

INTERNAL LININGS

EXTERNAL WALLS
12.5mm plasterboard
12mm exterior grade ply (or comparable OSB board).
vapour barrier
100mm studwork (either sw or MF metal stud) at max.600mm centres.
100mm polyisocyanurate insulation between studs.
breather membrane to outer face of stud (facing into cavity).
min.25mm cavity between outer face of lining and existing wall.

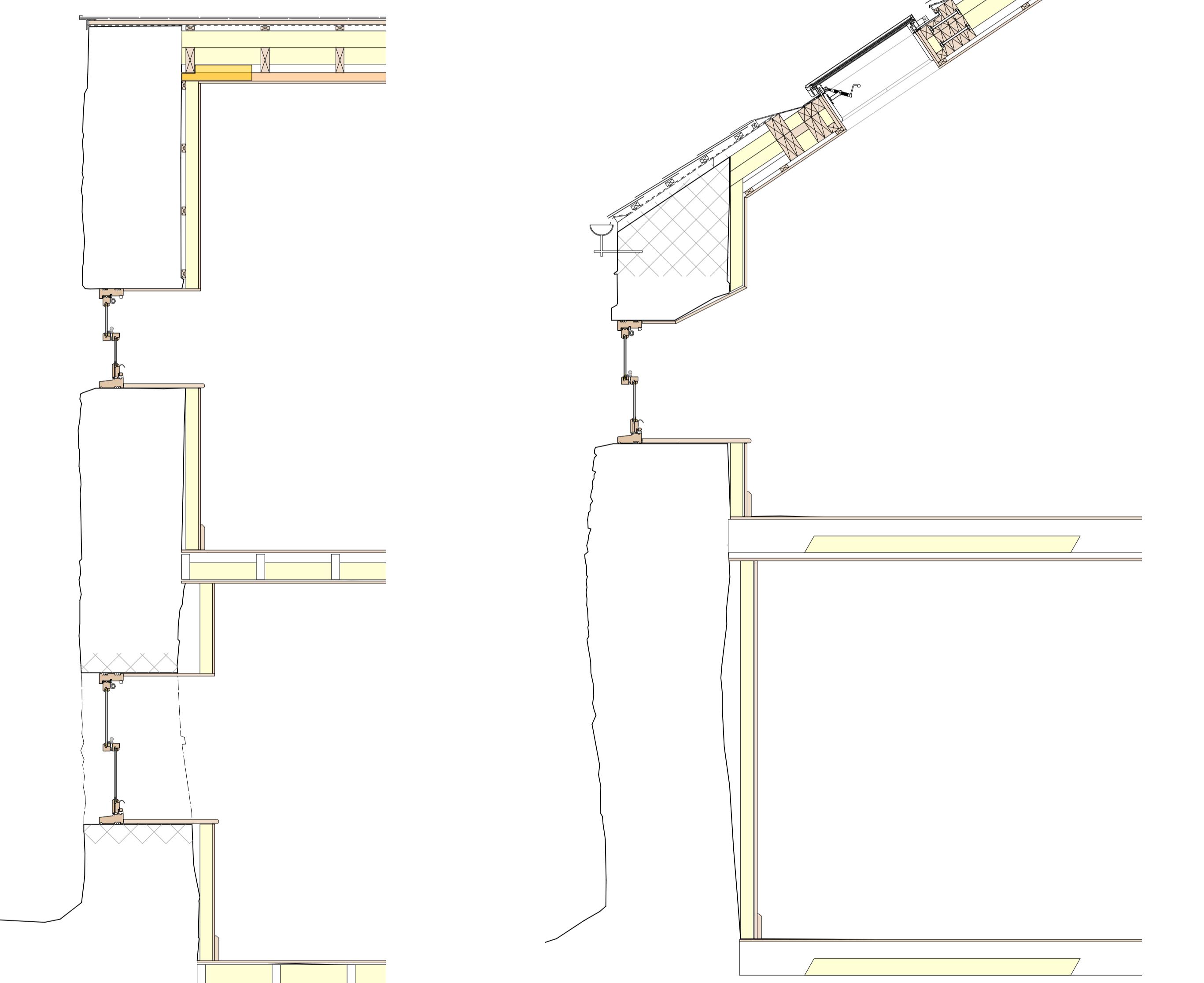
GENERAL
- all internal finishes, plaster, etc.. to existing walls to be fully removed. all areas of defective masonry to be replaced, fully bonded into existing.
- prior to installation, moisture levels to existing walls to be checked to confirm 'dry' (as determined by plasterboard manufacturer). if walls found not to be suitably 'dry' then consult architect before progressing with lining.
- all plasterboard joints to be scrim sealed. for 3mm skim finish.

