

INTERNAL LININGS

EXTERNAL WALLS

12.5mm plasterboard  
12mm exterior grade ply (or comparable OSB board).  
vapour barrier  
100x50mm studwork (either sw or MF metal stud) at max.600mm centres.  
100mm polyisocyanurate insulation between studs.  
breather membrane to outer face of stud (facing into cavity).  
min.25mm cavity between outer face of lining and existing wall.

GENERAL

- all internal finishes, plaster, etc.. to existing walls to be fully removed. all areas of defective masonry to be replaced, fully bonded into existing.
- prior to installation, moisture levels to existing walls to be checked to confirm 'dry' (as determined by plasterboard manufacturer). if walls found not to be suitably 'dry' then consult architect before progressing with lining.
- all plasterboard joints to be scrim sealed. for 3mm skim finish.

ROOFLIGHTS

conservation rooflights manufactured by and installed in strict accordance with the recommendations of :-  
The Rooflight Company  
tel : 01993 833108  
rooflight installed flush with roof (i.e. 'between the rafter' installation)  
complete with all associated flashings, vapour barriers etc.  
size ref. CR08-2, structural dimensions 735x1135mm (viewable dimensions 415x675mm)  
detailing to timber trimmers/bearers and associated framework to comply with manufacturer's requirements

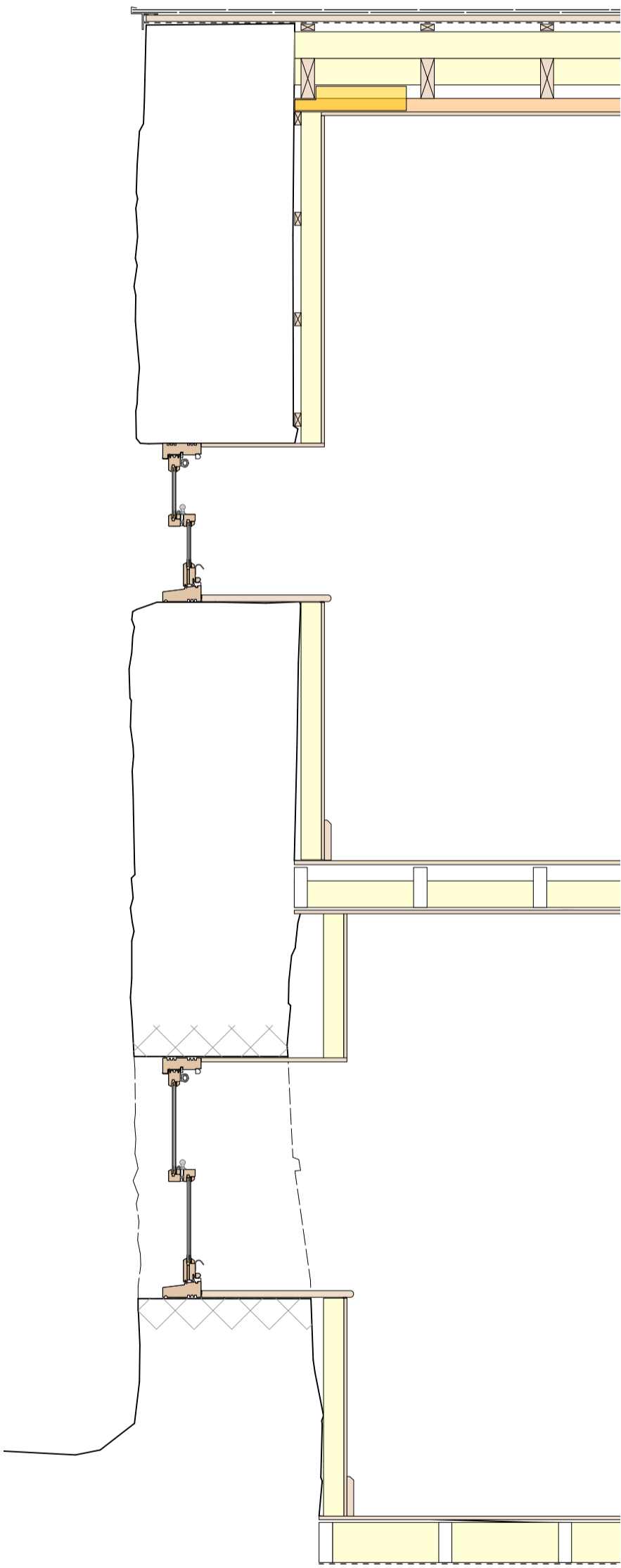
ROOF CONSTRUCTION

slates on 50x25mm slate battens (gauge to suit slates, pitch and exposure) on klober 'permoforte' vapour permeable breather membrane, on 50x50mm counterbattens, on 75mm PIR insulation, on rafters at max 450mm centres (exact sizes to be confirmed by structural engineer).  
100mm PIR insulation friction fitted between rafters.  
all underdrawn with vapour control layer (min.1000 gauge), 50x25mm sw battens and 12.5mm foil backed plasterboard for skim finish

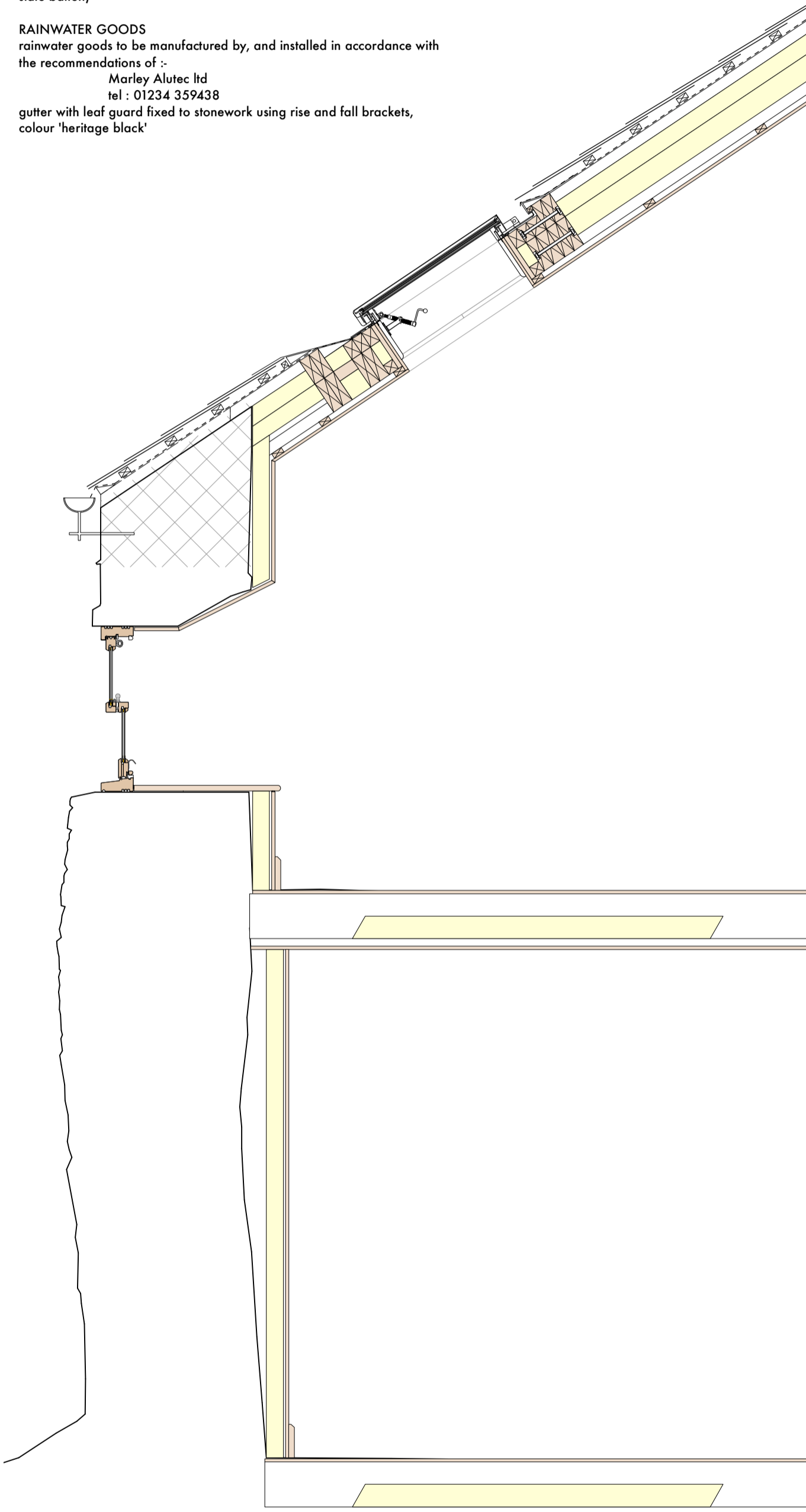
existing wall profiled at eaves to suit roof pitch - counterbattens to form ladder frame over wall for adequate fixing of bottom slate battens and filling fillet - allow enough space when profiling wall for draping breather membrane between counterbattens (to avoid water build up at bottom slate batten)

