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DESIGN STATEMENT

PROJECT OVERVIEW/ BRIEF:

This Design & Access Statement accompanies a householder application for the refurbishment, single storey extension to the ground floor and a first floor extension at 3 Eccles Terrace, BB7 4RD.

The proposal seeks to enhance the existing property through a single- storey rear extension that will provide a new kitchen and seating area/ breakfast bar area and providing a boot room and a shower in the existing kitchen and utility area. Alongside this, a first- floor rear extension to enlarge the rear bedroom and family bathroom. The neighbouring property has already been extended at both ground and first floor levels, setting a clear local precedent and supporting the feasibility of similar development on this site. The proposed ground floor works will involve the excavation of the existing raised hard standing . These proposal aim to improve the functionality and living space of the home while respecting the character and constraints of the surrounding context.

NOTE: This document is to be read in conjunction with the proposed drawings for final design. The report is intended to highlight the design process including early design work which was undertaken, leading up to the submitted design.

SITE LOCATION:

The property is a semi-detached house, positioned as the last dwelling in a row of three terraced homes. It benefits from a south-facing rear garden, allowing for good natural light throughout the day, with the dining room in particular enjoying evening sunlight due to its orientation. The driveway is shared with the neighbouring property and provides additional access, with a gate located beyond the rear porch that allows the neighbour entry to their garden.



Site Plan

EXISTING PROPERTY

EXISTING HOUSE

The property at 3 Eccles Terrace is a semi-detached, three-bedroom home comprising one en-suite bedroom, a family bathroom, kitchen, utility/pantry, dining room, and living room. Primary access is via the front entrance, although there is a secondary access point through the rear porch.

The existing house has an eclectic palette of materials, primarily consisting of:

- Cream rendered external walls
- Natural stone detailing
- Natural slate roof tiles
- A mix of white-painted and coloured timber-framed windows
- White stone surrounds to windows and doors
- Timber cladding to the rear porch
- Black rendered upstand detailing

The dining room is positioned at the front of the property, enjoying views onto neighbouring land and benefiting from increased evening light due to its south-west orientation. The kitchen, located towards the rear, faces onto a raised hardstanding area which lacks visual appeal. The rear porch casts additional shadow, resulting in poor natural light within the kitchen. The existing kitchen is small, with restricted head height, contributing to a dark and confined internal space.



