

Mr D Warbrick

Barn at Park Farm, Whalley Road, Barrow, Clitheroe, BB7 9YS

Structural Condition Survey for Conversion to Dwellings



PSC-891

June 2024

Paul Snape Consulting
Lower Stanalee Farm
Stanalee Lane
Goosnargh
Preston PR3 2EQ



D Warbrick
Structural Condition Survey
Barn at Park Farm

Contents

- 1.0 Terms of reference
- 2.0 Purpose of the survey
- 3.0 Description of Building
- 4.0 External survey
- 5.0 Internal survey
- 6.0 Suitability for Conversion
- 7.0 Conclusions

- Appendix A – Drawings

- Appendix B - Photographs

D Warbrick Structural Condition Survey Barn at Park Farm

1.0 Terms of reference

Paul Snape was appointed by Mr D Warbrick, through ALH Design Services, to carry out a visual structural inspection and produce a structural condition survey report for the existing barn adjoining the farmhouse at Park Farm, Barrow. A location plan and layout of the farm is included in Appendix A

2.0 Purpose of the survey

It is proposed to convert the barn to form 2 dwellings. The proposals have been prepared by ALH Design Services and drawings for these are included in Appendix A. The visual structural survey is required to confirm the current condition of the building and to assess its suitability for conversion. There are photographic records of the building in Appendix B and these are referenced throughout the report.

The drainage and electrical systems of the building have not been inspected. These will be renewed as part of the proposals and detailed for Building Regulation purposes.

We have not inspected parts of the structure that are covered, unexposed or inaccessible. Hence, we are unable to report if such parts of the property are free from defect.

Our inspection was undertaken on 24th June 2024 at which time the weather was fine and sunny.

The survey was undertaken by a Chartered Civil Engineer, Paul Snape BEng (Hons) CEng MICE

3.0 Description of Building

The building is a traditional "Lancashire" barn, built in sandstone. The main section of the barn comprises three sections at ground floor with storage lofts above. The roof is slate on timber rafters, purlins and trusses. The building has a solid floor at ground level and a timber floor to the loft. There is the typical "Lancashire" barn single storey stone outrigger to the rear running the majority of the length of the main barn. The roof to the rear section has been raised slightly with a short lift of timber cladding to the rear and metal sheeting to the roof.

4.0 External Survey

South West Elevation (Photos 1 to 8 and 13 & 14)

This elevation is built in random sandstone and the wall is 450mm thick. The wall is in good condition. It is plumb and well pointed. There are no signs of previous or ongoing movement. There are 5 standard door openings, 3 window openings and the main barn door at ground level. There are 3 openings to the loft area together with vents at first floor level (photo 6).

Photo 13 illustrates a small lean to, built in concrete block with a cement asbestos sheet roof, which has been added at some point. This has no sign of previous or ongoing movement and

D Warbrick Structural Condition Survey Barn at Park Farm

is in good condition. Photo 14 indicates the outrigger with the main barn door which can also be seen in Photo 13 above the lean to. Again, this section is in good condition, well pointed and has no sign of movement. This elevation has the benefit of guttering and downspouts which are in reasonable condition (photos 8 & 14).

North West Elevation (photos 9 to 12)

This elevation includes the gable to the main barn and the single storey outrigger to the rear of the barn (photo 9). The gable is built in random sandstone and the wall is 450mm thick. The wall is in good condition. It is plumb and well pointed. There are no signs of previous or ongoing movement. There are four door openings at ground floor level and one window. There is a further opening to the loft level above. Photo 11 shows the raised roof with the section of timber cladding above the stonework. The timber is in good condition with no sign of rot or infestation.

North East Elevation (Photos 15 to 17)

This rear elevation is a 450mm thick random stone wall five window openings. The wall is plumb and has been rendered. The wall is free from any sign of previous or ongoing movement. All the photos show the timber cladding added when the roof was raised. The timber is in good condition with no sign of rot or infestation.

Roof (Photos – External – 2 to 4, 13 & 17)

Viewed externally, the main barn roof appears in reasonable condition little sign of damage, slate loss, or excessive deflection (photos 2 to 4). The ridge tiles are sandstone and there are edging flags in place to the gable wall (photo 4). The rear single storey section has metal sheets in place, and these are in good condition (photo 17). As noted above the lean to at the front of the building has cement-asbestos sheeting to the roof which is in a reasonable condition (photo 13).

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5.0 Internal Survey

Rear Single Storey (Photos 18 to 23)

Main section – This section of the building is a shippon area with mono pitch timber trusses carrying the roof above (photo 20). This area, including the wall with the main barn, shows no sign of previous or ongoing movement to walls or floors. The ground floor is solid concrete (photo 23). The timber trusses, purlins and rafters appear in reasonable condition with no clear signs of extensive rot or infestation.

Main Barn (photos 24 to 43)

The main barn is split into 3 sections as indicated on the existing ground floor plan. These are the hay barn, the cow parlour and the store/office area. A loft area for hay storage runs above the majority of these areas.

The hay barn area is shown in photos 24 to 27 and at ground floor this is split between the access area (photo 25) and a shippon (photos 26 & 27). Photo 24 shows that the gable wall to the adjoining house is built with clay bricks. The wall is plumb and in good condition. The majority of it is well pointed but photo 24 shows an area where some bricks have spalled. It may be that the brickwork above this has been replaced at some point or that the whole gable was rebuilt in brick having previously been stone. The floor to the access area is stone flags (photo 25). The shippon area has a concrete floor and stalls with a timber floor above to the hay loft (photo 27). The internal walls are all in good condition, plumb and well pointed. There is no evidence of previous or ongoing movement.

The cow parlour is shown in photos 36 to 39 and this too has concrete floors and stalls, with a timber floor to the loft above supported by timber posts (photo 38). The internal walls are all in good condition, plumb and well pointed/rendered. There is no evidence of previous or ongoing movement. The timber is in good condition with little or no sign of rot or infestation.

The store and office area at the north west end is shown in photos 40 to 43, with the two areas split by a lobby area. The floors are solid concrete and the dividing walls to the lobby are built with 100mm brick/block. The dividing walls between the main barn sections are 450mm wide. This area is in good condition with no sign of previous or ongoing movement.

Small Lean to (photo 44)

Photo 44 shows the internal area of this small building which has a solid concrete floor and plastered walls. The building is in reasonable condition but there are signs of some water ingress and damp. There is no sign of previous or ongoing movement.

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6.0 Suitability for Conversion and Method of Construction

It can be seen from the survey detailed above that this barn is generally in very good condition structurally, with no sign of previous movement and no sign of ongoing movement. It is considered suitable for conversion to dwellings. When converting barns, it is essential that the construction techniques and sequence are carefully considered.

