

Complete Property Management

Outbuilding 2 at Writtenstone Farm, Writtenstone Lane, Longridge, PR3 2ZN

Structural Condition Survey



Paul Snape Consulting
Lower Stanalee Farm
Stanalee Lane
Goosnargh
Preston PR3 2EQ



Complete Property Management Structural Condition Survey Outbuilding 2 at Writtenstone Farm

Contents

1.0	Terms of reference
2.0	Purpose of the survey
3.0	Description of Building
4.0	External survey
5.0	Internal survey
6.0	Suitability for Retention & Re-Use
7.0	Conclusions
Appendix A – Drawings	
Appendix B - Photographs	

Complete Property Management Structural Condition Survey Outbuilding 2 at Writtenstone Farm

1.0 Terms of reference

Paul Snape was appointed by Complete Property Management to carry out a visual structural inspection and produce a structural condition survey report for the existing outbuilding to the south west of the farmhouse at Writtenstone Farm, Longridge. A location plan and layout of the farm is included in Appendix A.

2.0 Purpose of the survey

It is proposed to retain this building as part of the redevelopment of the buildings at the farm. The proposals are currently being prepared. The visual structural survey is required to confirm the current condition of the building and to assess its suitability for re-use. There are photographic records of the building in Appendix B and these are referenced throughout the report.

The drainage and electrical systems of the building have not been inspected. These will be renewed as part of the proposals and detailed for Building Regulation purposes.

We have not inspected parts of the structure that are covered, unexposed or inaccessible. Hence, we are unable to report if such parts of the property are free from defect.

Our inspection was undertaken on 13th June 2024 at which time the weather was fine and partly cloudy.

The survey was undertaken by a Chartered Civil Engineer, Paul Snape BEng (Hons) CEng MICE

3.0 Description of Building

The building is a brick built, single storey outbuilding with a duo-pitch roof (removed). The solid brickwork walls have been rendered externally and the roof has been totally removed. The front elevation is completely open with two steel columns to the central bay which previously were likely to have supported roof trusses.

4.0 External Survey

North East Elevation (Photos 1 to 3)

This elevation is built in solid brick 225mm thick and rendered on the outside, with no openings. The wall is reasonably plumb with the majority of the render in place with minor crazing only. The corner with the front elevation has a solid 360mm square pier (photo 3). There are no signs of previous or ongoing movement.

Complete Property Management Structural Condition Survey Outbuilding 2 at Writtenstone Farm

South East Elevation (photos 4 to 6, 10 & 12)

This elevation is of the same construction as above and is also rendered externally. There is large high level window running practically the whole length (photos 4 & 12). The wall is reasonably plumb with the majority of the render in place (photo 10). There are 340mm square piers in the brickwork (photos 5 & 6) and as well as providing stiffness to the brickwork, these probably supported trusses spanning to the columns on the opposite elevation. There are no signs of previous or ongoing movement.

South West Elevation (Photo 7 & 9)

This gable elevation is a 225mm thick brick wall with render applied externally. There are no openings. The wall is plumb and the render is 70% in place. There is a pier at the corner with the front elevation which measures 350mm square. There are no signs of previous or ongoing movement.

North West Elevation (Photo 8)

This elevation is open and has two steel columns in place which previously supported roof trusses.

5.0 Internal Survey

Floor (photo 11)

Internal inspection shows a concrete floor in place which is in reasonable condition.

Roof

The roof has been removed at some point but was likely to be supported by two trusses (steel or timber) spanning between brick piers and the steel columns, supporting purlins and rafters. The roof coverings may have been slate or cement/asbestos/metal sheeting.

