

Mr J Drinkall

Barn at Cheethall Farm, Edisford Road, Clitheroe, BB7 3LH

Structural Condition Survey for Conversion to Dwelling



PSC-932

November 2024

Paul Snape Consulting
Lower Stanalee Farm
Stanalee Lane
Goosnargh
Preston PR3 2ES



Mr J Drinkall
Structural Condition Survey
Barn at Cheethall Farm

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Structural Condition Survey

Barn at Cheethall Farm

1.0 Terms of reference

Paul Snape was appointed by Mr J Drinkall to carry out a visual structural inspection and produce a structural condition survey report for the existing barn at Cheethall Farm, Clitheroe. The building is indicated on the location and site plans included in Appendix A.

2.0 Purpose of the survey

It is proposed to convert the barn to form two dwellings. The proposals have been prepared by ALH Design Services Ltd and they have provided details of the existing layout which are included in Appendix A, together with the proposed layout. The visual structural survey is required to confirm the current condition of the building and to assess its suitability for conversion. There are photographic records of the building in Appendix B and these are referenced throughout the report.

The drainage and electrical systems of the building have not been inspected. These will be renewed as part of the proposals and detailed for Building Regulation purposes.

We have not inspected parts of the structure that are covered, unexposed or inaccessible. Hence, we are unable to report if such parts of the property are free from defect.

Our inspection was undertaken on 31st October 2024 at which time the weather was dry and overcast.

The survey was undertaken by a Chartered Civil Engineer, Paul Snape BEng (Hons) CEng MICE

3.0 Description of Building

The building to be converted is a traditional Lancashire barn with a main barn with lofts/mezzanine and a typical rear single storey shippon formed by a lean-to section. The main barn is built with stone with the rear lean-to in stone and blockwork.

4.0 External Survey

North-East Elevation (Photos 1 to 7)

The North-East Elevation is typical of a traditional Lancashire barn, built in coursed sandstone with a large central door (photo 3). At the north-west end is a timber outrigger section (photos 2 & 4). The 500mm thick wall is in good condition. It is plumb and reasonably pointed with lime mortar. There are no signs of previous or ongoing movement. The photos indicate that the roof has been lifted with the addition of 3 courses of brick (photo 5). In addition to the main barn door there is a further door and 3 window openings (one has been infilled with block – photo 4). There are numerous regularly spaced air slots in the stone walls. The timber to the doors

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and windows is in reasonable condition. The main barn door is a roller shutter door in good working order. This elevation benefits from functioning gutters and downspouts.

South-East Elevation (photo 8 to 12)

This gable wall is a 500mm thick coursed stone wall to the main barn and random sandstone 300mm thick to the rear shippon area. There are three door openings and one window opening in this elevation. There are 3 further infilled openings. The photos indicate that the outrigger to the shippon to the rear is probably a later addition to the main section of barn with the original quoin stones visible in the photos. The walls are plumb, reasonably pointed and free from any sign of previous or ongoing movement. The doors are in good condition except the rear door to the shippon area which has some signs of rot.

North-West Elevation (Photos 13 to 16)

This gable wall is a 500mm thick coursed stone wall to the main barn and rendered stone or block, 300mm thick to the rear shippon area. The main gable has a lean-to section attached which obscures the lower portion of wall. This will not be retained. The wall is plumb, reasonably well pointed and free from signs of movement. There is large roller shutter door giving access to the rear shippon area (photo 15).

South-West Elevation (Photos 15 & 16)

The rear wall to the main barn is discussed in the section covering internal inspections below. Photos 15 & 16 show the wall raised by brickwork as per the front elevation. Interestingly, the gables do not have areas of additional brickwork suggesting the brickwork to the elevations may have replaced stone. The rear wall to the shippon area is obscured by the ground behind it which is at a higher level and retained by this wall. External inspection of this higher ground did not reveal any signs of movement.

Roof (Photos – External – 1, 5 & 15 & 16)

The roof to the main barn is covered with cement/asbestos sheeting (photos 1, 5 & 15). Viewed externally, the roof appears fairly level with the sheets all in place and in reasonable condition. There are 3 rooflights on each face. The rear shippon area has a metal sheeted roof which is in a very good condition.

5.0 Internal Survey (Photos 17 to 30)

The main area of the barn is split into two halves with a central full height section and two mezzanine store areas adjacent to each gable. The area to the south east gable of the barn has a solid brick wall at ground floor level and a timber stud wall above (photo 20). Internal inspection reflects the external findings i.e. the barn is in good condition with no sign of previous or ongoing movement. The roof is carried by steel trusses and timber purlins (photos 17 to 19). Photo 22 shows the additional courses of brickwork which are 6 course deep on the internal face. Photo 21 shows a precious large barn door access to the rear wall which has been infilled presumably after the construction of the rear shippon. Photo 24 shows a typical steel beam carrying the mezzanine floor above. The existing access to the front elevation

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Barn at Cheethall Farm

shown in photo 25 has a stone arch whereas the infilled door at the rear has a timber lintel (photo 26).

The rear shippon area gives access to the main barn rear wall which is in coursed sandstone and in good condition (photos 29 & 30). Photo 30 indicates vents in the rear wall. The rear wall to the shippon is rendered as illustrated in photo 28. There is no sign of movement to this wall.

The barn has solid concrete floors throughout which are in good condition.

6.0 Suitability for Conversion and Method of Construction

It can be seen from the survey detailed above that this barn is in a good condition with little or no sign of previous movement and no sign of ongoing movement. When converting barns, it is essential that the construction techniques and sequence are carefully considered.