Conversion will require the construction of an insulated inner leaf. This may comprise of a cavity with insulation plus a block inner leaf or a backing block to the stone with a cavity and a further block inner leaf. With this technique, care must be taken as the existing walls may be founded at a shallow depth. Trial holes should be dug to ascertain the actual depth. Ground floor levels should be set as high as possible, and we would recommend the use of a concrete floor slab with thickened edges along external walls and thickenings under any new internal walls. The thickening can be taken down to a similar depth as the existing walls. We would recommend a minimum depth of 400mm for the thickenings. Levels lower than the existing foundations should be avoided and if this is necessary an Engineer should be consulted as underpinning may be required. The new inner leaf (and backing block if used) should be tied to the existing wall with suitable cavity and/or specialist ties.

As an alternative, the new internal leaf could be formed with SIP panels if this is felt appropriate. Any new internal walls could be formed in masonry, SIP panels or timber stud walls as appropriate.

It is recommended that the new internal skin is in place and the internal walls, ground and first floor are put in place prior to any works to the roof. This will add stability to the existing walls. The main section of the barn appears to have been re-roofed to a good standard and works to this area will be limited.

The existing truss and purlins appear to be in good condition with little sign of rot or infestation. Any timber retained should be assessed by a timber specialist, with regard to rot and infestation. All retained timber should be treated against rot/infestation and an indication of residual section given for structural purposes. All retained timber to be used structurally should be checked for structural adequacy.

It is noted that the small brick/block lean-to on the front (south west) elevation is to be removed.

Given the good condition of the barn walls any new openings introduced in the barns should not affect the overall stability of the buildings but they should be assessed by a structural engineer.

Foul sewers are not likely to be in place at this location, and a sewage treatment plant will be required meeting all current regulations in terms of treatment and outfall requirements. A sustainable surface water system will also be required for discharge to a watercourse or suitable surface water drain.

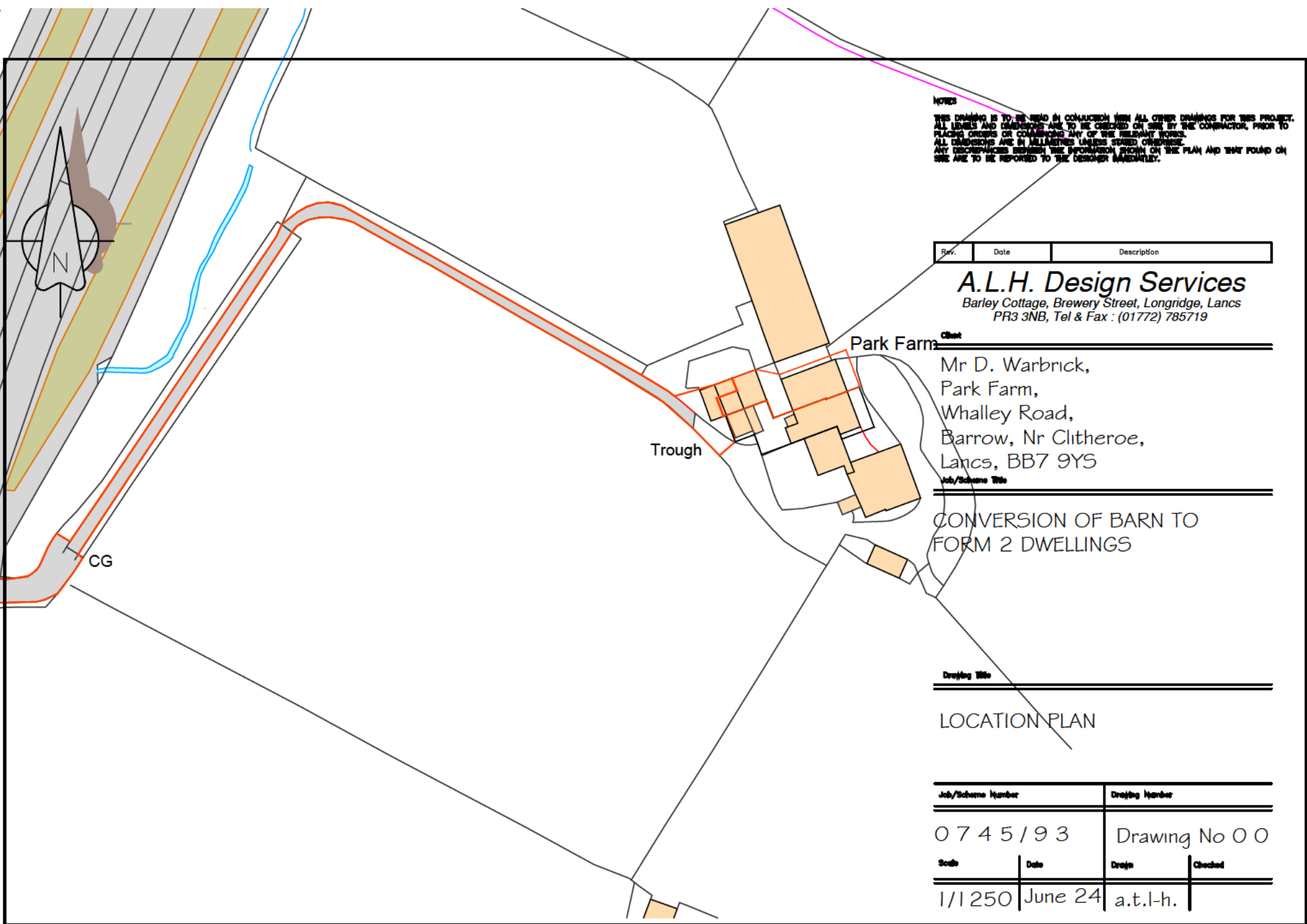
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Barn at Park Farm

7.0 Conclusions

The barn is considered suitable for conversion to a dwelling. The construction should follow the guidance set out above and a structural engineer should be consulted with regard to the final layout for Building Regulation compliance.

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Barn at Park Farm

Appendix A
Drawings



NOTES
 THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS FOR THIS PROJECT. ALL LEVELS AND DIMENSIONS ARE TO BE CHECKED ON SITE BY THE CONTRACTOR, PRIOR TO PLACING ORDERS OR COMMENCING ANY OF THE RELEVANT WORKS. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS STATED OTHERWISE. ANY DISCREPANCIES BETWEEN THE INFORMATION SHOWN ON THE PLAN AND THAT FOUND ON SITE ARE TO BE REPORTED TO THE DESIGNER IMMEDIATELY.

