

LANDSCAPING SPECIFICATIONS

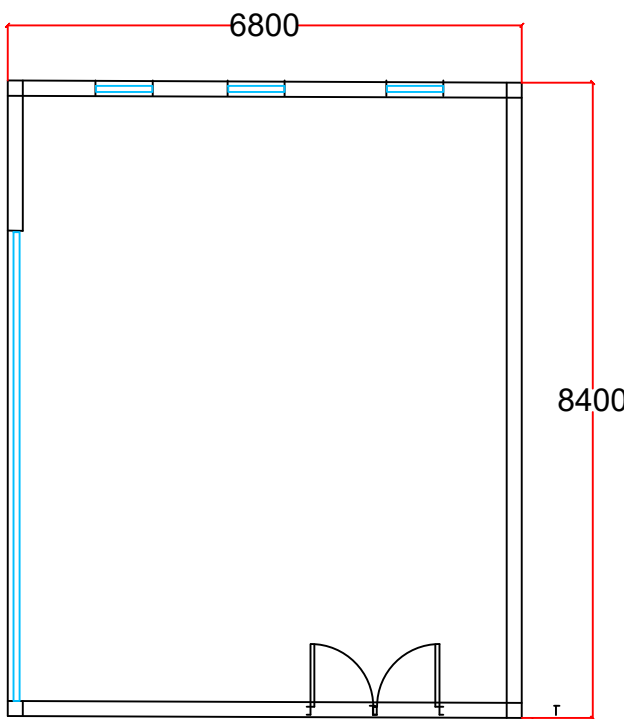
PLANTING BEDS
min.450mm imported top soil to BS 3882.
ground below topsoil to be thoroughly broken. all
large stones (greater than 50mm) and roots to be
removed.
finished topsoil to be approx.25mm above
neighbouring paving/kerbs

LAWN
min.150mm imported topsoil toto BS 3882
topsoil to be suitably prepared (herbicide, fertilizer,
cultivated, raked, graded, etc...) prior to application
of seed or turf.
preparation of ground below topsoil as specified to
'planting beds'.
choice of seeding or turfing
a. grass seed
mixture of chewings fascue (35%), slender red fescue
(35%), smooth stalked meadow grass (20%), brown
top bent (10%). application rate 35g/m2
b. turf
species rich turf - eg WFT-species-rich-26 available
from The Wildflower Turf co.

PAVING
(variable sizes and thicknesses)
paving on continuous min.50mm mortar bed on
min.100mm well compacted hardcore.
1:3 mix pointing to joints
perimeter of paving to be on 300x150mm conc
foundation.
paving to be laid to gentle falls away from house
to gulleys and/or soft landscaping.

RETAINING WALLS
The walls are constructed from blockwork and are
to be faced in natural stone. the excavations have
cut into the existing topography in order to enable
the construction of the walls. the plan and sections
show the profile and setting out of the full
construction. the walls have created a 'tiering' of the
rear garden area to allow for the new turfed and
planted bed areas.
A central stepped arrangement allows access up
the garden and onto each level.

EXISTING SITE LEVELS PRIOR TO THE
LANDSCAPING/RETAINING WALL WORKS
ARE HIGHLIGHTED IN THE CIRCLES



SUMMER HOUSE PLAN

Notes.

REV A – summer house
amended

notes.

FOR PLANNING APPROVAL

REFER TO THE EXISTING
SITEPLAN AND THE CROSS
SECTIONS DEMONSTRATING THE
SITE LEVELS AS BUILT IN
COMPARISON WITH THE
PREVIOUS SITE LEVELS.

REFER TO THE SHEET SHOWING
THE SUMMER HOUSE
ELEVATIONS AND VISUALS

REFER ALSO TO THE DESIGN
STATEMENT AND SITE
PHOTOGRAPHS

Project .

36 PAINTER WOOD
WHALLEY OLD ROAD
BILLINGTON,LANCASHIRE

Client.

TIM STEPHENSON

drawing title:

PROPOSED SITE PLAN

status.

scale.

1:100

Drawn by:

checked: PH

Date.

29/5/25

project no.

PHA/941

sig no.

100

rev.

A