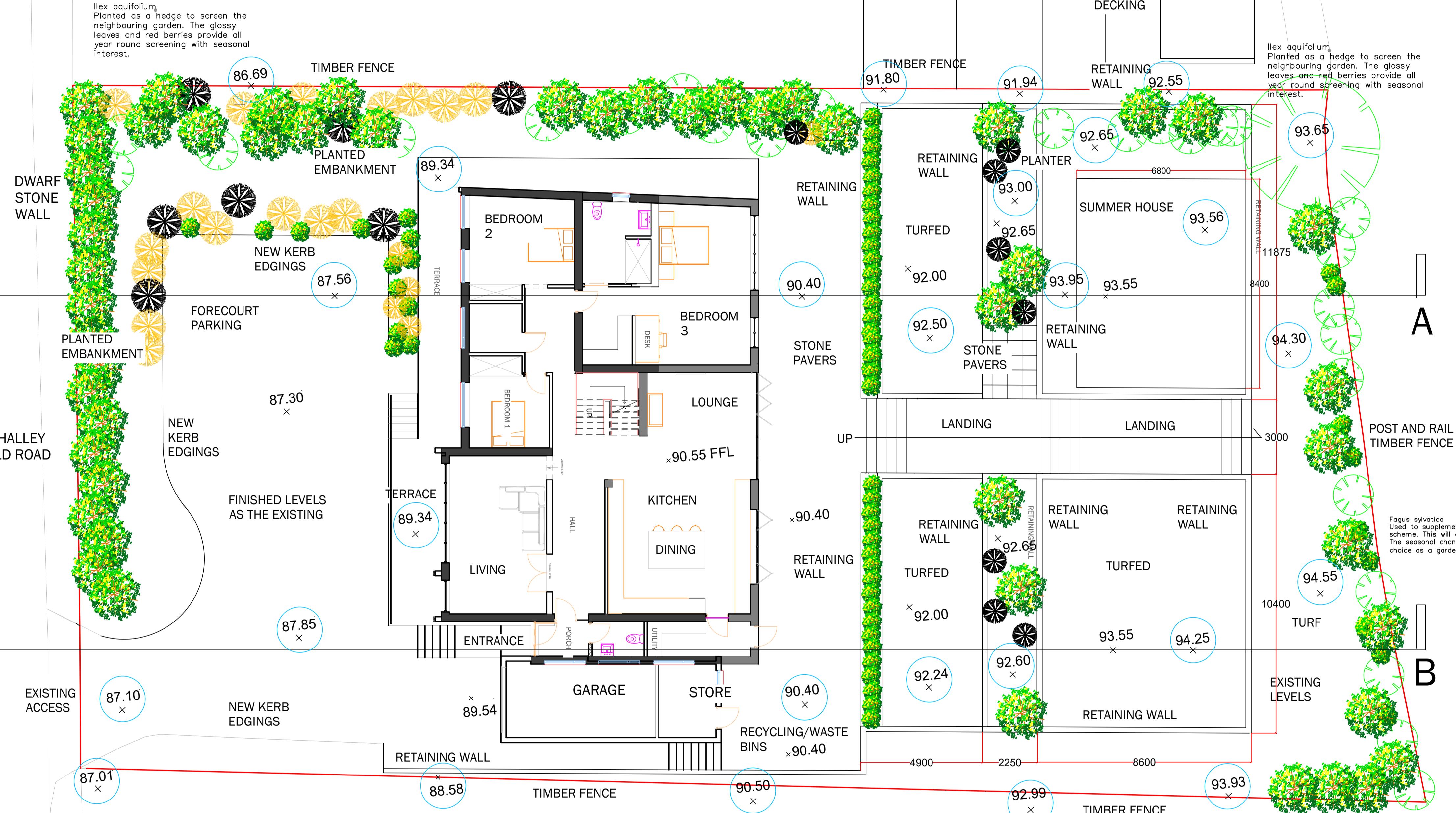


No 34



No 38

LAWNED AREA

#### LANDSCAPING SPECIFICATIONS

**PLANTING BEDS**  
min.450mm imported topsoil to BS 3882.  
ground below topsoil to be thoroughly broken. all  
large stones (greater than 50mm) and roots to be  
removed.  
finished topsoil to be approx.25mm above  
neighbouring paving/kerbs