Rev.	Date	Description
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 Barley Cottage, Brewery Street, Longridge, Lancs
 PR3 3NB, Tel & Fax : (01772) 785719

Client
 Mr D. Warbrick,
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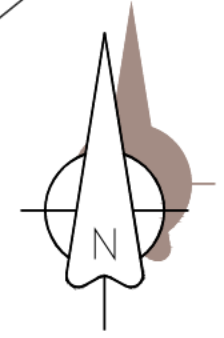
Job/Scheme Title
 CONVERSION OF BARN TO
 FORM 2 DWELLINGS

Drawing Title

LOCATION PLAN

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1/1250	June 24	a.t.l-h.	

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Job/Scheme Title

CONVERSION OF BARN TO
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Drawing Title

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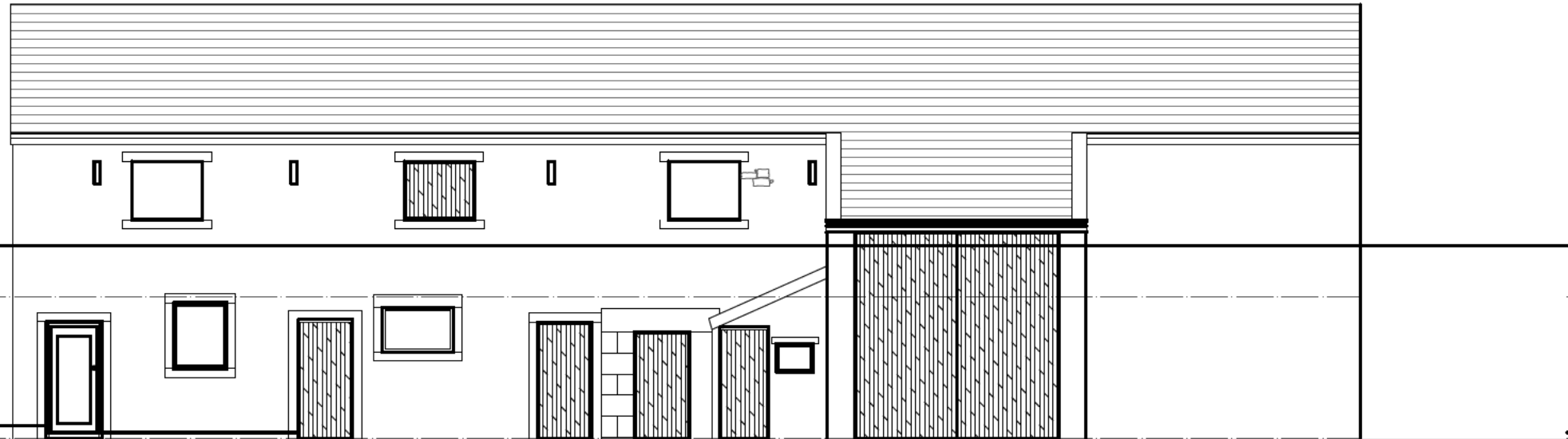
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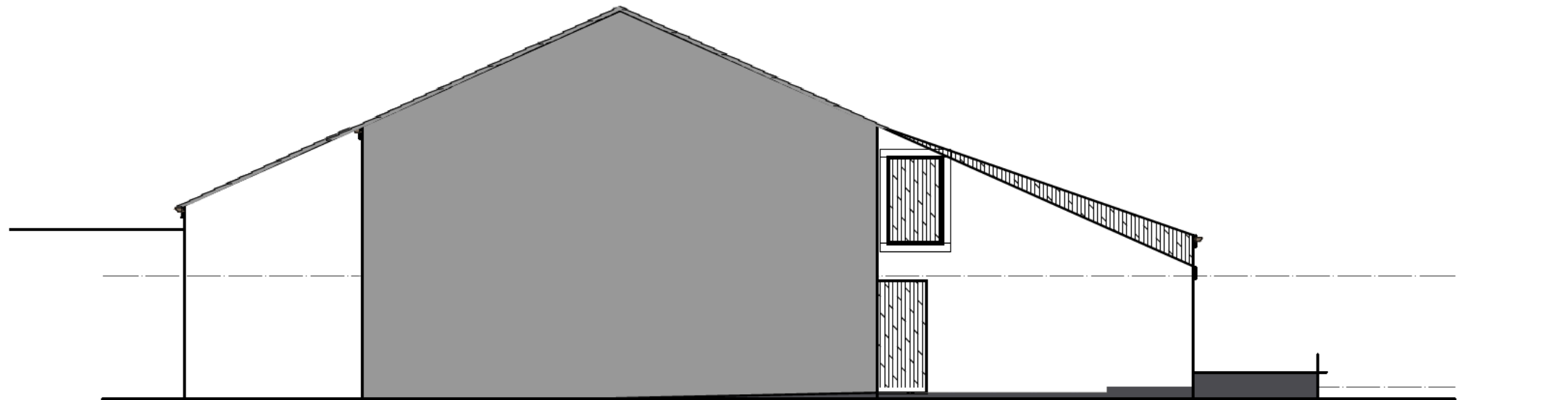
Park Farm

