

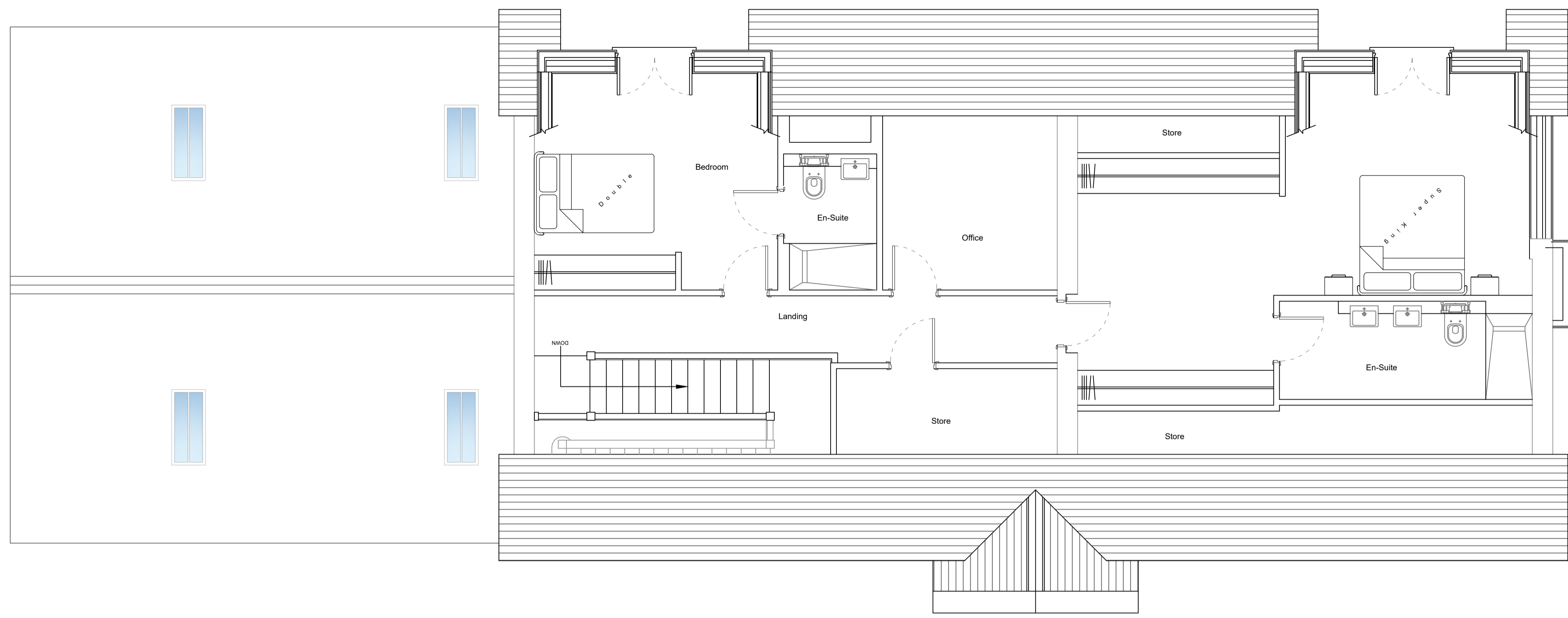
IMPORTANT NOTES

ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING REGULATION, ALL RELEVANT BRITISH STANDARD SPECIFICATION, CODES OF PRACTICE, LOCAL AUTHORITY BYLAWS AND IN COMPLIANCE WITH THE LOCAL AUTHORITY APPROVAL. CONTRACTORS MUST CHECK ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS. WHERE WRITTEN DIMENSIONS ARE PROVIDED THESE SHOULD BE TAKEN IN PREFERENCE TO SCALED OFF MEASUREMENTS BUT THEY MUST BE STILL CHECKED ON SITE OR BY REFERENCE TO THE AGENT.