RAINWATER GOODS

rainwater goods to be manufactured by, and installed in accordance with the recommendations of :-  
Marley Alutec Ltd  
tel : 01234 359438  
gutter with leaf guard fixed to stonework using rise and fall brackets, colour 'heritage black'

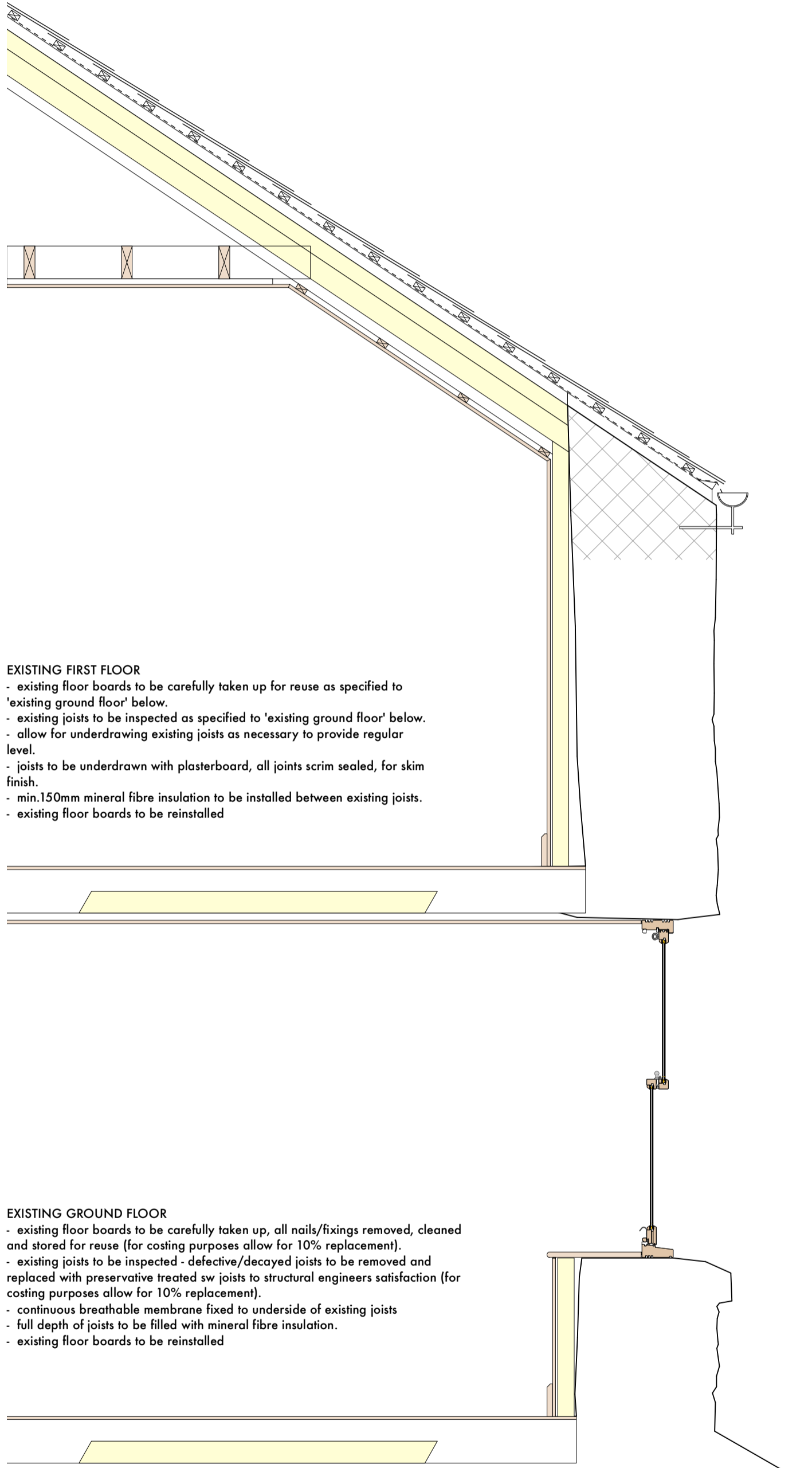
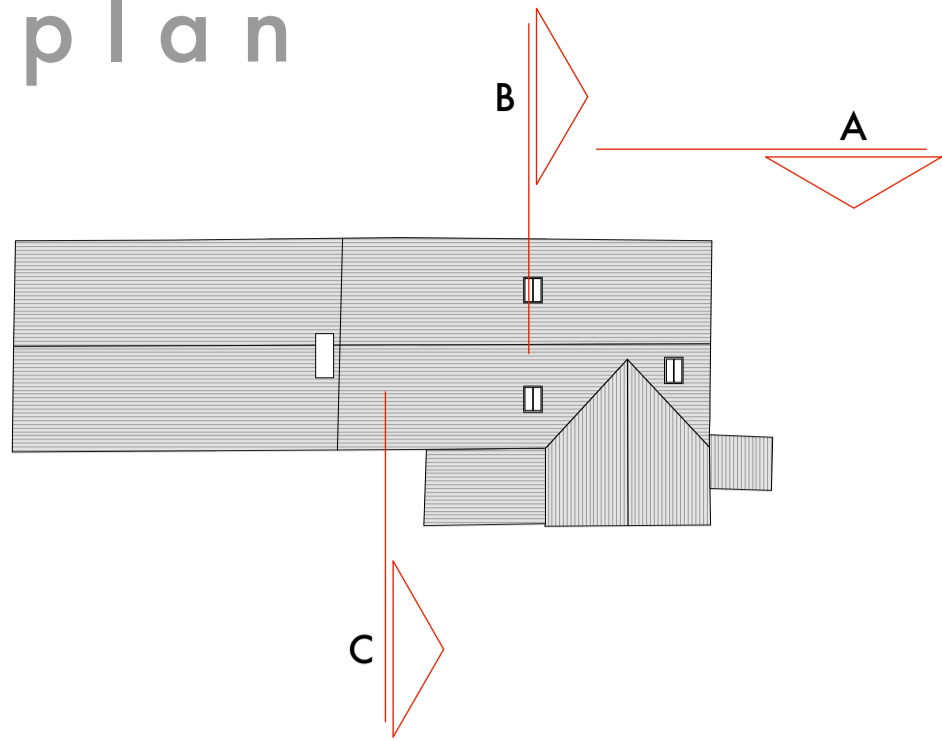