6.0 Suitability for Retention and Re-Use

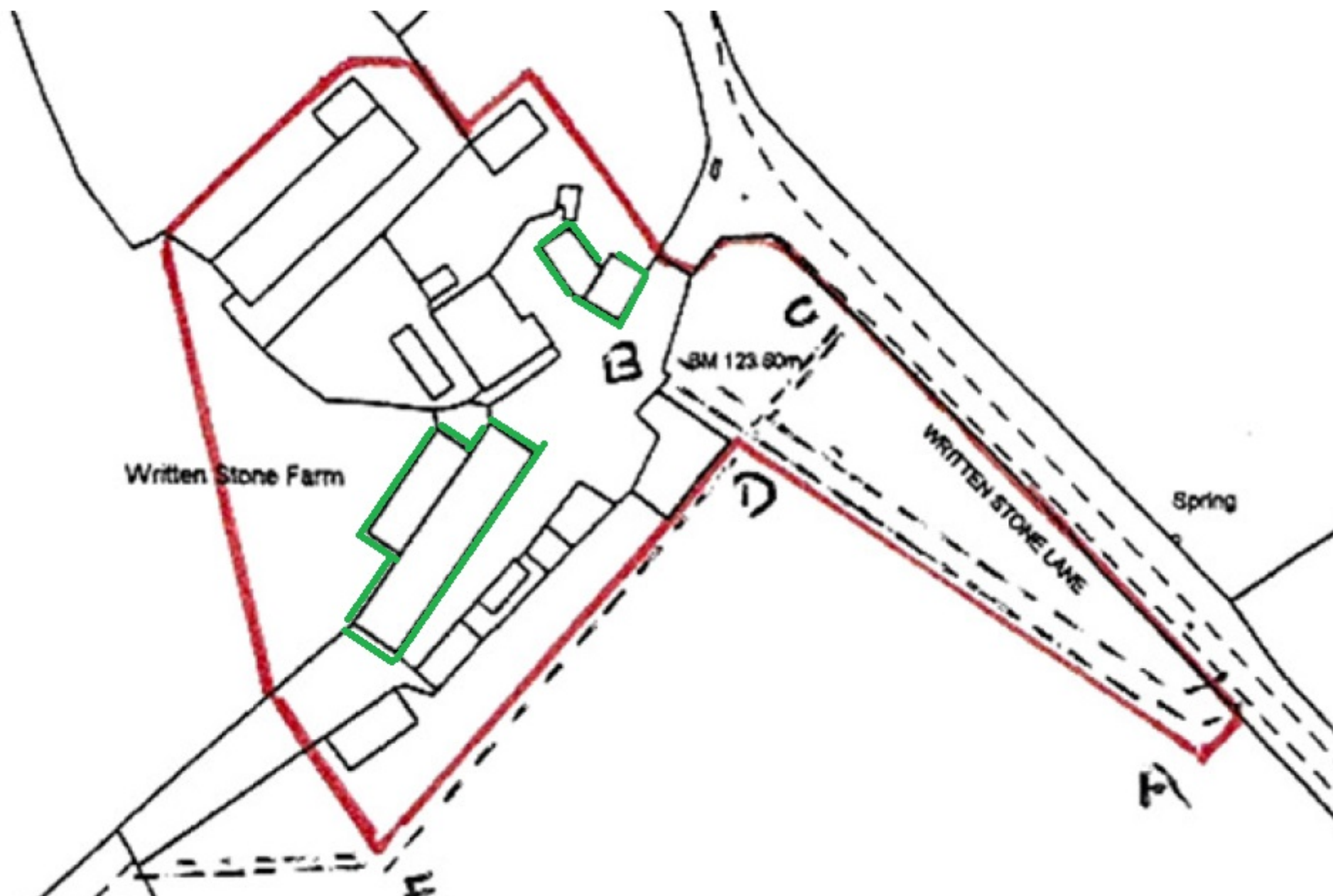
It can be seen from the survey that despite the removal of the roof, the walls are free from structural movement and would not require any significant rebuild. The roof will need reinstatement.

7.0 Conclusions

The outbuilding is considered suitable for retention and re-use subject to re-roofing.

