.

South West End (photos 23 to 25)

This section has lost its roof and has been exposed to the weather.

6.0 Suitability for Retention and Re-Use

It can be seen from the survey detailed above that this outbuilding has suffered serious damage to the south west gable and this will need re-building. The rear south east elevation is suffering from rotational movement and this is also damaging the adjacent gable and mid walls. The rear elevation retains the floor area and the movement is likely to be due to inadequate or damaged foundations, together with an inadequate section for the earth and floor area

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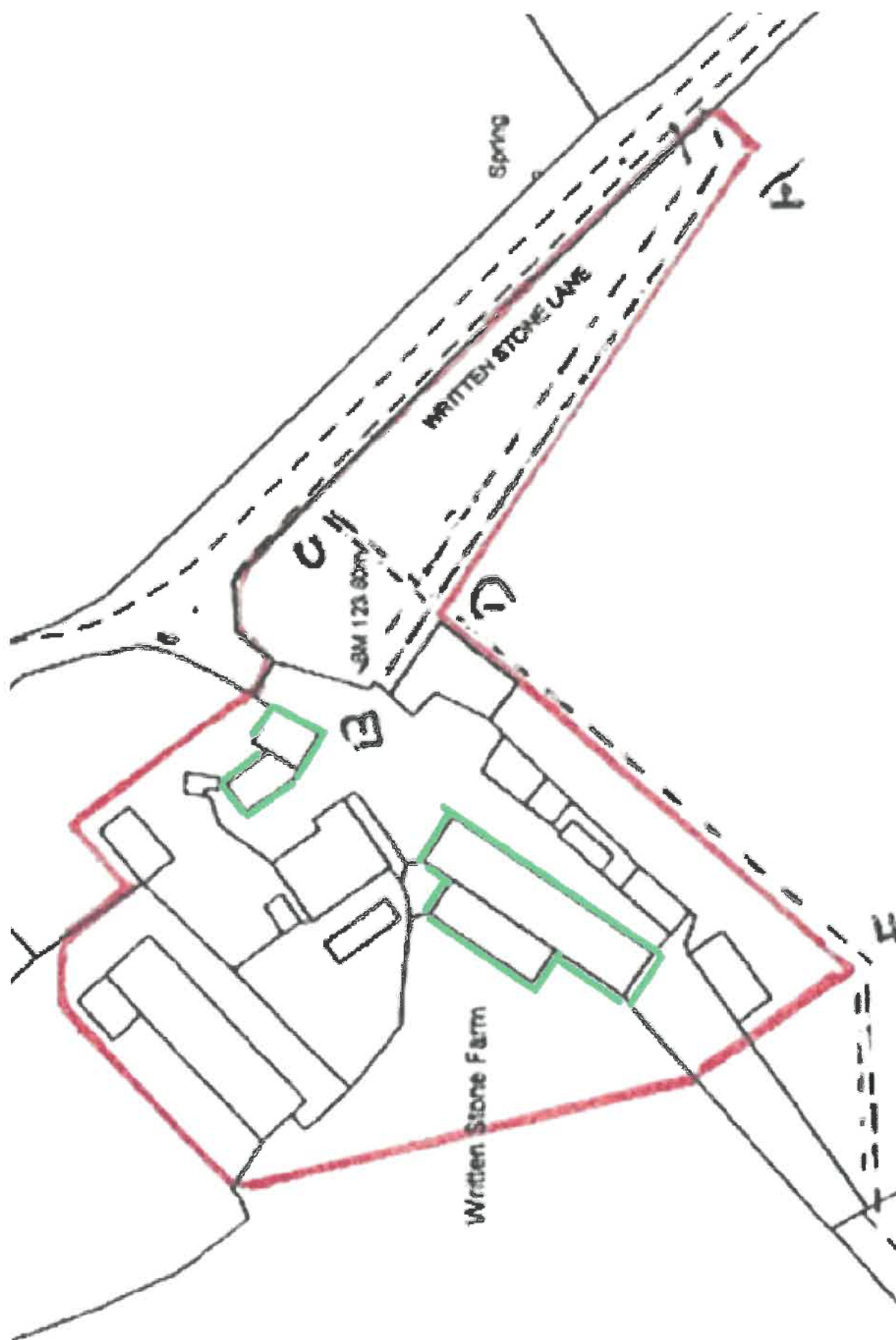
retained. This elevation would also need re-building. The building will need re-roofing. The re-build of the walls would be between 50% and 60%.

7.0 Conclusions

The outbuilding is not considered suitable for retention and re-use due to the significant re-build required.

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Appendix A
Drawings



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Appendix B
Photographs



Photo 1 - North East Elevation



Photo 2 – North East Elevation



Photo 3- North East Elevation



Photo 4 – North West Elevation



Photo 5 – North West Elevation



Photo 6 – North West Elevation



Photo 7 –South West Elevation



Photo 8 – South West Elevation



Photo 9 – Soth West Elevation



Photo 10 – South East Elevation



Photo 11 -



Photo 12 – South East Elevation



Photo 13 – South East Elevation



Photo 14 - Internal North East end



Photo 15 - Internal North East end



Photo 16 - Internal North East end



Photo 17 - Internal North East end



Photo 18 - Internal North East end



Photo 19 - Internal North East end



Photo 20 - Internal North East end



Photo 21 - Internal North East end



Photo 22 - Internal North East end



Photo 23 - Internal South West end



Photo 24 - Internal South West end



Photo 25 - Internal South West end