ALH Design Services have indicated the construction of an insulated inner leaf. This may comprise of a cavity with insulation plus a block inner leaf or a backing block to the stone with a cavity and a further block inner leaf. With this technique, care must be taken as the existing walls may be founded at a shallow depth. Trial holes should be dug to ascertain the actual depth. Ground floor levels should be set as high as possible and we would recommend the use of a concrete floor slab with thickened edges along external walls and thickenings under new internal walls. The thickening can be taken down to a similar depth as the existing walls. We would recommend a minimum depth of 400mm for the thickenings. Levels lower than the existing foundations should be avoided and if this is necessary an Engineer should be consulted as underpinning may be required. The new inner leaf (and backing block if used) should be tied to the existing wall with suitable cavity and/or specialist ties.

As an alternative, the new internal leaf could be formed with SIP panels if this is felt appropriate. Any new internal walls could be formed in masonry, SIP panels or timber stud walls as appropriate.

It is recommended that the new internal skin is in place and the internal walls, ground and first floor are put in place prior to the roof being removed and reconstructed. This will add stability to the existing walls.

The architectural layout removes the stone and brick outriggers to the north-west elevation but as these were additions to the original structure this should not affect the overall stability.

The existing trusses and purlins appear to be in good condition with little sign of rot or infestation. Any timber retained should be assessed by a timber specialist, with regard to rot and infestation. All retained timber should be treated against rot/infestation and an indication of residual section given for structural purposes. All retained timber to be used structurally should be checked for structural adequacy. The roof to the stone barn is likely to revert back to slate.

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The new roof construction should be assessed to ensure additional loading is not added to any roof structures retained. Any new openings introduced in the barns should not in general affect the overall stability of the buildings.

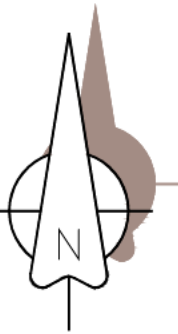
The units will require connection to a suitable foul and surface water system. It is unlikely any foul sewers are in place at this location and so a sewage treatment plant will be required meeting all current regulations in terms of treatment and outfall requirements. A sustainable surface water system will also be required.

7.0 Conclusions

The barn is in a good structural condition and is considered suitable for conversion. The construction should follow the guidance set out above and a structural engineer should be consulted with regard to the final layout for Building Regulation compliance.

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Barn at Cheethall Farm

Appendix A
Drawings



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NOTES

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS FOR THIS PROJECT. ALL LEVELS AND DIMENSIONS ARE TO BE CHECKED ON SITE BY THE CONTRACTOR, PRIOR TO PLACING ORDERS OR COMMENCING ANY OF THE RELEVANT WORKS. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS STATED OTHERWISE. ANY DISCREPANCIES BETWEEN THE INFORMATION SHOWN ON THE PLAN AND THAT FOUND ON SITE ARE TO BE REPORTED TO THE DESIGNER IMMEDIATELY.

Rev.	Date	Description
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 Barley Cottage, Brewery Street, Longridge, Lancs
 PR3 3NB, Tel & Fax : (01772) 785719