Trough

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SOUTH WEST



SOUTH EAST

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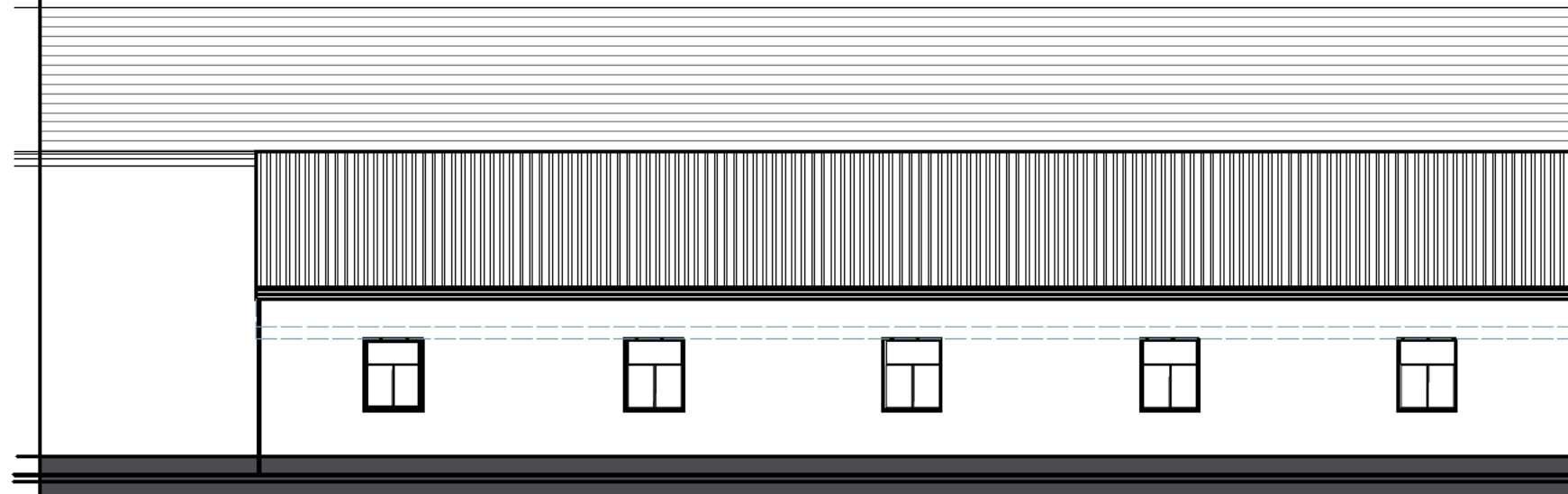
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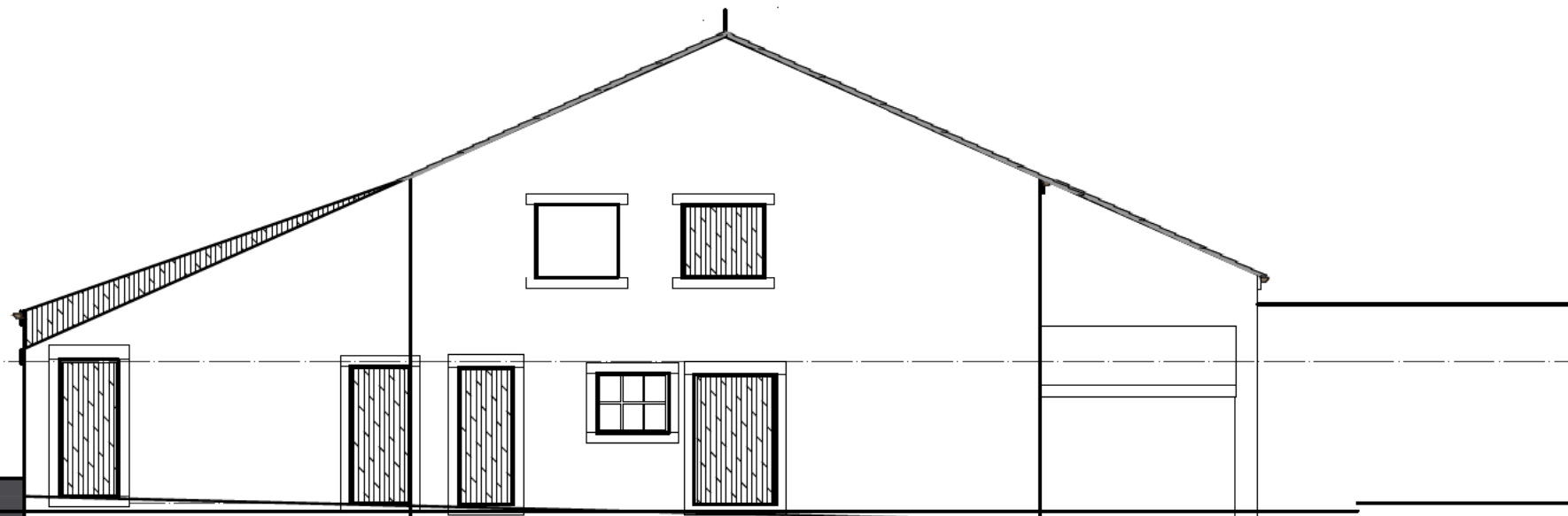
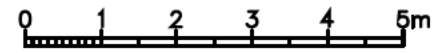
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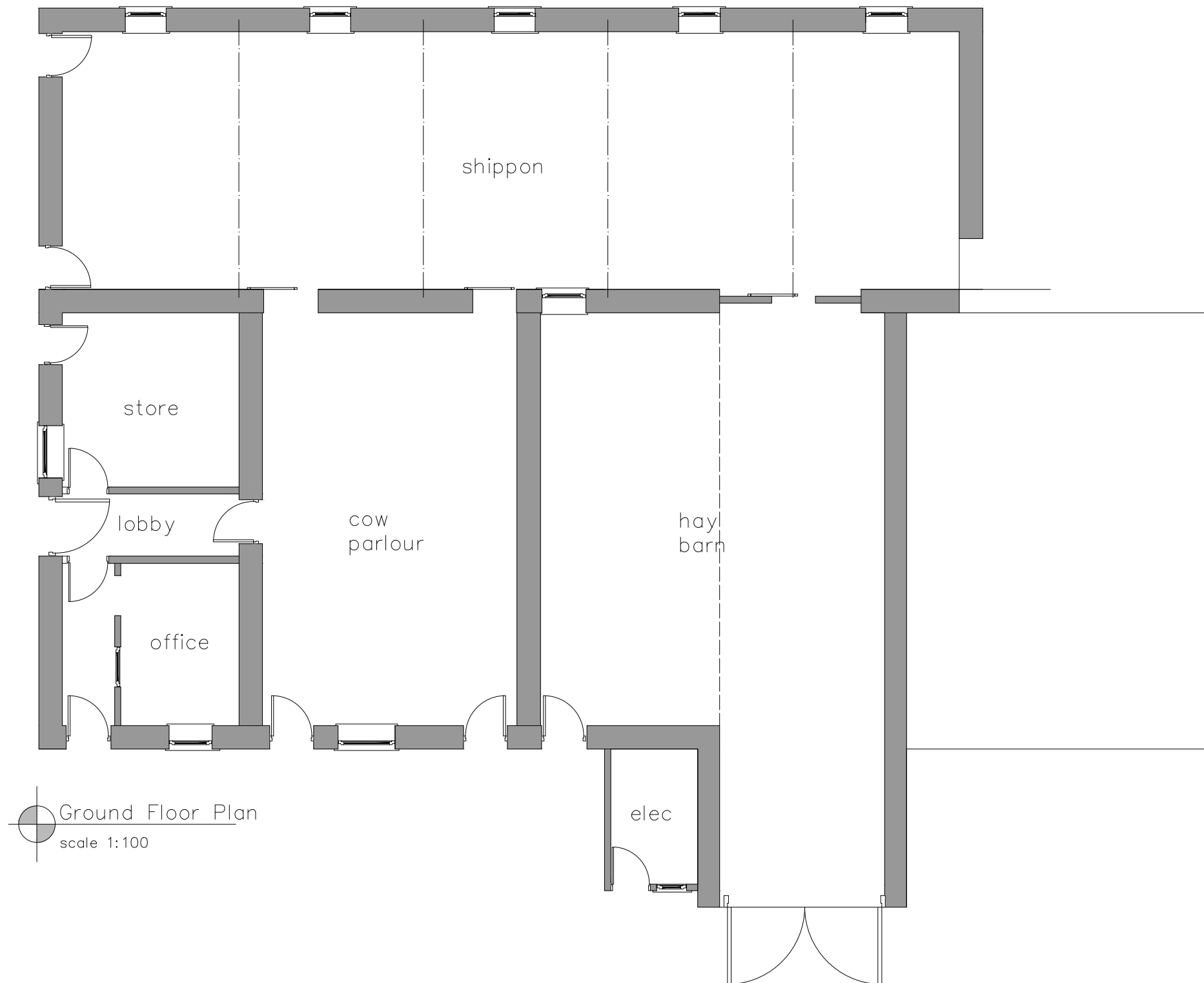
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Ground Floor Plan
 scale 1:100