section A



section B

key plan



EXISTING FIRST FLOOR  
- existing floor boards to be carefully taken up for reuse as specified to 'existing ground floor' below.  
- existing joists to be inspected as specified to 'existing ground floor' below.  
- allow for underdrawing existing joists as necessary to provide regular level.  
- joists to be underdrawn with plasterboard, all joints scrim sealed, for skim finish.  
- min.150mm mineral fibre insulation to be installed between existing joists.  
- existing floor boards to be reinstalled

EXISTING GROUND FLOOR  
- existing floor boards to be carefully taken up, all nails/fixings removed, cleaned and stored for reuse (for costing purposes allow for 10% replacement).  
- existing joists to be inspected - defective/decayed joists to be removed and replaced with preservative treated sw joists to structural engineers satisfaction (for costing purposes allow for 10% replacement).  
- continuous breathable membrane fixed to underside of existing joists  
- full depth of joists to be filled with mineral fibre insulation.  
- existing floor boards to be reinstalled

section C

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revision	date	note
A	31.03.2025	discharge of conditions application

- GENERAL NOTES
- drawing produced for discharge of conditions applications
  - relating to application ref. 3/2022/1165 (planning) and 3/2022/1166 (LBC), should not be considered 'working drawings' or tender drawings unless explicitly stated otherwise by stanton andrews.
  - all work to be in accordance with the current building regulations inclusive of all subsequent amendments.
  - all materials are to be fit for purpose, to the relevant British Standards, 'ce' marked and covered by the current agreement certificate.