Notes:

**LAWN**  
min.150mm imported topsoil to BS 3882  
topsoil to be suitably prepared (herbicide, fertilizer,  
cultivated, raked, graded, etc...) prior to application  
of seed or turf.

preparation of ground below topsoil as specified to  
'planting beds'.  
choice of seeding or turfing

a. grass seed  
mixture of chewings fescue (35%), slender red fescue  
(35%), smooth stalked meadow grass (20%), brown  
top bent (10%). application rate 35g/m<sup>2</sup>  
b. turf  
species rich turf - eg WFT-species-rich-26 available  
from The Wildflower Turf co.

**PAVING**  
(variable sizes and thicknesses)  
paving on continuous min.50mm mortar bed on  
min.100mm well compacted hardcore.  
1:3 mix pointing to joints  
perimeter of paving to be on 300x150mm conc  
foundation.  
paving to be laid to gentle falls away from house  
to gulleys and/or soft landscaping.

#### RETAINING WALLS

The walls are constructed from blockwork and are  
to be faced in natural stone. the excavations have  
cut into the existing topography in order to enable  
the construction of the walls. the plan and sections  
show the profile and setting out of the full  
construction. the walls have created a 'tiering' of the  
rear garden area to allow for the new turfed and  
planted bed areas.  
A central stepped arrangement allows access up  
the garden and onto each level.

**EXISTING SITE LEVELS PRIOR TO THE  
LANDSCAPING/RETAINING WALL WORKS  
ARE HIGHLIGHTED IN THE CIRCLES**

REV A - summer house amended

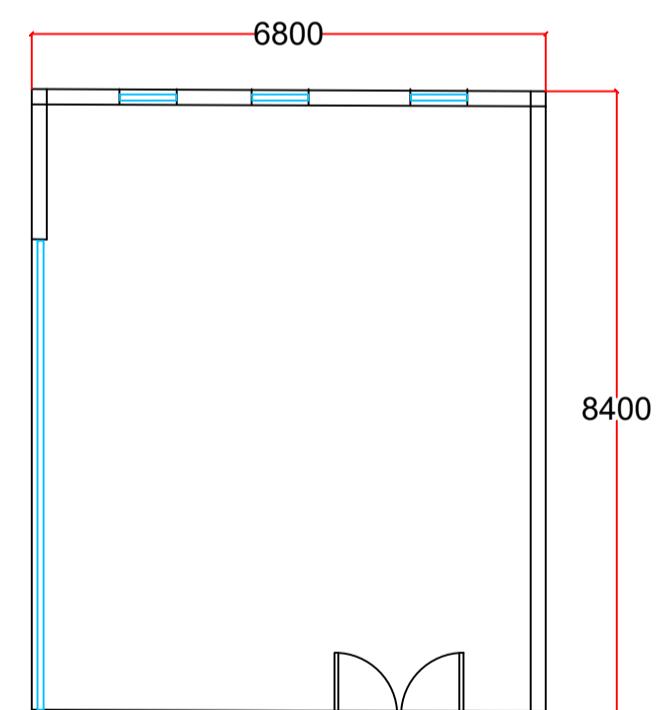
notes:

FOR PLANNING APPROVAL

REFER TO THE EXISTING  
SITEPLAN AND THE CROSS  
SECTIONS DEMONSTRATING THE  
SITE LEVELS AS BUILT IN  
COMPARISON WITH THE  
PREVIOUS SITE LEVELS.

REFER TO THE SHEET SHOWING  
THE SUMMER HOUSE  
ELEVATIONS AND VISUALS

REFER ALSO TO THE DESIGN  
STATEMENT AND SITE  
PHOTOGRAPHS



Project:  
36 PAINTER WOOD  
WHALLEY OLD ROAD  
BILLINGTON, LANCASHIRE

Client:  
TIM STEPHENSON

drawing title:  
PROPOSED SITE PLAN

status:

scale:

1:100

Drawn by:  
checked:  
PH

Date:  
29/5/25

project no.  
PHA/941  
deg. no.  
100  
rev.  
A