Complete Property Management
Structural Condition Survey
Outbuilding 2 at Writtenstone Farm

Appendix A
Drawings



Complete Property Management
Structural Condition Survey
Outbuilding 2 at Writtenstone Farm

Appendix B
Photographs



Photo 1 - North East Elevation



Photo 2 – North East Elevation External



Photo 3- North East Elevation Internal



Photo 4 – Internal looking at South East Elevation

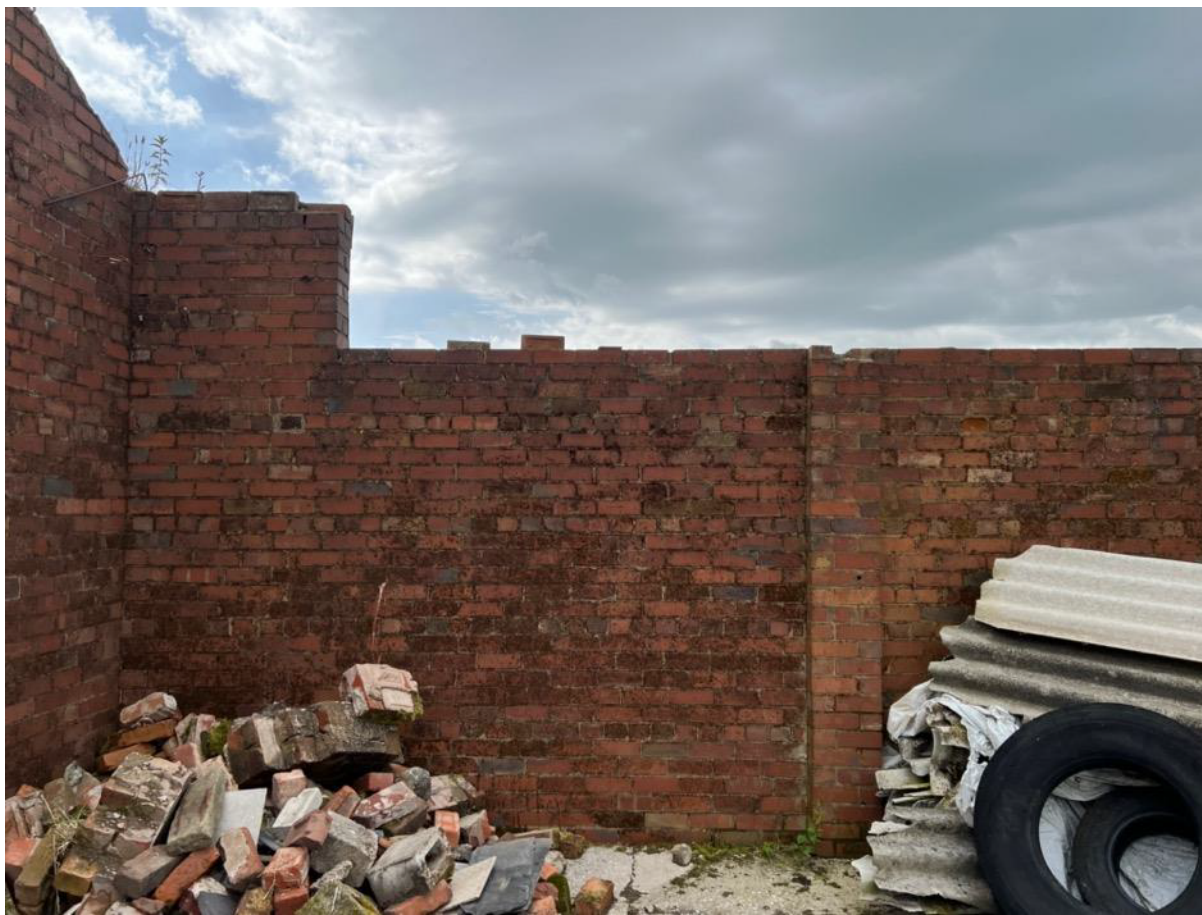


Photo 5 – Internal looking at South East Elevation



Photo 6 – Internal looking at South East Elevation and South West Gable



Photo 7 – South West gable Internal



Photo 8 – Columns to North West Elevation



Photo 9 – South West Gable External



Photo 10 – South East Elevation External



Photo 11 – Concrete Floor



Photo 12 – South East Elevation high level window