01



02



03



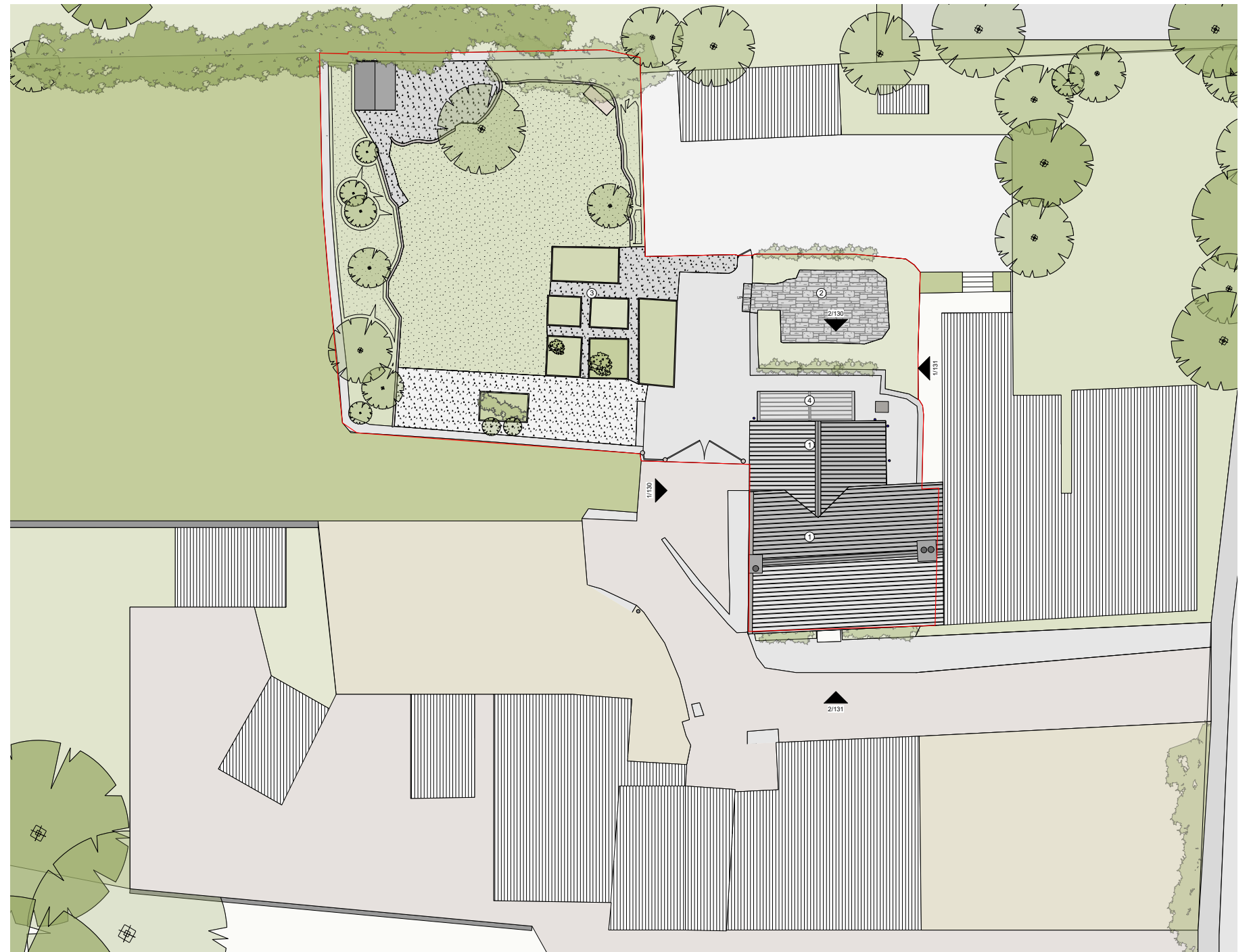
04

01 Front View of the House
02 Rear View of the House
03 View of Utility/ bootroom
04 View of Kitchen

EXISTING PLANS

EXISTING SITE PLAN:

- The proposal includes a single-storey rear extension to accommodate a new kitchen, boot room, and shower room.
- A potential first-floor rear extension is also being considered to enlarge the existing rear bedroom and family bathroom.
- The adjacent property has been extended at both ground and first-floor levels, providing a strong contextual precedent for similar development.
- The existing raised hard standing to the rear of the property will be excavated as part of the proposed ground floor works.
- Ground levels to the rear and side boundaries will be retained appropriately to ensure structural stability and continuity with neighbouring plots.
- The proposed extension is to be set approximately 1 metre away from the boundary, to mitigate any potential Right to Light impacts on the adjoining property.
- Access to the neighbouring property will be maintained throughout the works, influencing the positioning and footprint of the proposed extension.
- The garden features many wild flowers and allotments. Therefore, there is potential to create an extension that connects both from inside to outside with visual and physical connections to the garden area.
- The existing slope adjacent to the property will be carefully considered in the final design, particularly in relation to access, glazing, and integration with the garden level.