ROOFLIGHTS
conservation rooflights manufactured by and installed in strict accordance with the recommendations of:-
The Rooflight Company
tel: 01993 833108
rooflight installed flush with (i.e. 'between the rafters' installation)
complete with all associated flashings, vapour barriers etc.
size ref. CRO82, structural dimensions 735x1135mm (viewable dimensions 415x675mm)
detailing to timber trimmers/bearsers and associated framework to comply with manufacturer's requirements

ROOF CONSTRUCTION
slates on 50x25mm slate battens (gauge to suit slates, pitch and exposure) on klober 'permoforte' vapour permeable breather membrane, on 50x50mm counterbattens, on 75mm PIR insulation, on rafter of max 450mm centres (exact sizes to be confirmed by structural engineer).
100mm PIR insulation friction fitted between rafters.
all underlaid with vapour control layer (min.1000 gauge), 50x25mm sw battens and 12.5mm foil backed plasterboard for skim finish

existing wall profiled at eaves to suit roof pitch - counterbattens to form ladder frame over wall for adequate fixing of bottom slate battens and tilting fillet - allow enough space when profiling wall for draping breather membrane between counterbattens (to avoid water build up at bottom slate batten)

RAINWATER GOODS
rainwater goods to be manufactured by, and installed in accordance with the recommendations of:-
Marley Alutec Ltd
tel: 01234 359438
gutter with leaf guard fixed to stonework using rise and fall brackets, colour 'heritage black'