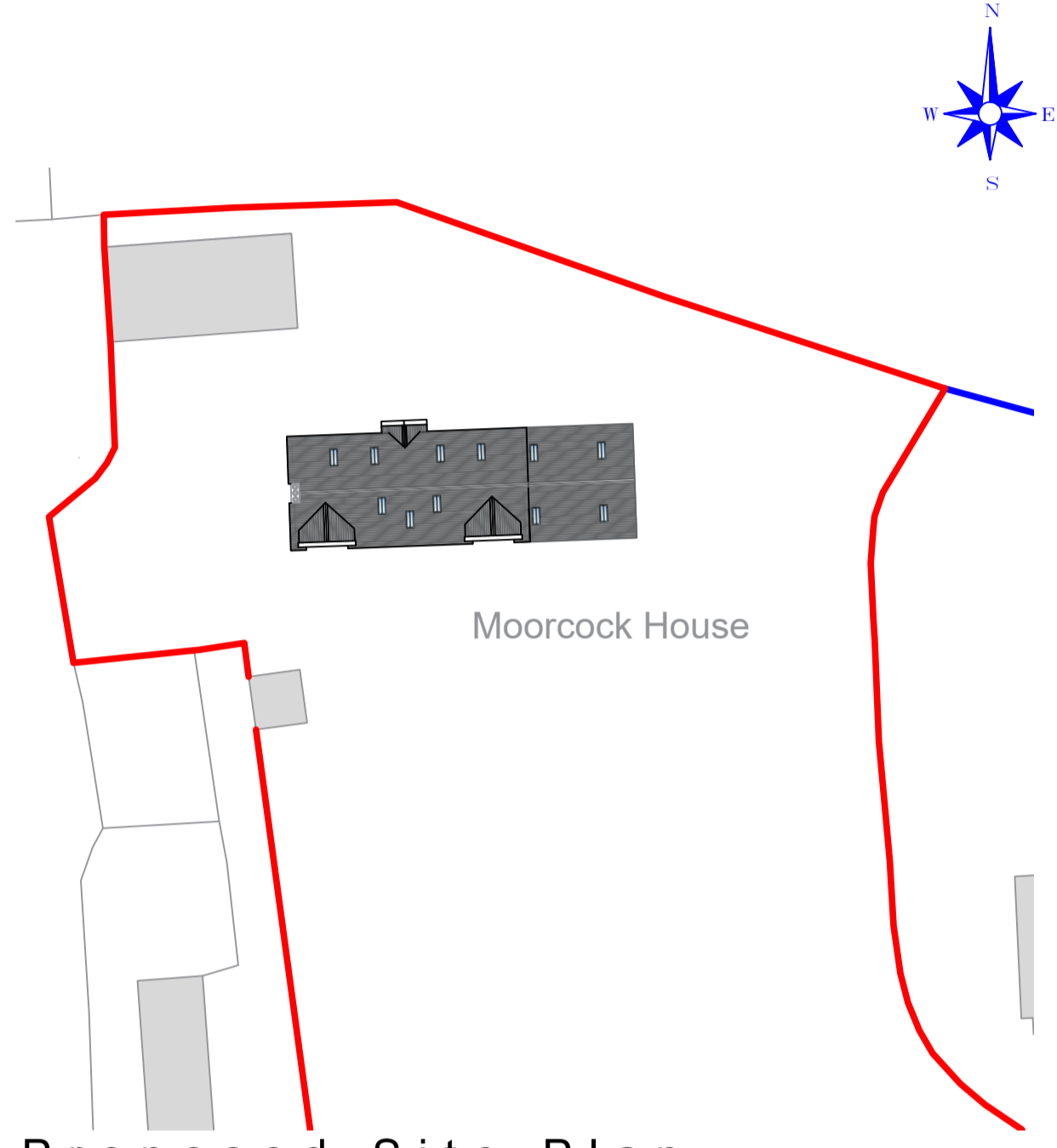
THE PARTY WALL ACT CAN APPLY TO CERTAIN KINDS OF DEVELOPMENT WHERE YOU ARE BUILDING EXTENSIONS OR ALTERING BUILDINGS CLOSE TO YOUR NEIGHBOUR'S PROPERTY. PLEASE NOTE THAT IN CERTAIN SITUATIONS YOU WILL NEED TO ENGAGE A PARTY WALL SURVEYOR. FOR FURTHER INFORMATION AS TO WHETHER THE PARTY WALL ACT WOULD APPLY TO THE WORKS DESCRIBED ON THESE PLANS YOU CAN VISIT THE OFFICE OF THE DEPUTY PRIME MINISTER WEBSITE AT: WWW.COPIA.GOV.UK. PLEASE NOTE THAT THIS LEGISLATION IS NOT ENFORCED BY THE LOCAL AUTHORITY AND/OR THE BUILDING INSPECTOR AND UNLESS SEPARATELY INSTRUCTED, WE DO NOT GET INVOLVED WITH PARTY WALL MATTERS.