Client

Mr J Drinkall,
 Cheethall Farm,
 Edisford Road,
 Clitheroe,
 Lancs, BB7 3LH

Job/Scheme Title

CONVERSION OF REDUNDANT
 BARN TO FORM TWO DWELLINGS

Drawing Title

LOCATION PLAN

Job/Scheme Number	Drawing Number
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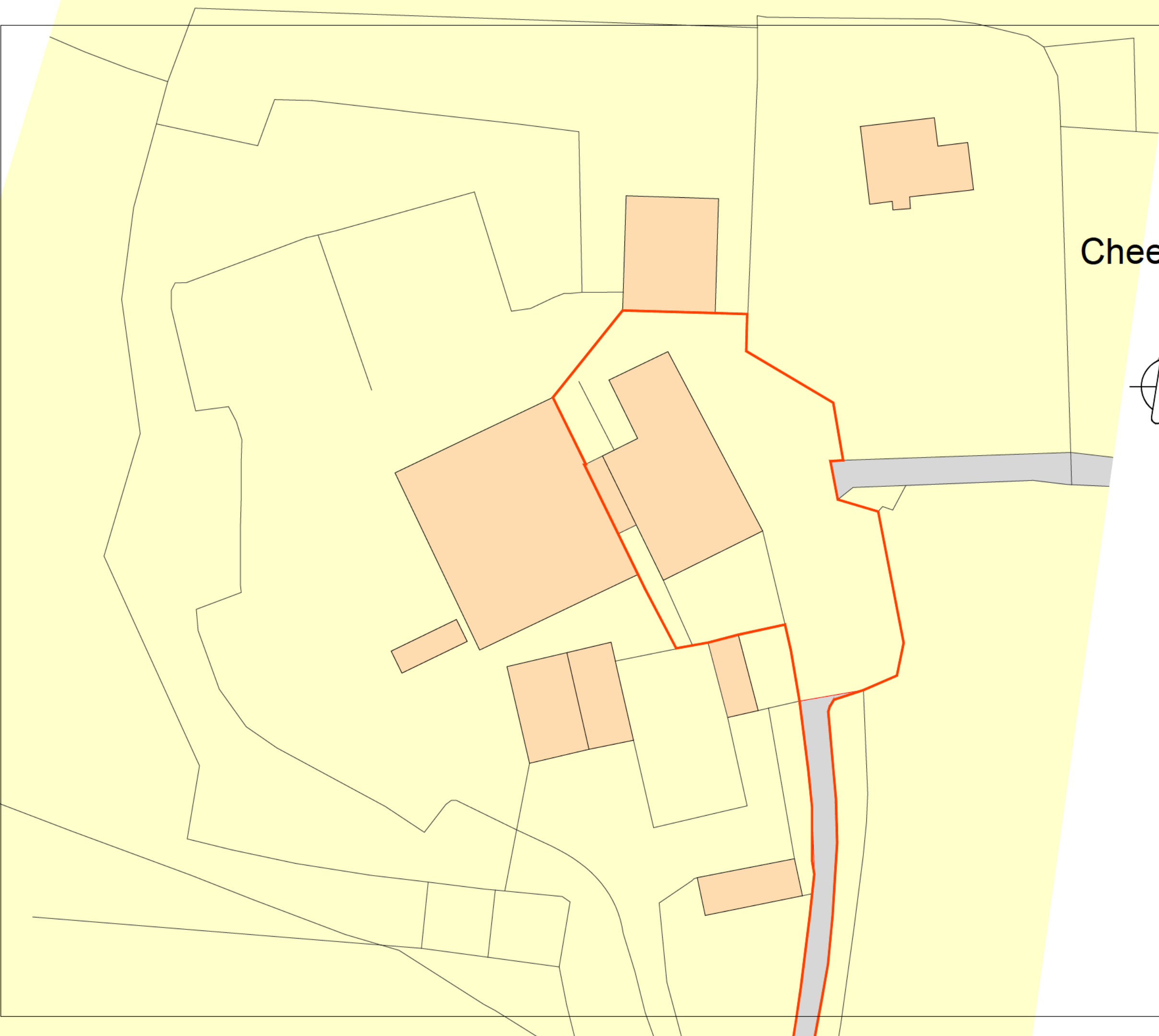
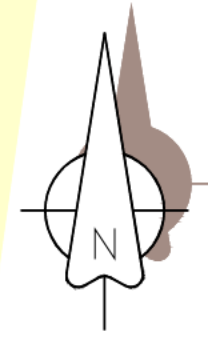
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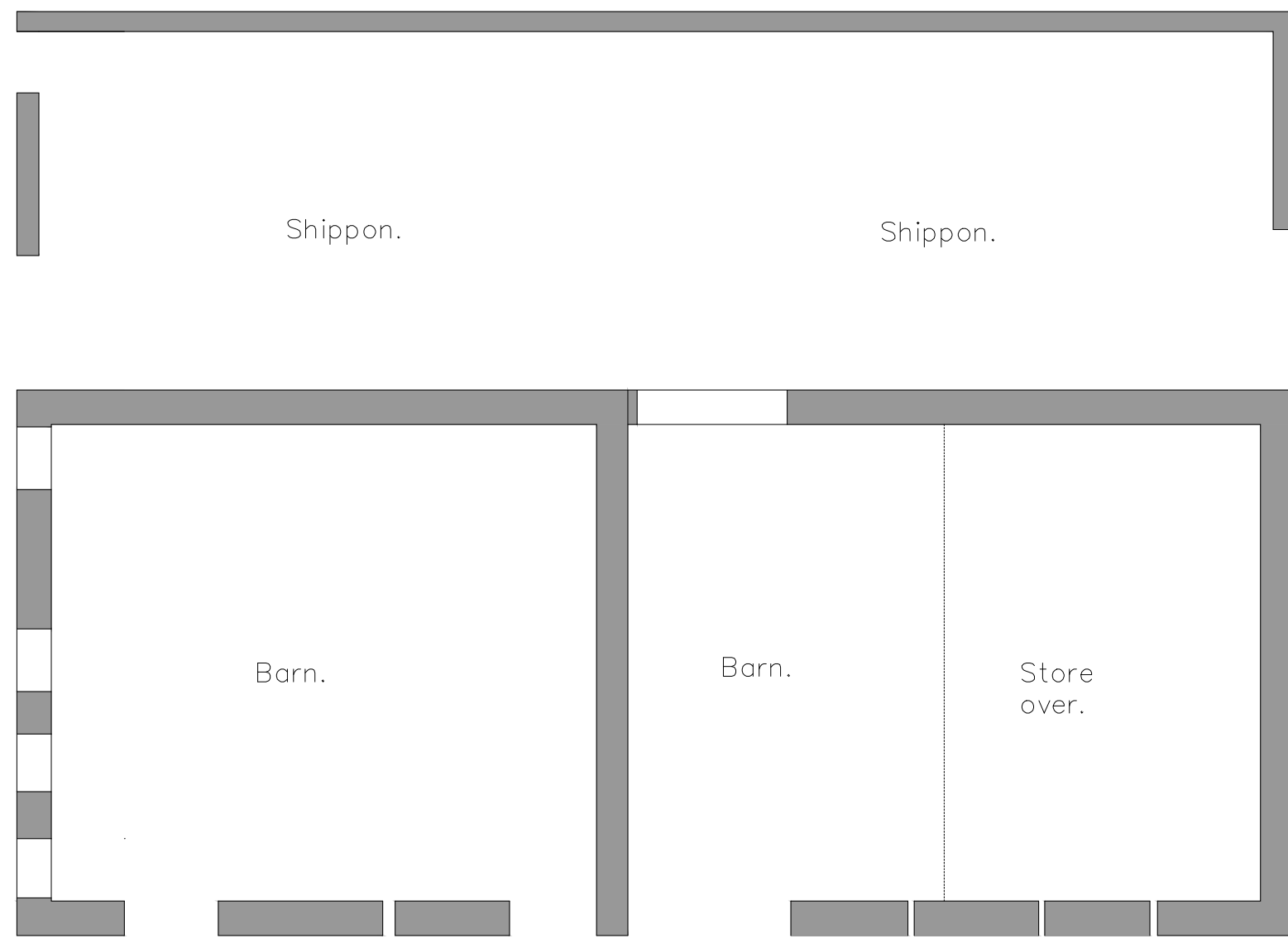
Client
 Mr J Drinkall,
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Job/Scheme Title
 CONVERSION OF REDUNDANT
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Drawing Title
 EXISTING SITE PLAN