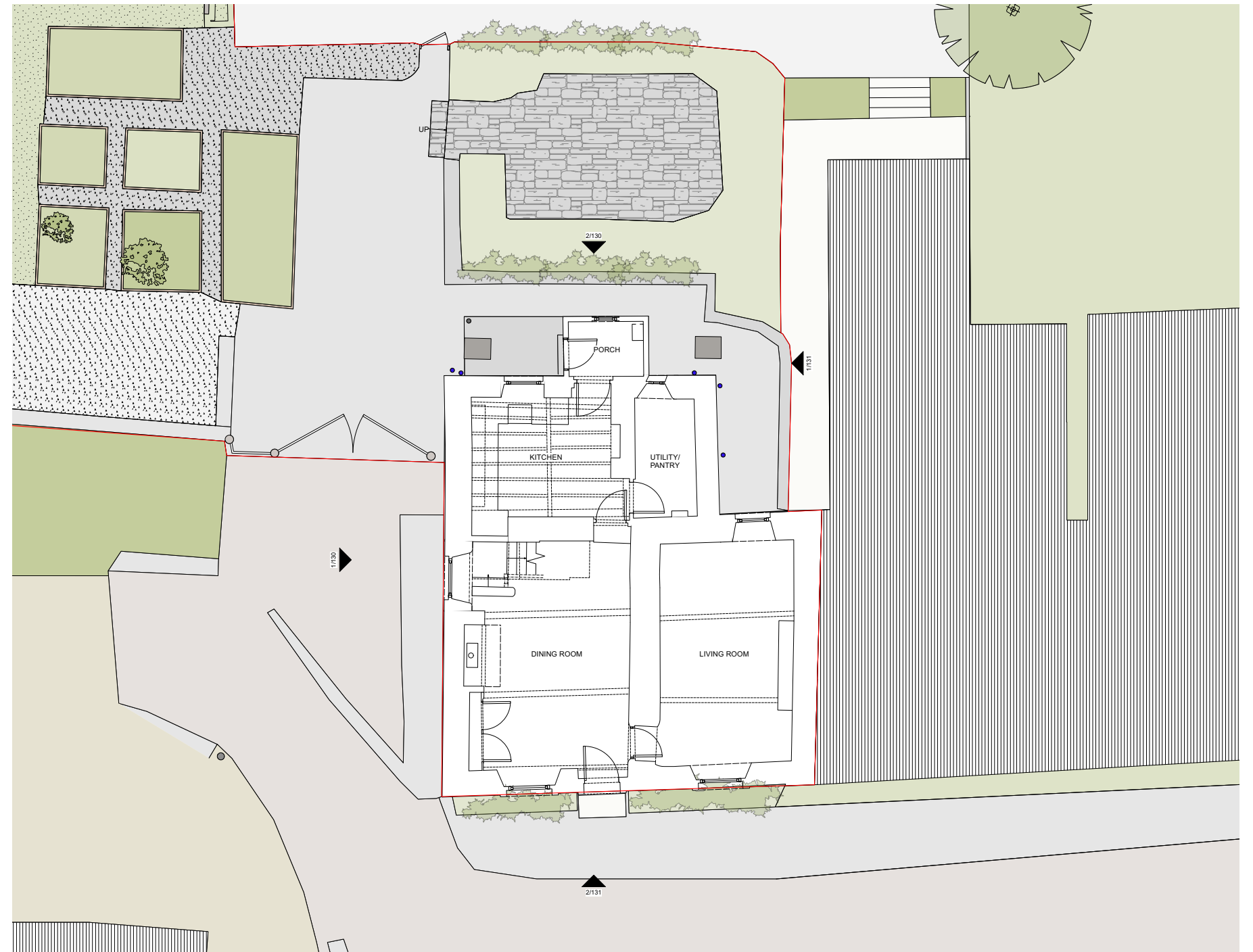


Existing Site Plan

EXISTING PLANS

EXISTING GROUND FLOOR PLAN:

- Entry to the house is directly into the dining room, with no designated boot room or transitional space.
- The existing kitchen and adjoining utility pantry suffer from insufficient head height, resulting in a dark and enclosed environment.
- The kitchen overlooks the raised hard standing at the rear, which lacks any visual appeal or connection to the garden. It does not take advantage of the views of the garden and would benefit from an increased amount of glazing to enhance the connection to the outdoors.
- The internal layout has a disjointed flow, with constrained ceiling heights contributing to a sense of compression throughout the ground floor.
- The dining room is physically and visually disconnected from the kitchen, limiting functionality and interaction between key living spaces.