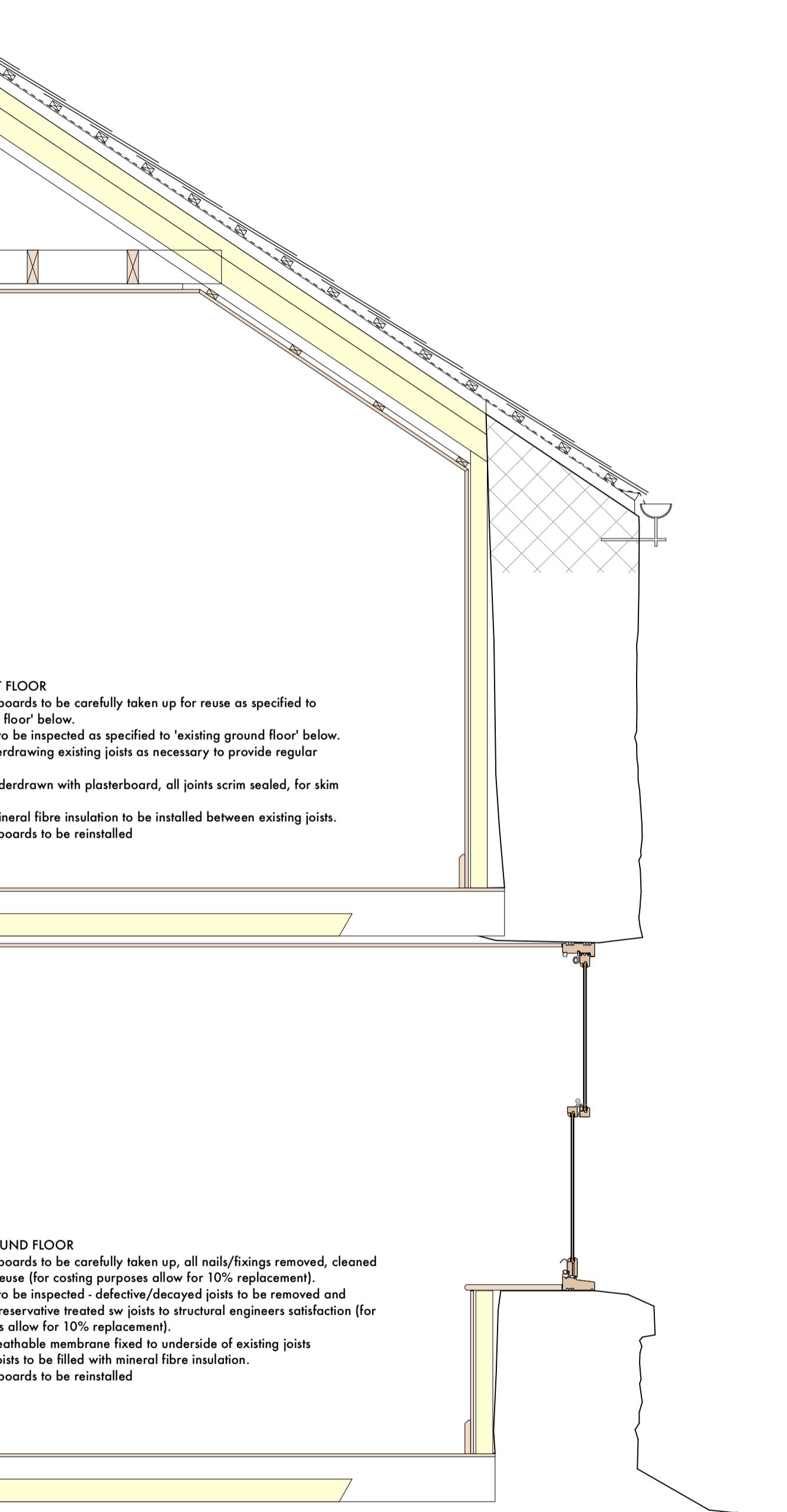
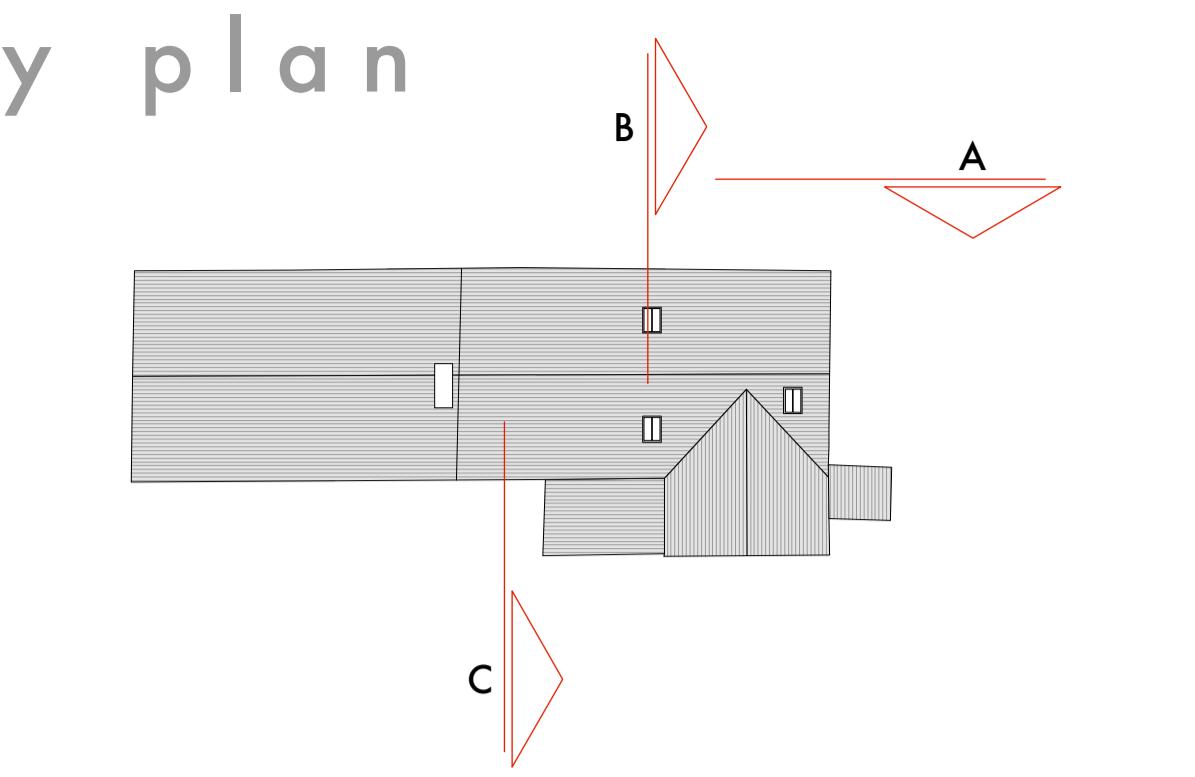