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Ground Floor Plan
 scale 1:100

Rev.	Date	Description
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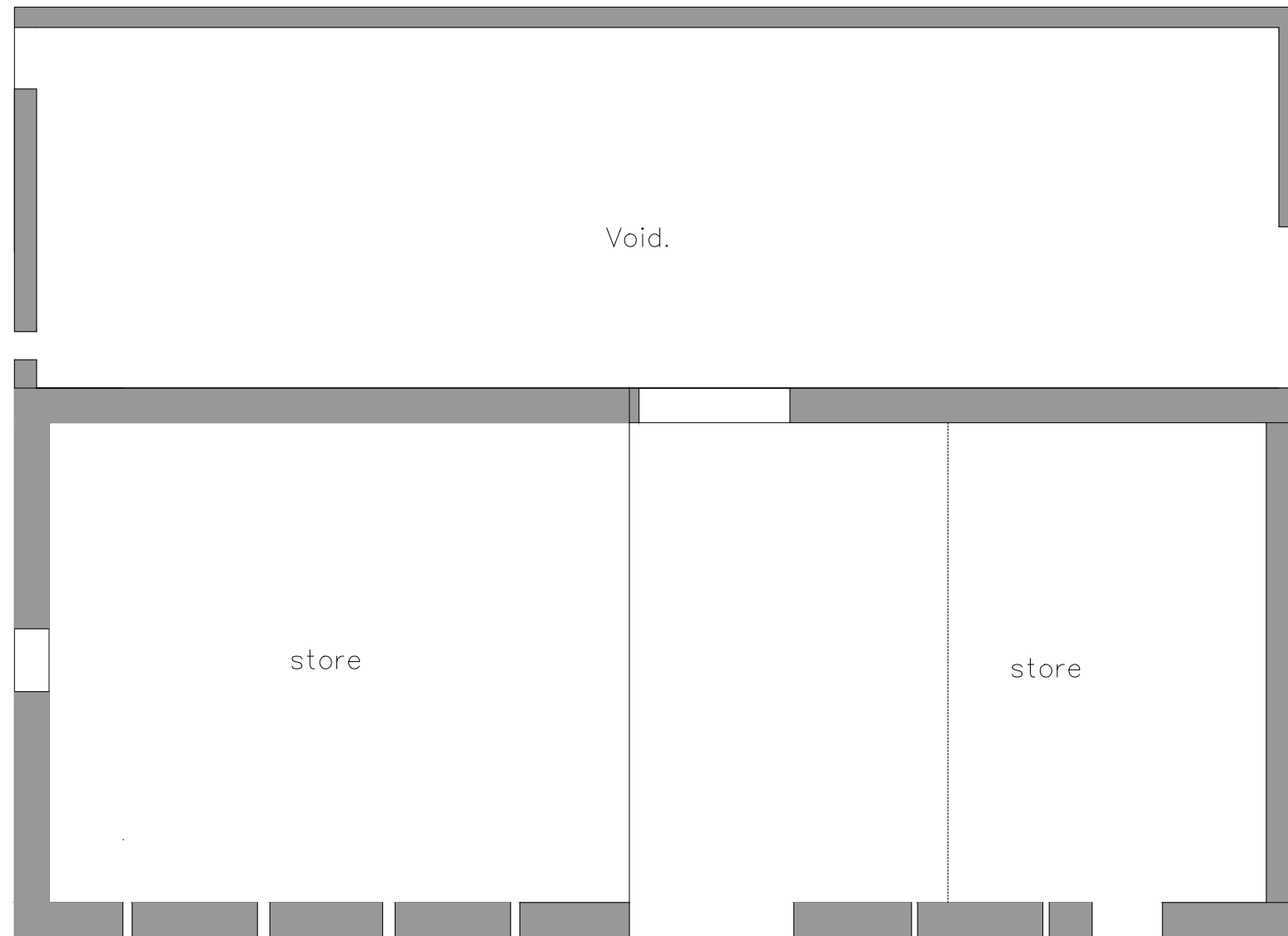
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Job/Scheme Title
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Drawing Title
 EXISTING GROUND FLOOR PLAN

Job/Scheme Number		Drawing Number	
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First Floor Plan
 scale 1:100