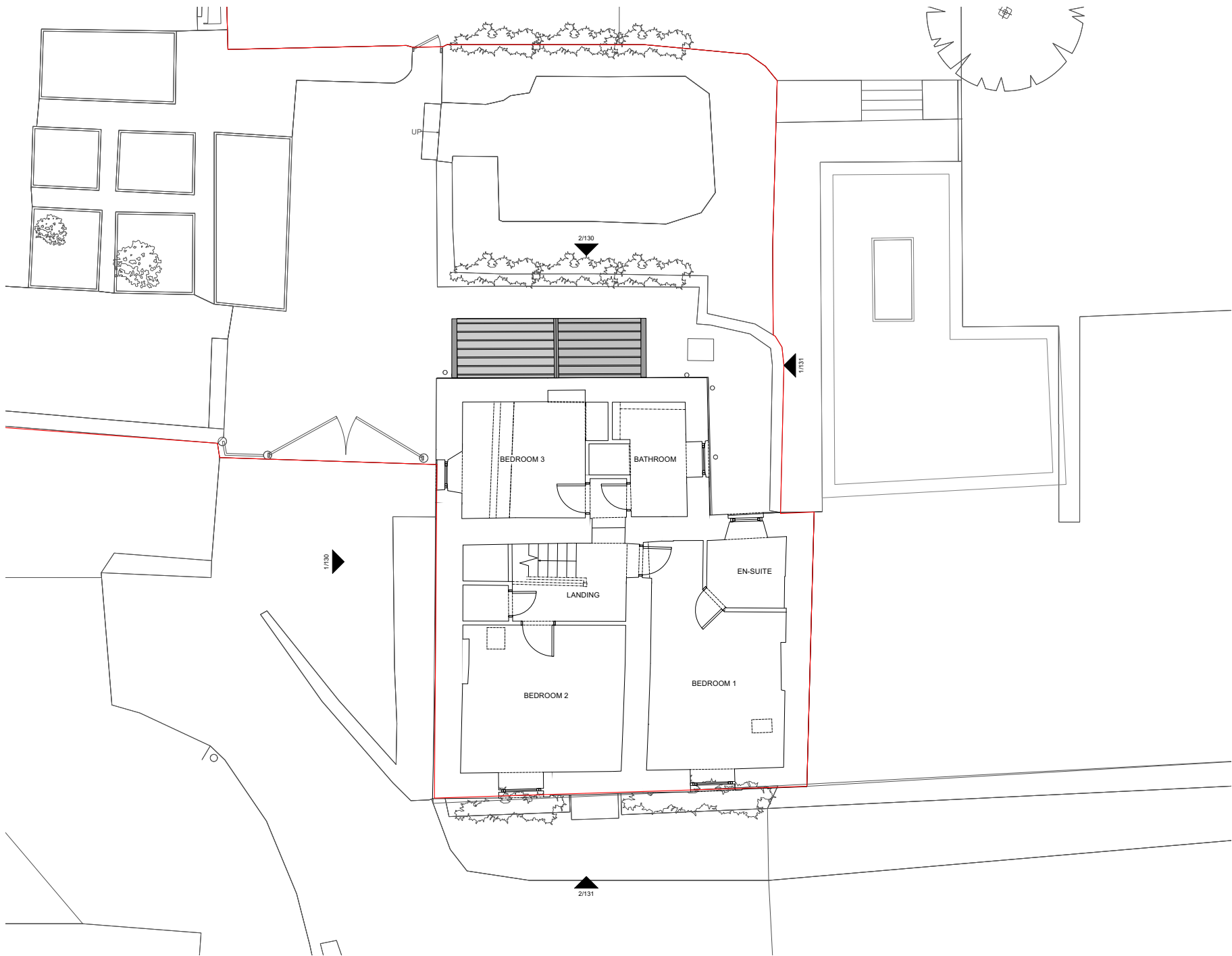


Existing Ground Floor Plan

EXISTING PLANS

EXISTING FIRST FLOOR PLAN:

- Bedroom 3 accommodates only a single bed and a wardrobe, offering limited usable space. Would benefit from a larger window to improve natural light and enhance views onto the rear garden and open fields beyond.
- Family Bathroom features an integrated bathtub positioned immediately upon entry, creating a tight and constrained layout. The existing window faces the neighbouring property, offering limited natural light and no visual connection to the outdoors.