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EXISTING GROUND FLOOR PLAN

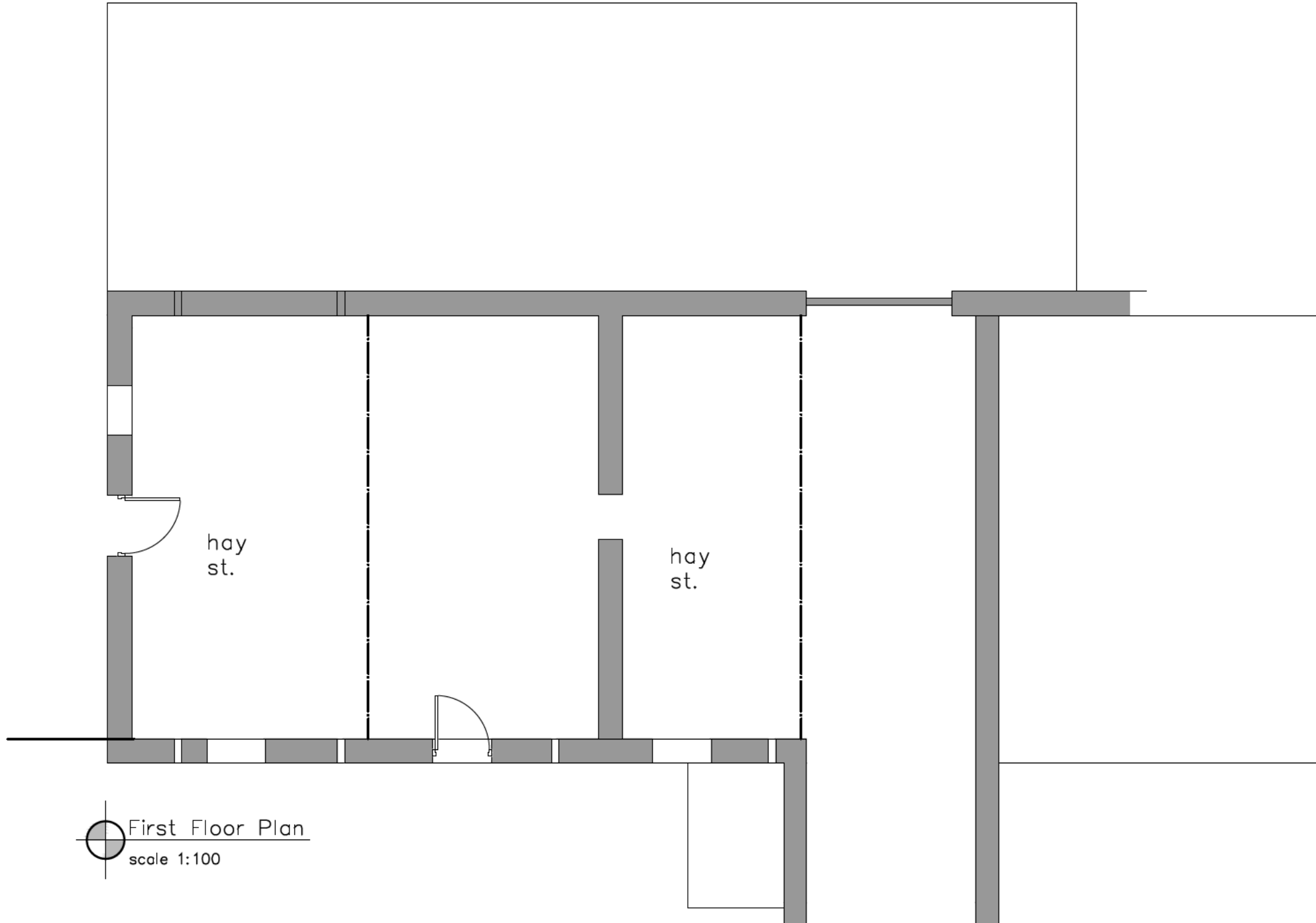
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1 / 100 June 24 a.t.l-h.

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First Floor Plan
 scale 1:100