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CONVERSION OF REDUNDANT
 BARN TO FORM TWO DWELLINGS

Drawing Title

EXISTING FIRST FLOOR PLAN

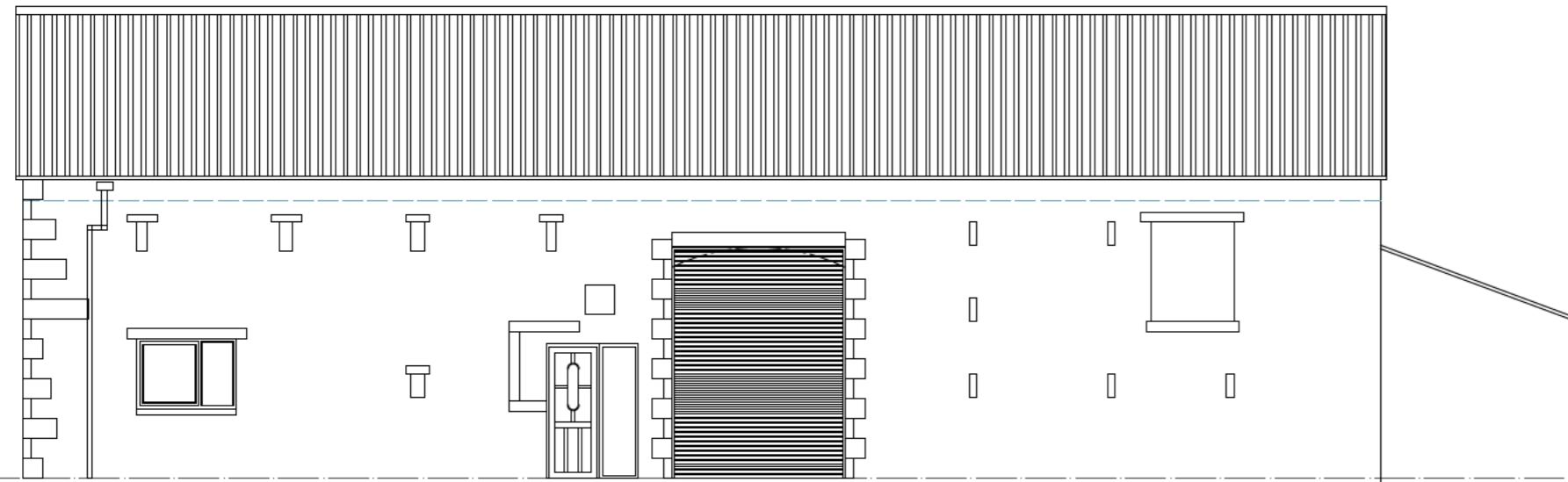
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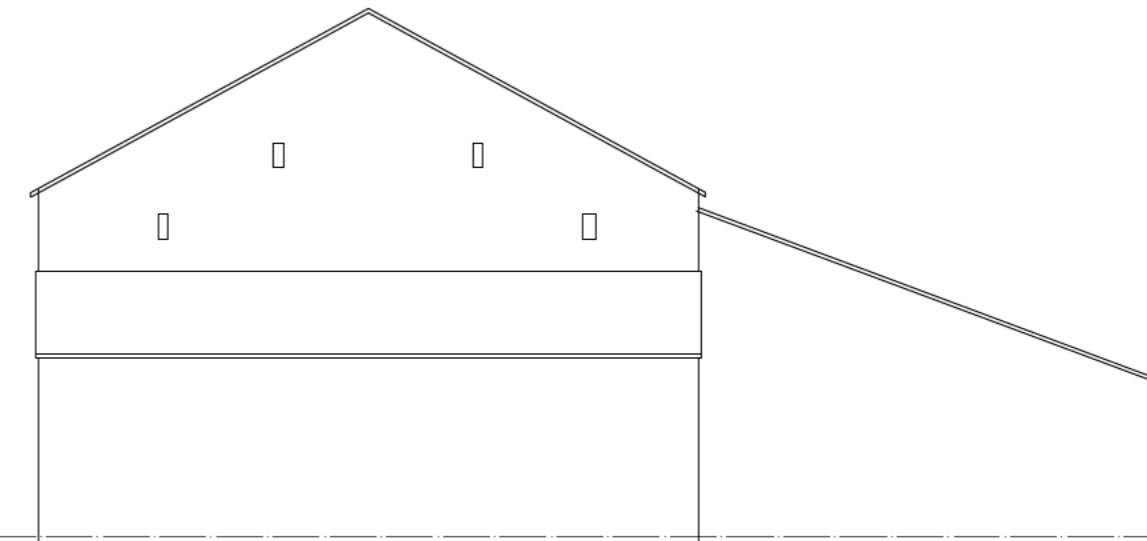
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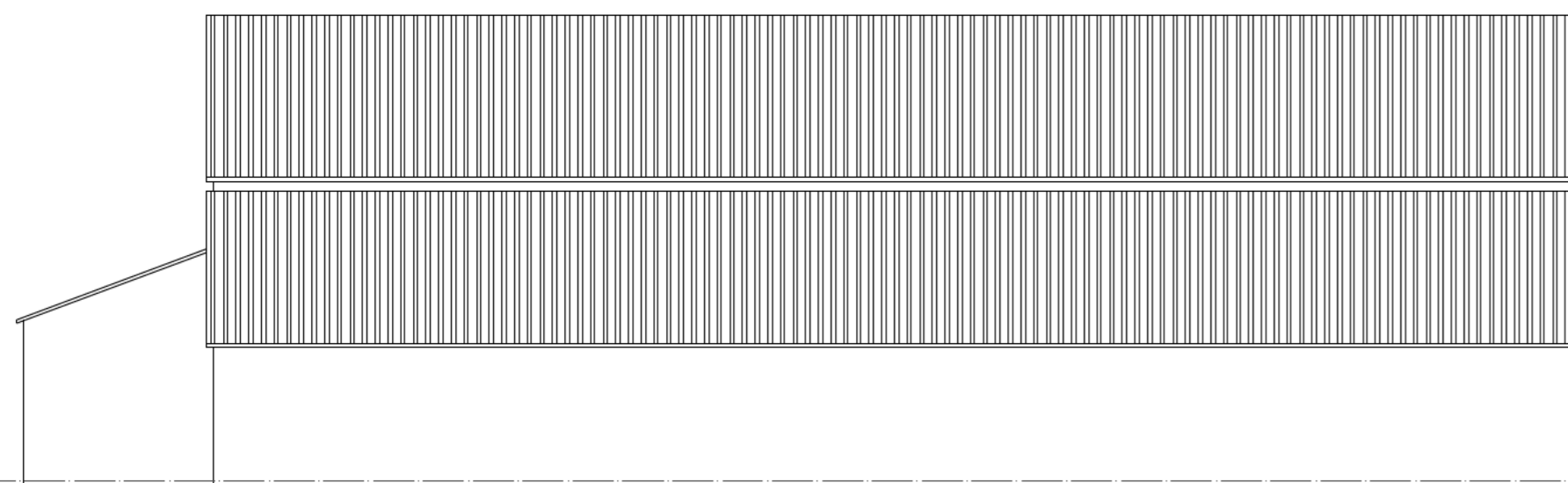
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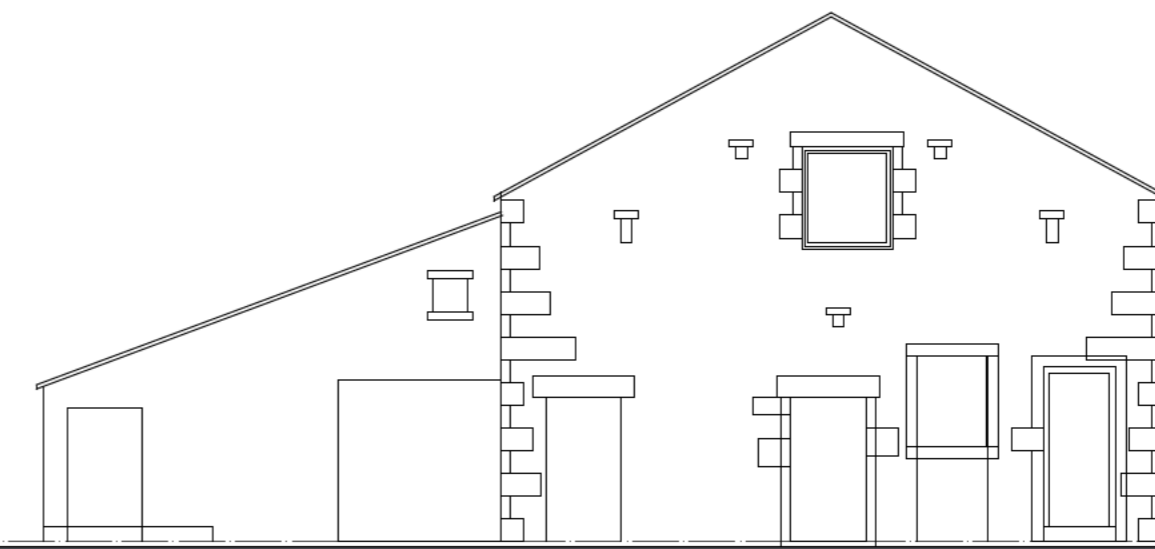
NORTH EAST