Existing First Floor Plan

EXISTING PLANS

EXISTING ROOF PLAN:

- The existing property features a variety of pitched roofs with differing ridge heights, contributing to a varied roof scape.
- Bedroom 3 and the family bathroom on the first floor are located beneath a pitched roof that sits lower than the main house's eaves line.
- A small, pitched roof porch is located at ground floor level to the rear of the property.
- All roofs are finished in natural slate, maintaining a consistent and traditional material palette.

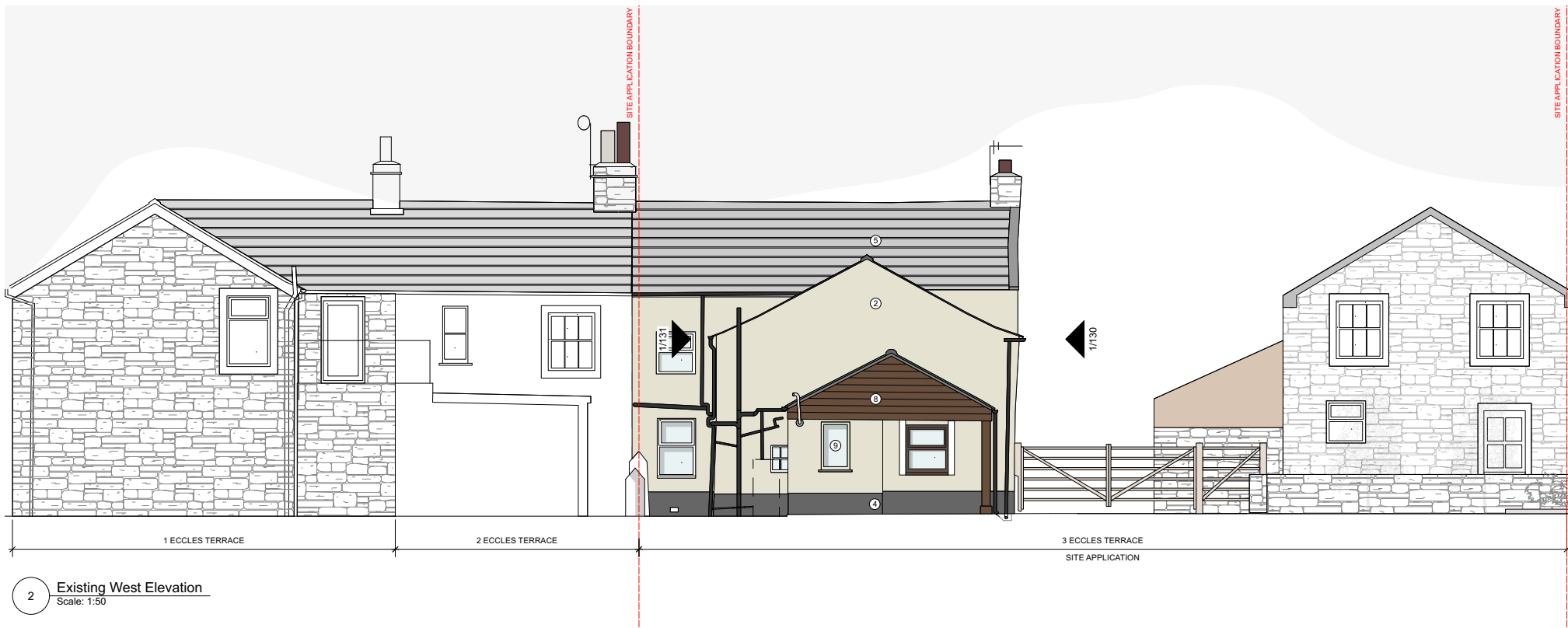


Existing Roof Plan

EXISTING SOUTH AND WEST ELEVATION