section A

section B

section C

0m 0.5m 1.0m 1.5m 2.0m 2.5m scale



EXISTING FIRST FLOOR
- existing floor boards to be carefully taken up for reuse as specified to 'existing ground floor' below.
- existing joists to be inspected as specified to 'existing ground floor' below.
- allow for underdrawing existing joists as necessary to provide regular level.
- joists to be underdrawn with plasterboard, all joints scrim sealed, for skim finish.
- min.150mm mineral fibre insulation to be installed between existing joists.
- existing floor boards to be reinstated

EXISTING GROUND FLOOR
- existing floor boards to be carefully taken up, all nails/fixings removed, cleaned and stored for reuse (recycling purposes allow for 10% replacement);
- existing joists to be inspected, defective/decayed joists to be removed and replaced with preservative treated sv joists to structural engineers satisfaction (for costing purposes allow for 10% replacement).
- continuous breathable membrane fixed to underside of existing joists.
- full depth of joists to be filled with mineral fibre insulation.
- existing floor boards to be reinstated

Stanton Andrews do not accept liability for any loss or degradation of information held in the drawing, resulting from the original file or other file formats or from any other source. This drawing must be printed in colour, if this text is not RED the drawing must be reprinted.
Do not scale, use figured dimensions only. All dimensions to be checked on site. This drawing should be printed and read at the original size, as stated in title block. Stanton Andrews accept no responsibility for errors that occur as a result of reviewing this drawing of any other size. Stanton Andrews accept no responsibility for any changes made to this drawing after it was prepared. This drawing is to be read in conjunction with all relevant consultants and specialists drawings. 'As existing' drawings based on information provided by others - no measured survey of the property has been undertaken by the architect. This drawing is subject to copyright.

DWG issues - when this drawing is issued in DWG format it is an uncontrolled version and is provided to the client for their own preparation, its own interpretation and for which it is solely responsible. It is based on background information contained in the title block. Stanton Andrews accept no liability for any alterations, to additions or to discrepancies arising out of changes to such background information which occur after it has been issued by Stanton Andrews.

revision date note
A 31.03.2025 discharge of conditions application

GENERAL NOTES
- drawing produced for discharge of conditions applications
- relating to application ref. 3/2022/1165 (planning) and 3/2022/1166 (LBC), should not be considered 'working drawings' or tender drawings unless explicitly stated otherwise by stanton andrews.
- all work to be in accordance with the current building regulations inclusive of all subsequent amendments.
- all materials are to be fit for purpose, to the relevant British Standards, 'ce' marked and covered by the current agreement certificate.

PLANNING CONDITION no.3 and LBC CONDITION no.3

'Notwithstanding the submitted plans, the following details, including samples, shall be submitted to and approved in writing by the Local Planning Authority before their use in the proposed development:
- Details of windows, doors and openings to be infilled including reveals;
- Details of windows, doors and openings to be created;
- Details of walling (stone and mortar) and roofing materials;
- Details of external and internal floor surfaces (including colour and texture); and
- Details of rainwater goods (cast iron or aluminium heritage style in black).
The approved details shall be implemented within the development in strict accordance with the approved details.'