NORTH WEST



SOUTH WEST



SOUTH EAST

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Job/Scheme Title
**CONVERSION OF REDUNDANT
 BARN TO FORM TWO DWELLINGS**

Drawing Title

EXISTING ELEVATIONS

Job/Scheme Number	Drawing Number
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0755/93 Drawing No 07

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1/100 Oct 24 a.t.l.h.

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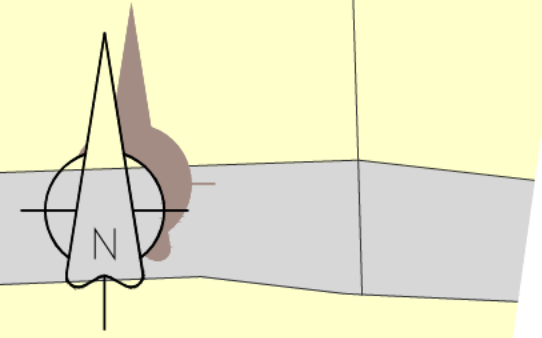
carefully take down the extg lean-to, and make good surfaces. allow for forming 2 car parking spaces as previously described with a personnel gate

carefully break up the hardstanding area marked as garden and excavate out approx 450mm to allow for 300mm capping soil and 150mm top soil for vegetation

where shown shaded at the rear of the barn/shippin this is to be demolished and boundary to run adjacent to this to allow for access for maintenance

carefully cut out opening in extg concrete wall to allow for 2 number of parking bays 4.8 x 2.5 wide and also for a 900mm wide personnel gate as shown. the wal is then to be faced in reclaimed stone to match the barn

carefully break up the hardstanding area marked as garden and excavate out approx 450mm to allow for 300mm capping soil and 150mm top soil for vegetation