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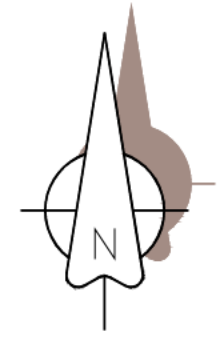
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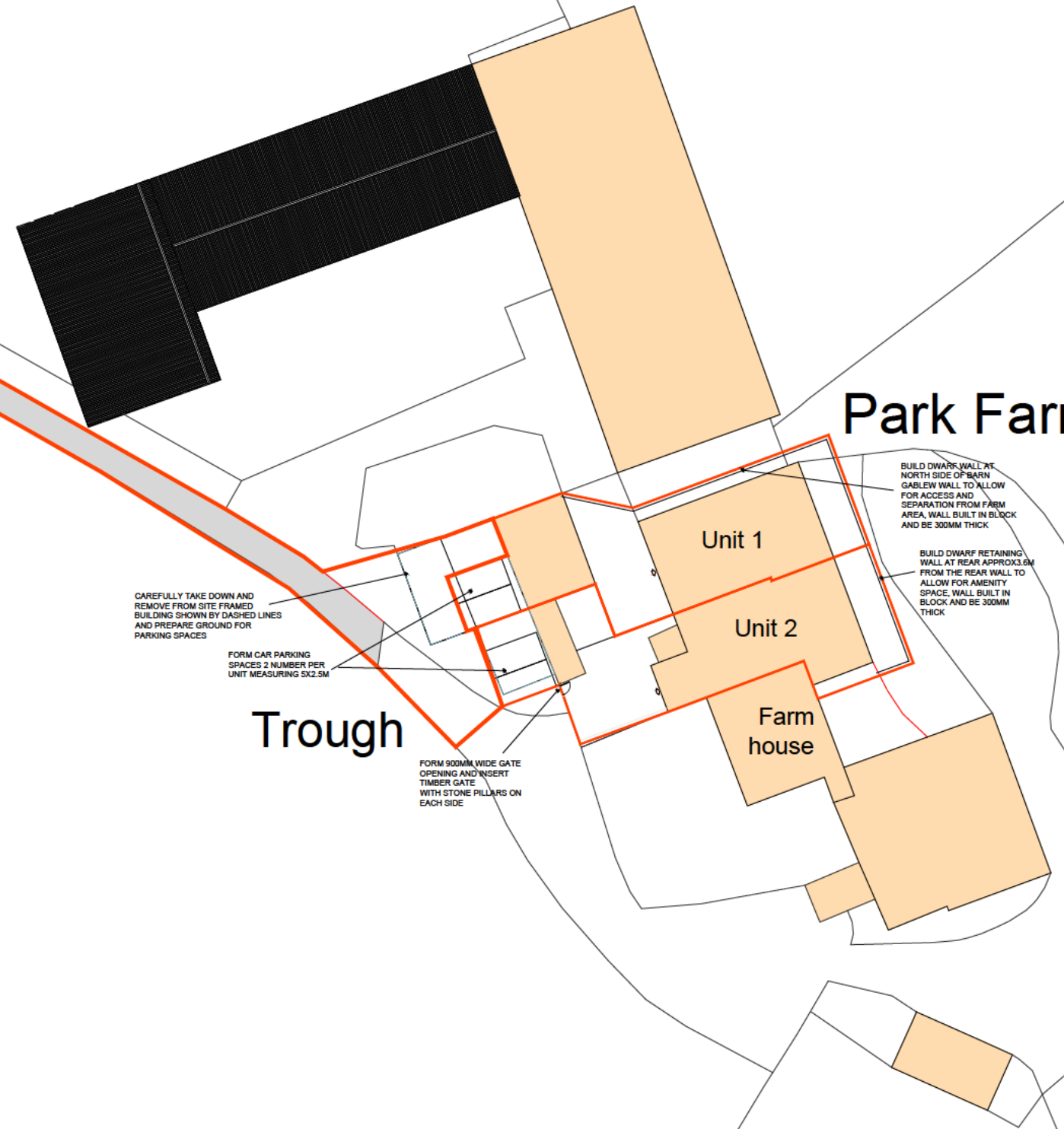
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Park Farm



CAREFULLY TAKE DOWN AND REMOVE FROM SITE FRAMED BUILDING SHOWN BY DASHED LINES AND PREPARE GROUND FOR PARKING SPACES

FORM CAR PARKING SPACES 2 NUMBER PER UNIT MEASURING 5X2.5M

FORM 900MM WIDE GATE OPENING AND INSERT TIMBER GATE WITH STONE PILLARS ON EACH SIDE

BUILD DWARF WALL AT NORTH SIDE OF BARN GABLEW WALL TO ALLOW FOR ACCESS AND SEPARATION FROM FARM AREA, WALL BUILT IN BLOCK AND BE 300MM THICK

BUILD DWARF RETAINING WALL AT REAR APPROX 3.6M FROM THE REAR WALL TO ALLOW FOR AMENITY SPACE, WALL BUILT IN BLOCK AND BE 300MM THICK

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 CONVERSION OF BARN TO
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Drawing Title
 PROPOSED SITE PLAN

Job/Scheme Number		Drawing Number	
0745/93		Drawing No 06	
Scale	Date	Drawn	Checked
1 / 500	June 24	a.t.l-h.	

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Ground Floor Plan
 scale 1:100

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PROPOSED GROUND FLOOR
 PLAN

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Scale	Date	Drawn	Checked
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First Floor Plan
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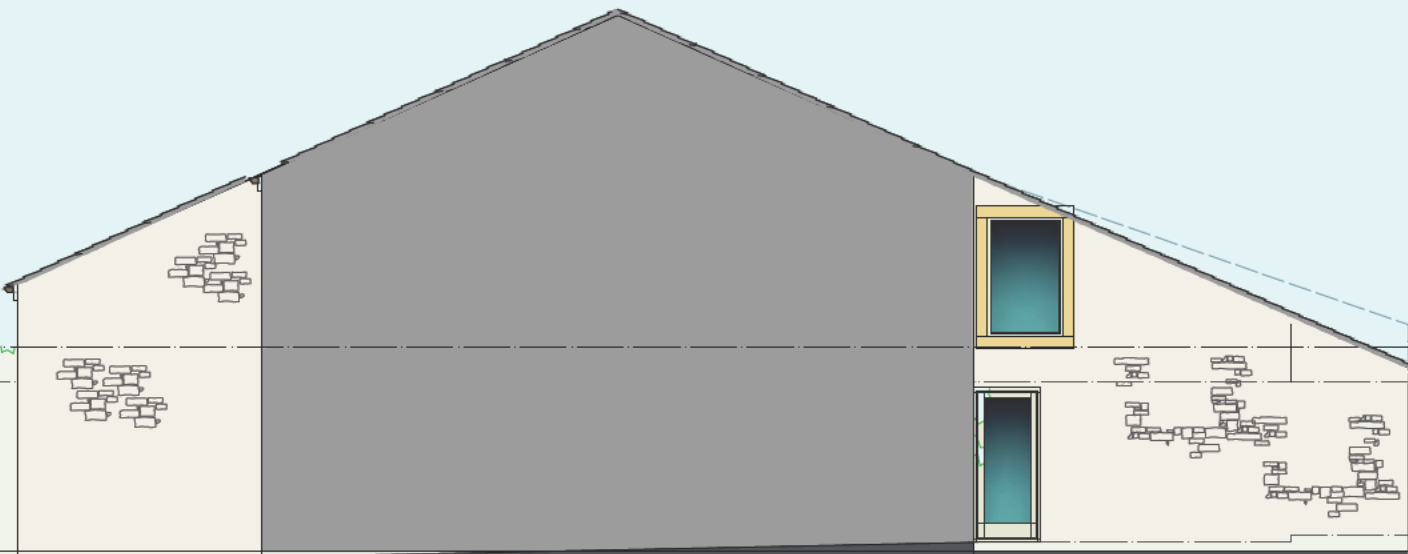
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SOUTH WEST