IF THE PROPOSED WORKS ARE TO BE CARRIED OUT BY MORE THAN ONE CONTRACTOR THEN THE CONSTRUCTION (DESIGN AND MANAGEMENT) REGULATIONS 2015 WILL APPLY. FOR FURTHER INFORMATION PLEASE SPEAK TO THE AGENT OR LOOK ON www.hse.gov.uk.

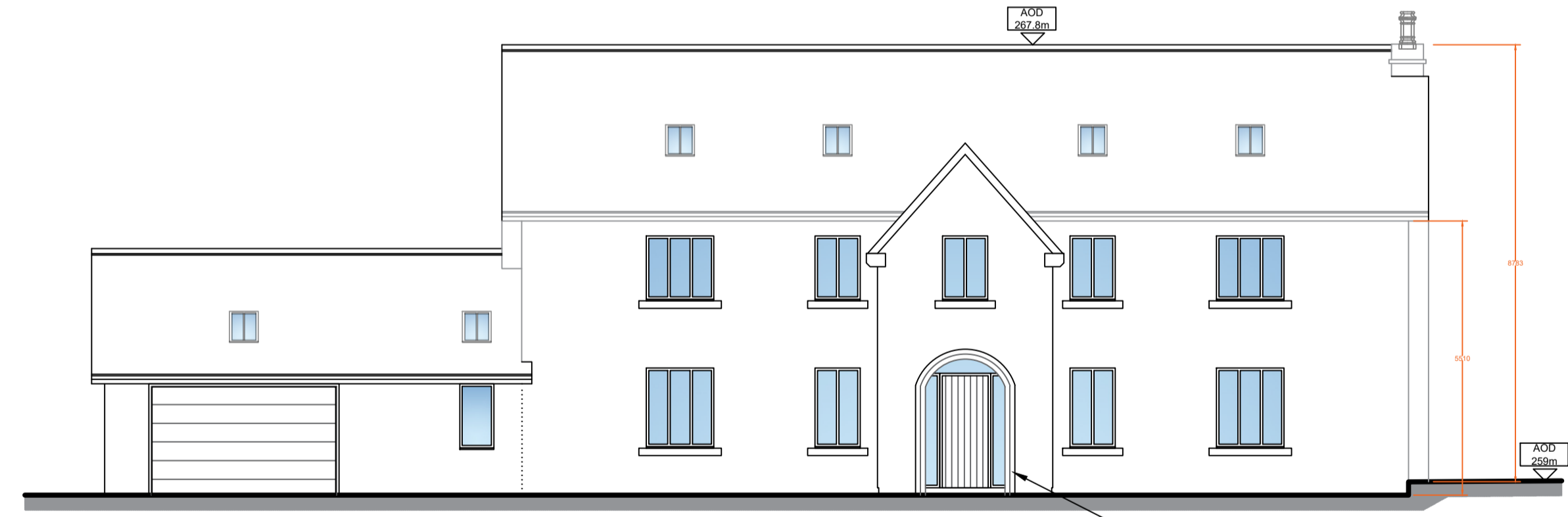
WHILE EVERY EFFORT HAS BEEN MADE TO ENSURE ACCURATE MEASUREMENTS DUE TO THE NATURE OF THE BUILDING IT IS NOT POSSIBLE TO GUARANTEE ALL MEASUREMENTS ARE TO BE CHECKED ON SITE BY CONTRACTOR BEFORE WORK COMMENCES.