A 23.09.24 Alts to suit planners comments of 13.09.24

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CONVERSION OF REDUNDANT
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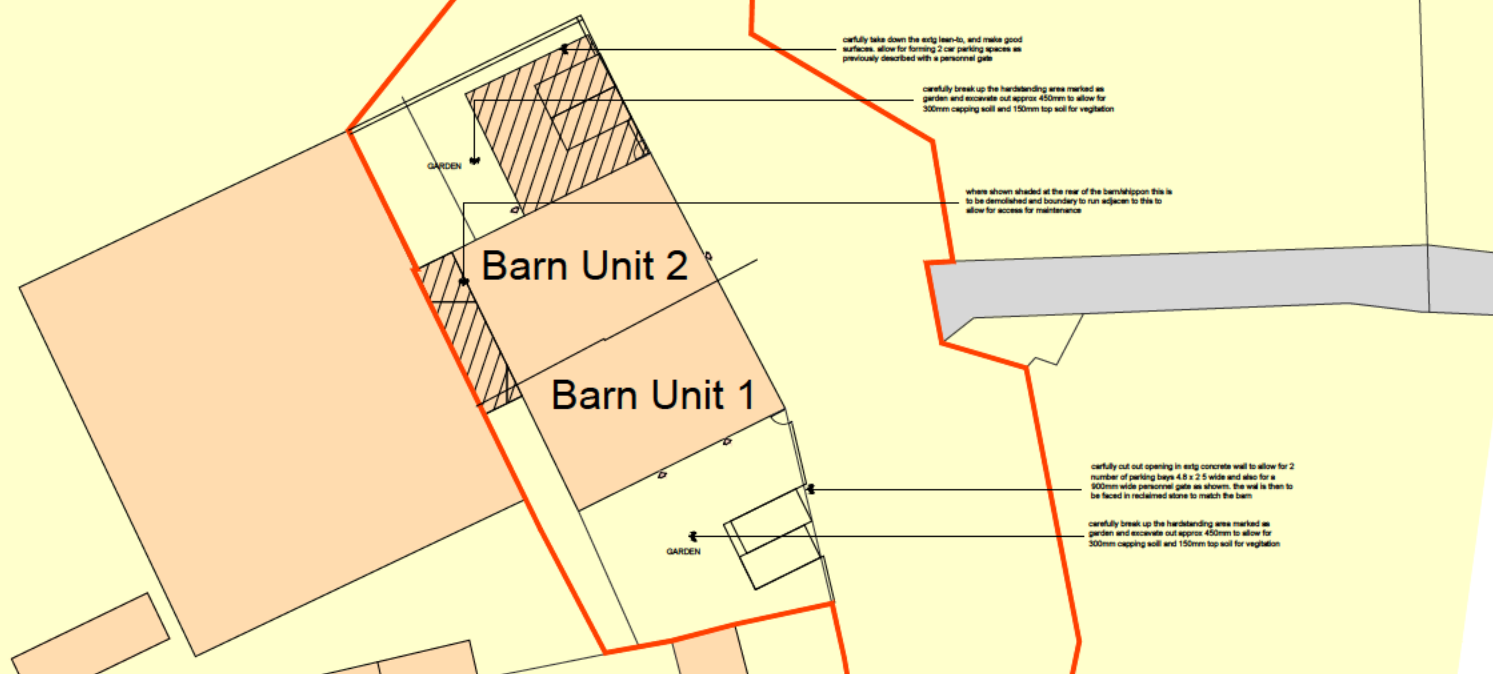
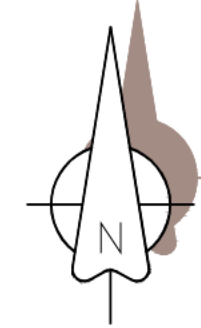
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PROPOSED SITE PLAN
 (with GF plan)

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Scale	Date	Drawn	Checked
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Job/Scheme Title

CONVERSION OF REDUNDANT
 BARN TO FORM TWO DWELLINGS

Drawing Title

PROPOSED SITE PLAN

Job/Scheme Number	Drawing Number
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Ground Floor Plan
 scale 1:100

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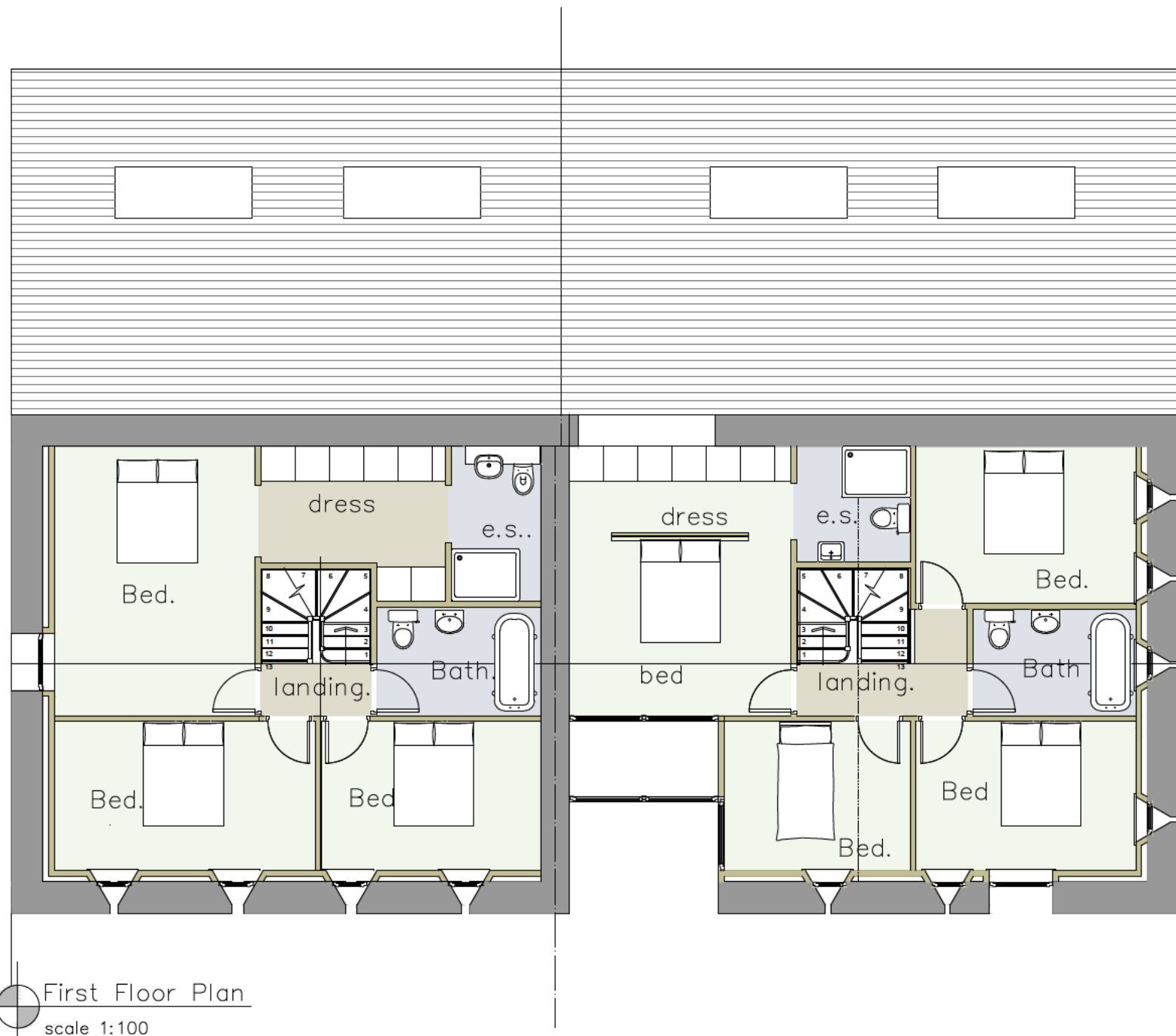
CONVERSION OF REDUNDANT
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Drawing Title