SOUTH EAST

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PROPOSED ELEVATIONS
 (Sheet 1 of 2)

Job/Scheme Number	Drawing Number
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0745/93

Drawing No 15

Scale	Date	Drawn	Checked
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PROPOSED ELEVATIONS
 (Sheet 1 of 2)

Job/Scheme Number	Drawing Number
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Scale	Date	Drawn	Checked
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1 / 100 | June 24 | a.t.l-h. |

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Appendix B
Photographs



Photo 1 - South West Elevation



Photo 2 – Roof South West



Photo 3 - Roof South West



Photo 4 – Roof South West



Photo 5 – South West Elevation



Photo 6 – South West Elevation



Photo 7 –



Photo 8 – South West Elevation



Photo 9 – North West Elevation



Photo 10 – North West Elevation



Photo 11 - North West Elevation



Photo 12 - North West Elevation



Photo 13 – Lean to on South West Elevation



Photo 14 - South East Elevation – outrigger wall adjacent to house



Photo 15 - North East Elevation with south east elevation



Photo 16 - North East Elevation at corner with south east elevation



Photo 17 – Roof North East



Photo 18 – Internal to rear single storey section



Photo 19 - Internal to rear single storey section



Photo 20 - Internal to rear single storey section – roof timbers



Photo 21 - Internal to rear single storey section



Photo 22 - Internal to rear single storey section



Photo 23 - Internal to rear single storey section - floor

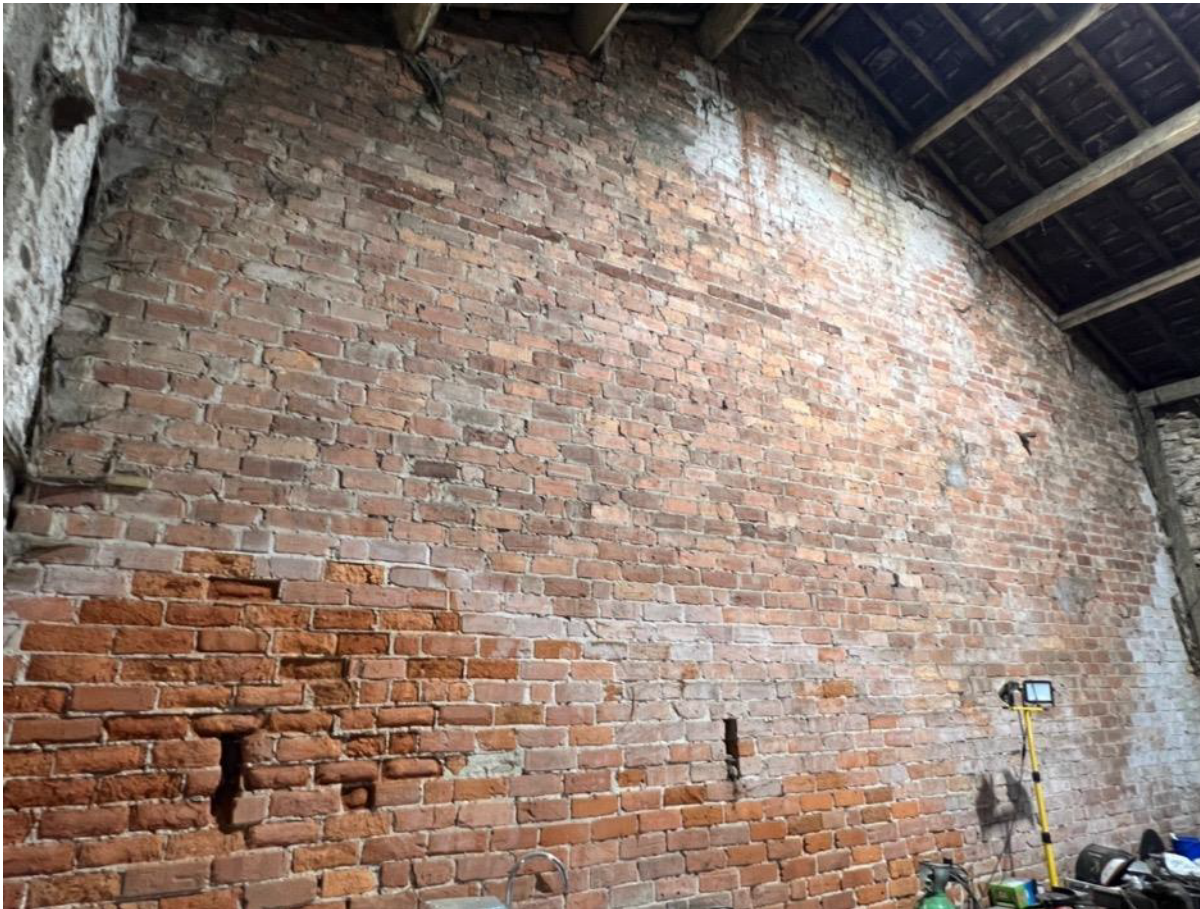


Photo 24 – Internal main barn – gable to house (south east)