PLANNING CONDITION no.4 and LBC CONDITION no.4

'All new and replacement windows and doors shall be constructed in timber, of which precise specifications of proposed windows and doors including elevations cross - sections, glazing type, opening mechanism and surface finish shall have been submitted to and approved in writing by the Local Planning Authority before their use in the proposed development.
The approved windows and doors shall be implemented within the development in strict accordance with the approved details and shall thereafter be retained in perpetuity.'

PLANNING CONDITION no.5 and LBC CONDITION no.5

'Notwithstanding the details shown upon the approved plans, the proposed roof lights shall be of the conservation type, recessed with a flush fitting, details of which shall be submitted to and approved by the Local Planning Authority prior to installation. The development shall be carried out in strict accordance with the approved details.'

LBC CONDITION no.6

'Prior to the commencement of the development section details at a scale of not less than 1:20 of each elevation of the buildings hereby approved shall have been submitted to and approved by the Local Planning Authority.
For the avoidance of doubt the sections shall clearly detail all eaves, guttering/rainwater goods, soffit/overhangs, window/door reveals and the proposed window/door framing profiles and materials.
The development shall be carried out in strict accordance with the approved details.'

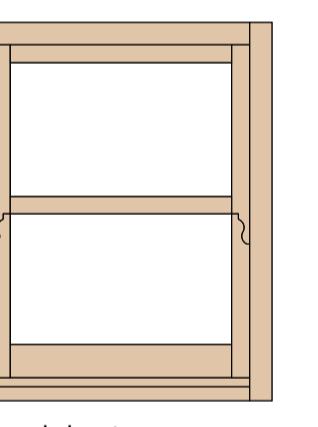
EXTERNAL WALL FINISHES
- existing sections of cement render to be removed
- all existing cement pointing to be carefully raked out and repointed with lime mortar to improve moisture permeability

SLIDING SASH TIMBER WINDOWS
- standard: to BS 644: 2012
- certification: quality: EN ISO 9001: 2015; environmental: EN ISO 14001: 2015; health & safety: EN ISO 45001: 2018
- exposure rating to BS 6375-1: 2015
- air permeability: class 4 (600pa)
- weather tightness: class 9a (600pa)
- resistance to wind load: class c4 (2000pa)

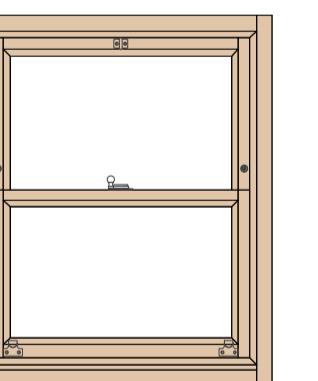
operation & strength characteristics: to BS 6375-2: 2009
timber: generally, to BS EN 942: 2007
- species: engineered redwood
- appearance class: 10 for glazing beads, drips and similar, 140 or better for all other members
- moisture content on delivery: 10-16%

- certification: FSC chain of custody

finish: fully finished with manufacturer's paint system (4 coats on opaque / 3 coats on translucent), colour to be confirmed by client.
thermal performance max. 1.4 W/m²K
security: certified to PAS 24 and secured by design when required by building regulations approved document C
glazing: when installed, dried and vented
glazing details: factory glazed to meet performance specification
glazing unit: to meet performance specification / specified light transmittance >70%
ironmongery/accessories: opening windows fitted with sash lift / pull, night vent restrictor and locking fasteners, to be installed in strict accordance with manufacturer's recommendations.



external elevation



internal elevation

SA stanton andrews
architects

44 york street clitheroe BB7 2DL
t. 01200 444490 e. mail@stantonandrews.co.uk w. stantonandrews.co.uk

lower reaps farmhouse 24.48
proposed - section details
scale 1 to 20 @ A1 date february 2025 status discharge of conditions
drawing number dis.01
revision A



dis.01