PROPOSED GROUND FLOOR
 PLAN

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First Floor Plan
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Job/Scheme Title

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Drawing Title

PROPOSED FIRST FLOOR PLAN

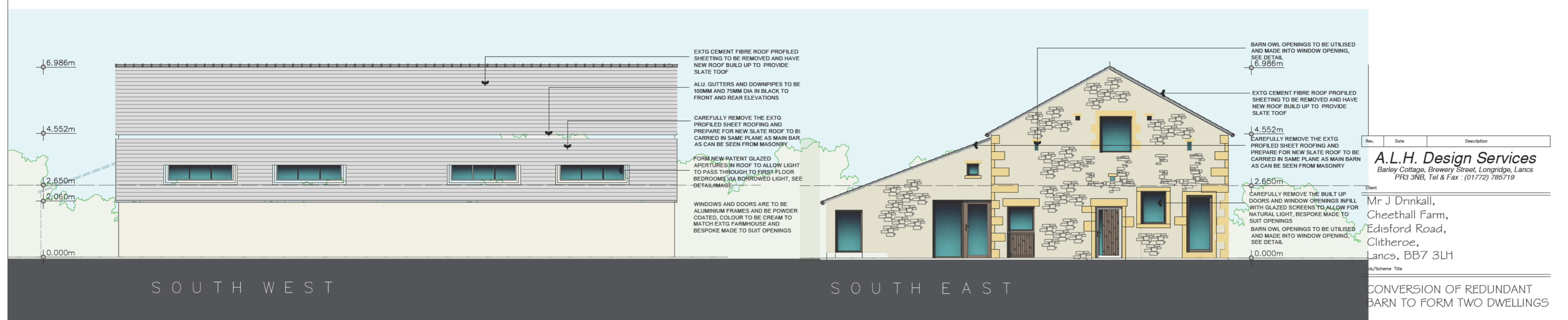
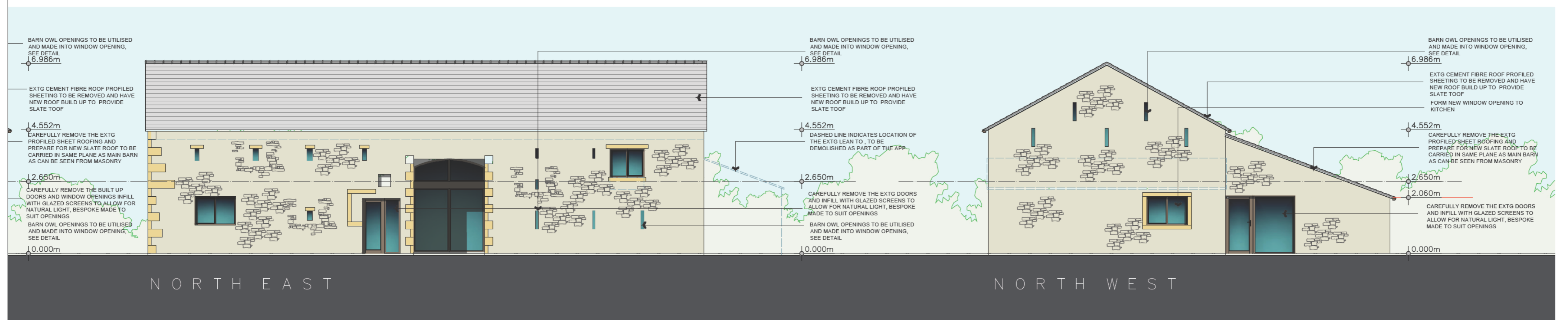
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1/500 Sept24 a.t.l-h.

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 BARN TO FORM TWO DWELLINGS

Drawing Title
 PROPOSED ELEVATIONS

Job/Scheme Number		Drawing Number	
0755/93		Drawing No 15	
Scale	Date	Drawn	Checked
1/100	Oct 24	a.t.l-h.	

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Barn at Cheethall Farm

Appendix B
Photographs



Photo 1 - North East Elevation



Photo 2 – North East Elevation



Photo 3- North East Elevation



Photo 4 - North East Elevation



Photo 5 – North East Elevation and roof



Photo 6 – North East Elevation



Photo 7 – North East Elevation



Photo 8 – South East Elevation



Photo 9 – South East Elevation



Photo 10 – South East Elevation



Photo 11 - South East Elevation



Photo 12 - South East Elevation



Photo 13 – North West Elevation



Photo 14 - North West Elevation



Photo 15 - North West Elevation, rear lean to section and roofs



Photo 16 - North West Elevation to rear lean to



Photo 17 – Internal looking North West



Photo 18 – Internal showing steel trusses and purlins



Photo 19 – Internal with storage at North East End



Photo 20 - Internal with storage at North East End and South West Wall internal



Photo 21 – South West Wall Internal



Photo 22 - South West Wall Internal with storage mezzanine at North West end



Photo 23 – North West gable



Photo 24 – Steel beam to mezzanine



Photo 25 – Internal north east elevation and main door



Photo 26 – Timber curved lintel to former opening in rear elevation of main barn



Photo 27 – Toilet at south east elevation



Photo 28 – Rear wall of lean to on south west elevation



Photo 29 – Rear south west wall of main barn and roof to rear lean to



Photo 30 - Rear south west wall of main barn in rear lean to