PLANNING CONDITION no.3 and LBC CONDITION no.3

'Notwithstanding the submitted plans, the following details, including samples, shall be submitted to and approved in writing by the Local Planning Authority before their use in the proposed development:  
- Details of windows, doors and openings to be in-filled including reveals;  
- Details of windows, doors and openings to be created;  
- Details of walling (stone and mortar) and roofing materials;  
- Details of external and internal floor surfaces (including colour and texture); and  
- Details of rainwater goods (cast iron or aluminium heritage style in black).  
The approved details shall be implemented within the development in strict accordance with the approved details.'

PLANNING CONDITION no.4 and LBC CONDITION no.4

'All new and replacement windows and doors shall be constructed in timber, of which precise specifications of proposed windows and doors including elevations cross - sections, glazing type, opening mechanism and surface finish shall have been submitted to and approved in writing by the Local Planning Authority before their use in the proposed development.  
The approved windows and doors shall be implemented within the development in strict accordance with the approved details and shall thereafter be retained in perpetuity.'

PLANNING CONDITION no.5 and LBC CONDITION no.5

'Notwithstanding the details shown upon the approved plans, the proposed roof lights shall be of the conservation type, recessed with a flush fitting, details of which shall be submitted to and approved by the Local Planning Authority prior to installation. The development shall be carried out in strict accordance with the approved details.'

LBC CONDITION no.6

'Prior to the commencement of the development section details at a scale of not less than 1:20 of each elevation of the buildings hereby approved shall have been submitted to and approved by the Local Planning Authority.  
For the avoidance of doubt the sections shall clearly detail all eaves, guttering/rainwater goods, soffit/overhangs, window/door reveals and the proposed window/door framing profiles and materials.  
The development shall be carried out in strict accordance with the approved details.'

EXTERNAL WALL FINISHES

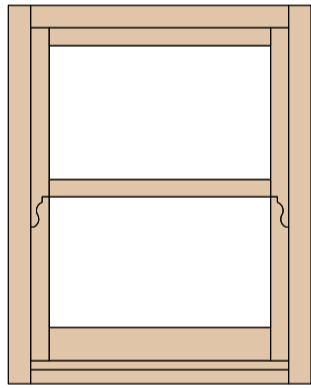
- existing sections of cement render to be removed
- all existing cement pointing to be carefully raked out and repointed with lime mortar to improve moisture permeability

SLIDING SASH TIMBER WINDOWS

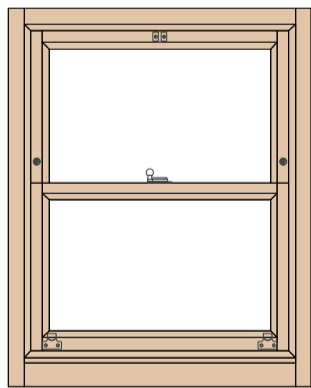
- standard: to BS 644: 2012
- certification: quality: EN ISO 9001: 2015; environmental: EN ISO 14001: 2015; health & safety: EN ISO 45001: 2018
- exposure rating to BS 6375-1: 2015
- air permeability: class 4 (600pa)
- weather tightness: class 9a (600pa)
- resistance to wind load: class c4 (2000pa)

- operation & strength characteristics: to BS 6375-2: 2009
- timber: generally, to BS EN 942: 2007
- species: engineered redwood
- appearance class: 10 for glazing beads, drips and similar. 140 or better for all other members.
- moisture content on delivery: 10-16%
- certification: FSC chain of custody

finish: fully finished with manufacturer's paint system (4 coats on opaque / 3 coats on translucent), colour to be confirmed by client.  
thermal performance max. 1.4 W/m²K  
security: certified to PAS 24 and secured by design when required by building regulations approved document Q  
glazing system: traditional drained and vented  
glazing details: factory glazed to meet performance specification  
glazing unit: to meet performance specification / specified  
light transmittance: >70%  
ironmongery/accessories: opening windows fitted with sash lift / pull, night vent restrictor and locking fasteners.  
to be installed in strict accordance with manufacturer's recommendations.



external elevation



internal elevation

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Chartered Practice

project	project number	drawing number
lower reaps farmhouse	24.48	dis.01
name	scale	date
proposed - section details	1 to 20 @ A1	february 2025
revision	status	revision
A	discharge of conditions	A

0m 0.5m 1.0m 1.5m 2.0m 2.5m scale