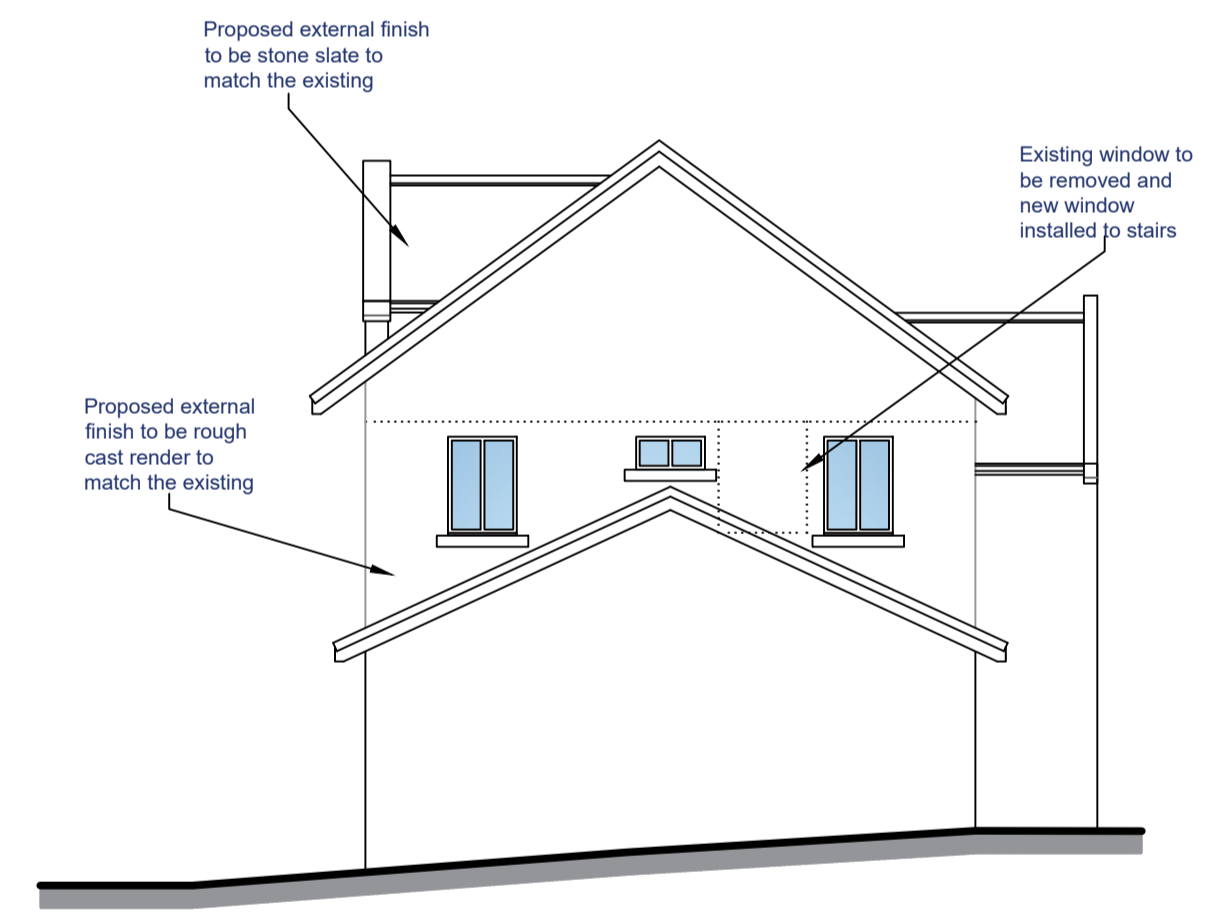
Proposed Second Floor Plan
Scale (1:50)



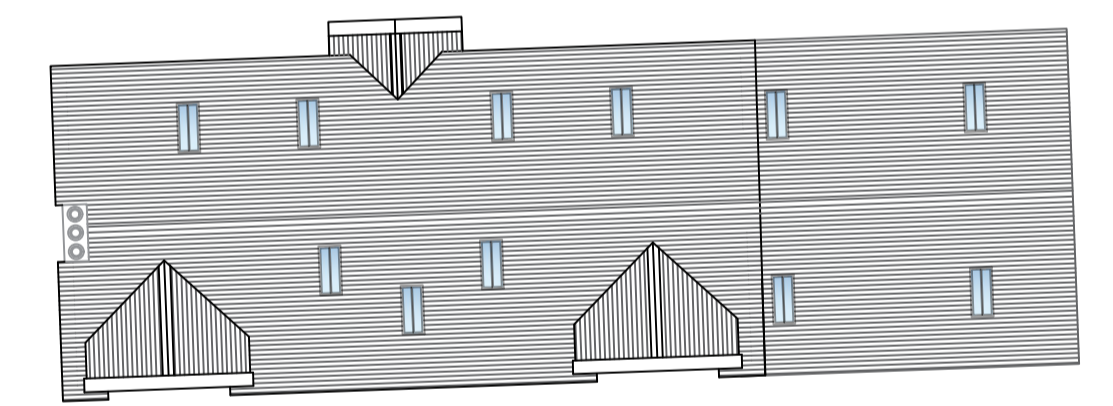
Proposed Site Plan
Scale (1:500)