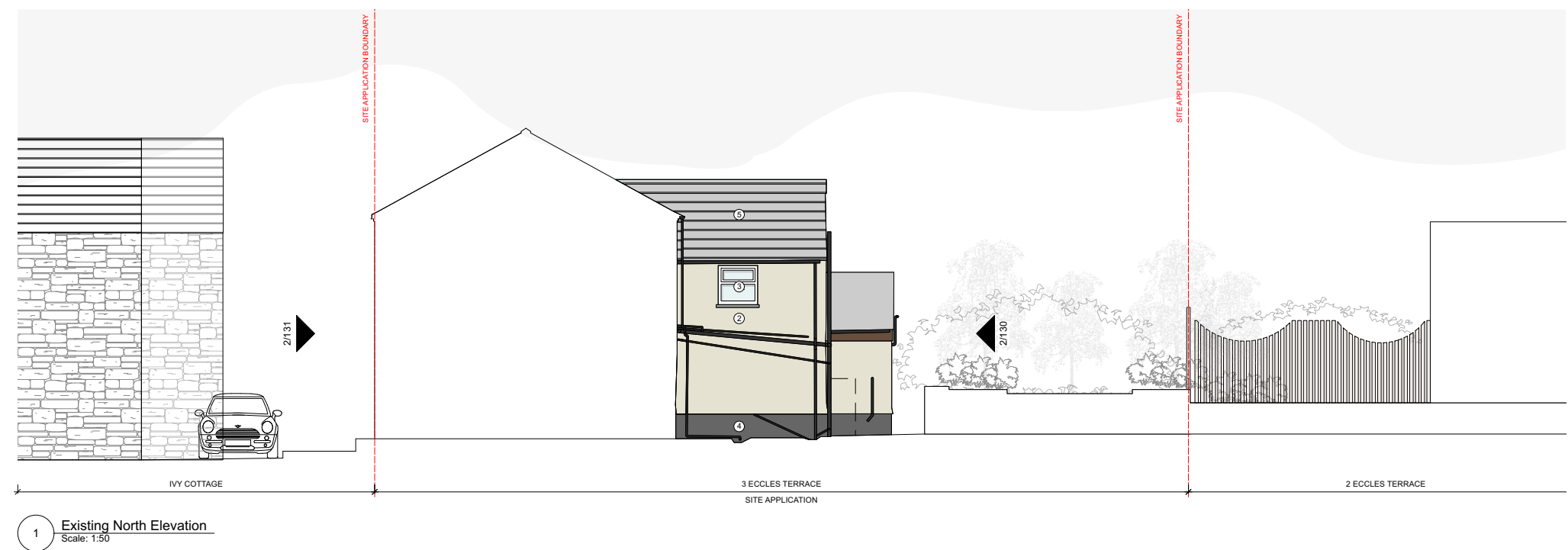


- Materials**
- 1. Exposed Timber External Porch Column
 - 2. Rendered wall. Colour: Cream/Yellow.
 - 3. Timber Window Frames
 - 4. Black rendered upstand
 - 5. Existing Slate Pitched Roof
 - 6. White Stone Window Surrounds
 - 7. Raised Patio with stone wall
 - 8. Timber Horizontal Cladding
 - 9. Painted Timber Window Frames



Existing South and West Elevation

EXISTING NORTH AND EAST ELEVATION



- Materials**
- 1. Natural Stone Wall
 - 2. Rendered wall. Colour: Cream/Yellow.
 - 3. Painted Timber Window Frames
 - 4. Black rendered upstand
 - 5. Existing Slate Pitched Roof
 - 6. White Stone Window Surrounds