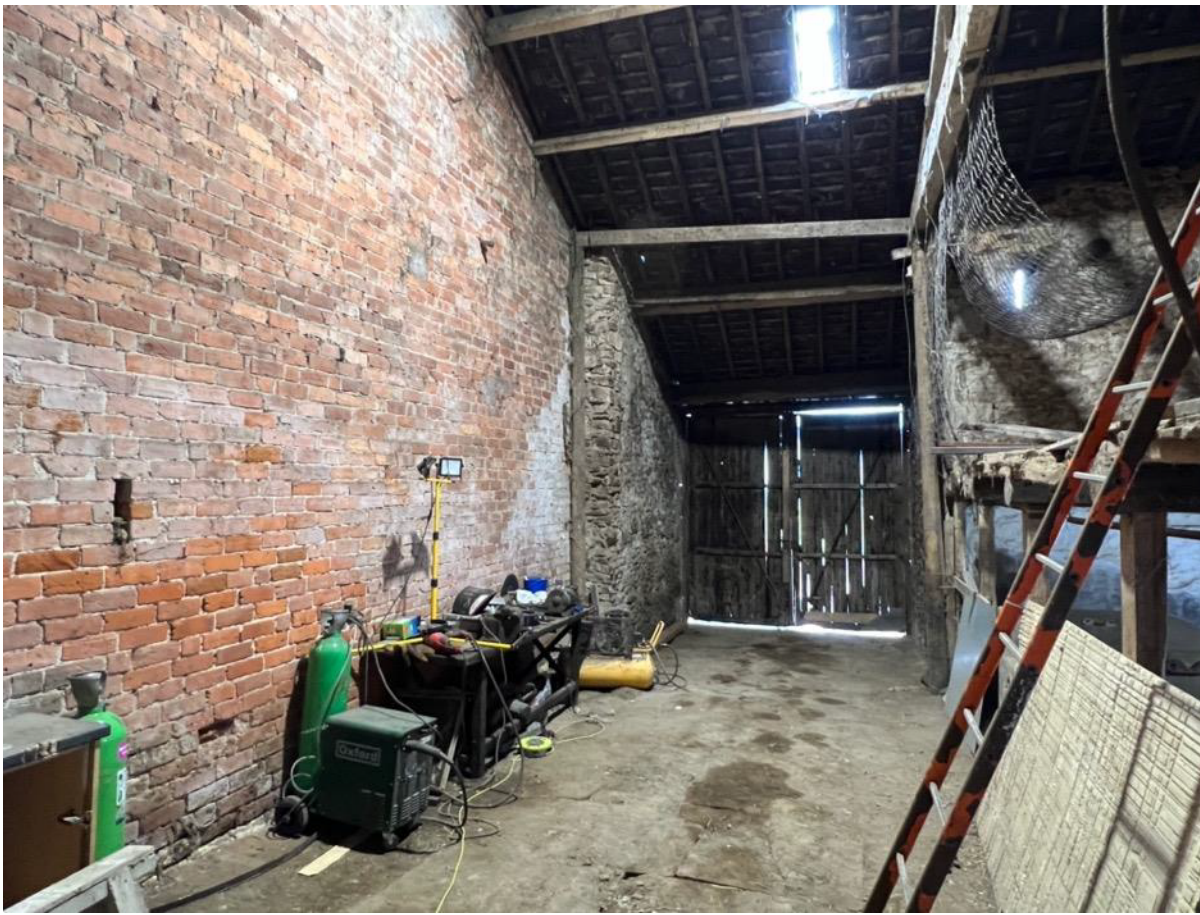


Photo 25 – Internal main barn – south east end



Photo 26 - Internal main barn – south east end



Photo 27 - Internal main barn – south east end



Photo 28 - Internal main barn – loft at south east end



Photo 29 - Internal main barn – roof



Photo 30 - Internal main barn – south east end



Photo 31 - Internal main barn – south west end



Photo 32 - Internal main barn – south west end



Photo 33 - Internal main barn – south west end



Photo 34 - Internal main barn – south west end – truss timber

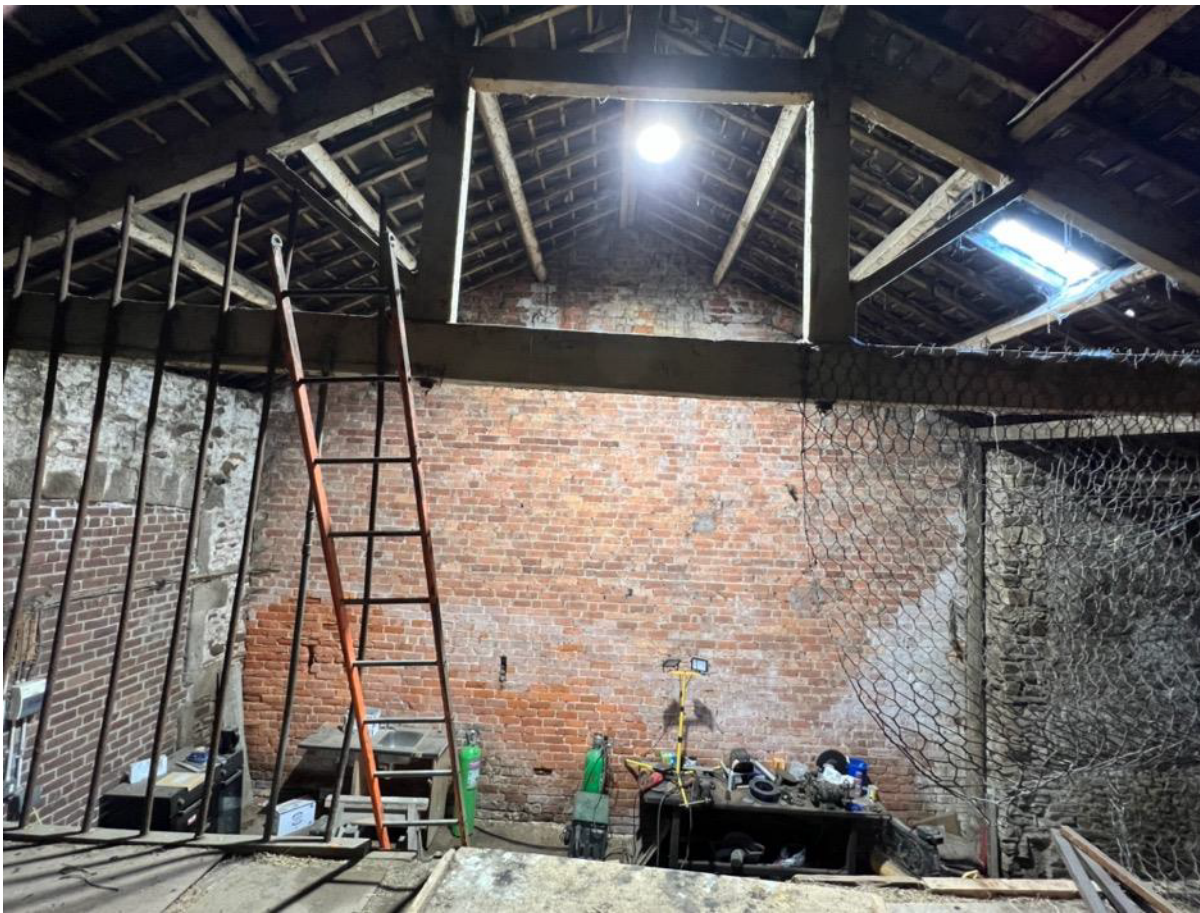


Photo 35 - Internal main barn – south east end



Photo 36 - Internal main barn – mid section



Photo 37 - Internal main barn – mid section



Photo 38 - Internal main barn – mid section – Floor to loft above



Photo 39 - Internal main barn – mid section



Photo 40 - Internal main barn – north west end



Photo 41 - Internal main barn – north west end



Photo 42 - Internal main barn – north west end



Photo 43 - Internal main barn – north west end



Photo 44 – Lean to on south west elevation - internal