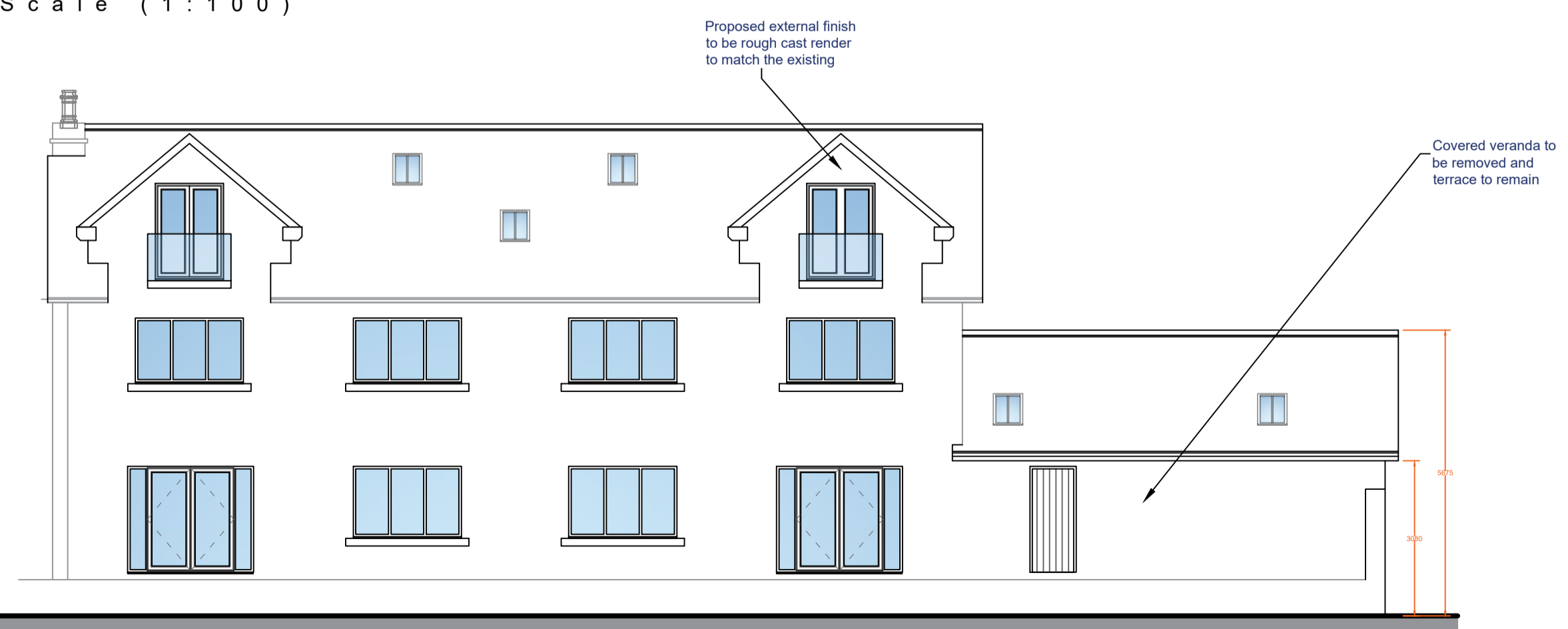
Proposed North Elevation
Scale (1:100)



Proposed East Elevation
Scale (1:100)



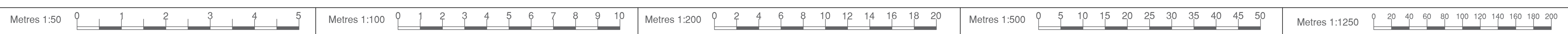
Proposed Roof Plan
Scale (1:200)



Proposed South Elevation
Scale (1:100)



Proposed West Elevation
Scale (1:100)



C. ADD noted on elevation	04/04/25
B. Amended at the request of the L.P.A.	31/03/25
A. Amended at the request of the client	07/03/25
Revision	Date
HOLDEN Lancashire	
83 Blackburn Road, Rishton, BB1 4ER. Mob: 07738162386. Email: james@holdenlancs.com. Web: www.holdenlancs.com	
Drawing Title: Proposed Loft Conversion and New Garage	
Site Location: Moorcock House, Slaidburn Road, Waddington, BB7 3AA	
Drawing Status: Proposed Floor Plans & Elevations	
Date: 22/02/2024	Drawn by: JHolden
Scale: 1:50/1:100 @ A1	Ref: 006
Client: Mr & Mrs Howarth	Revision: C.