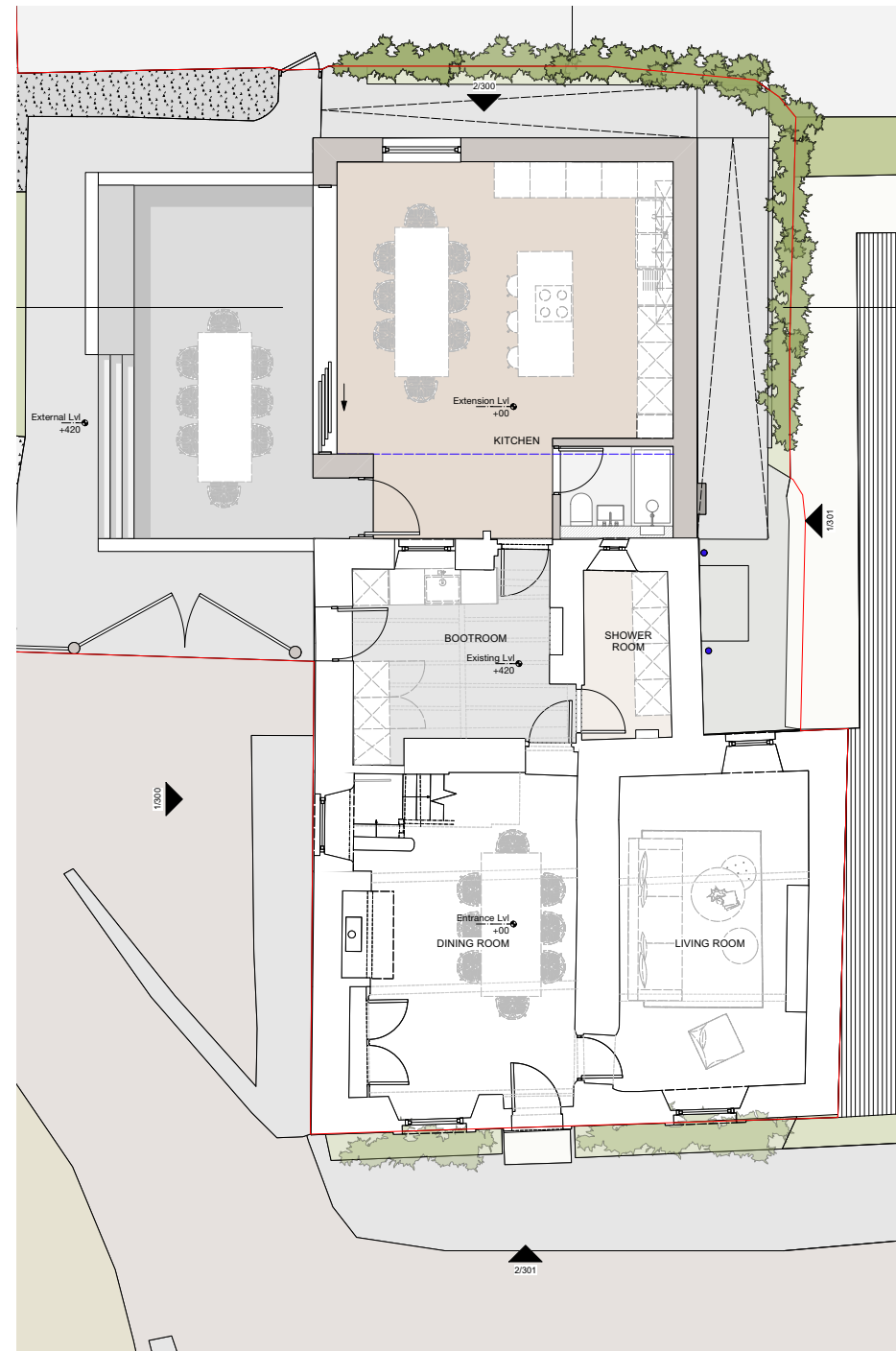


Existing North and East Elevation

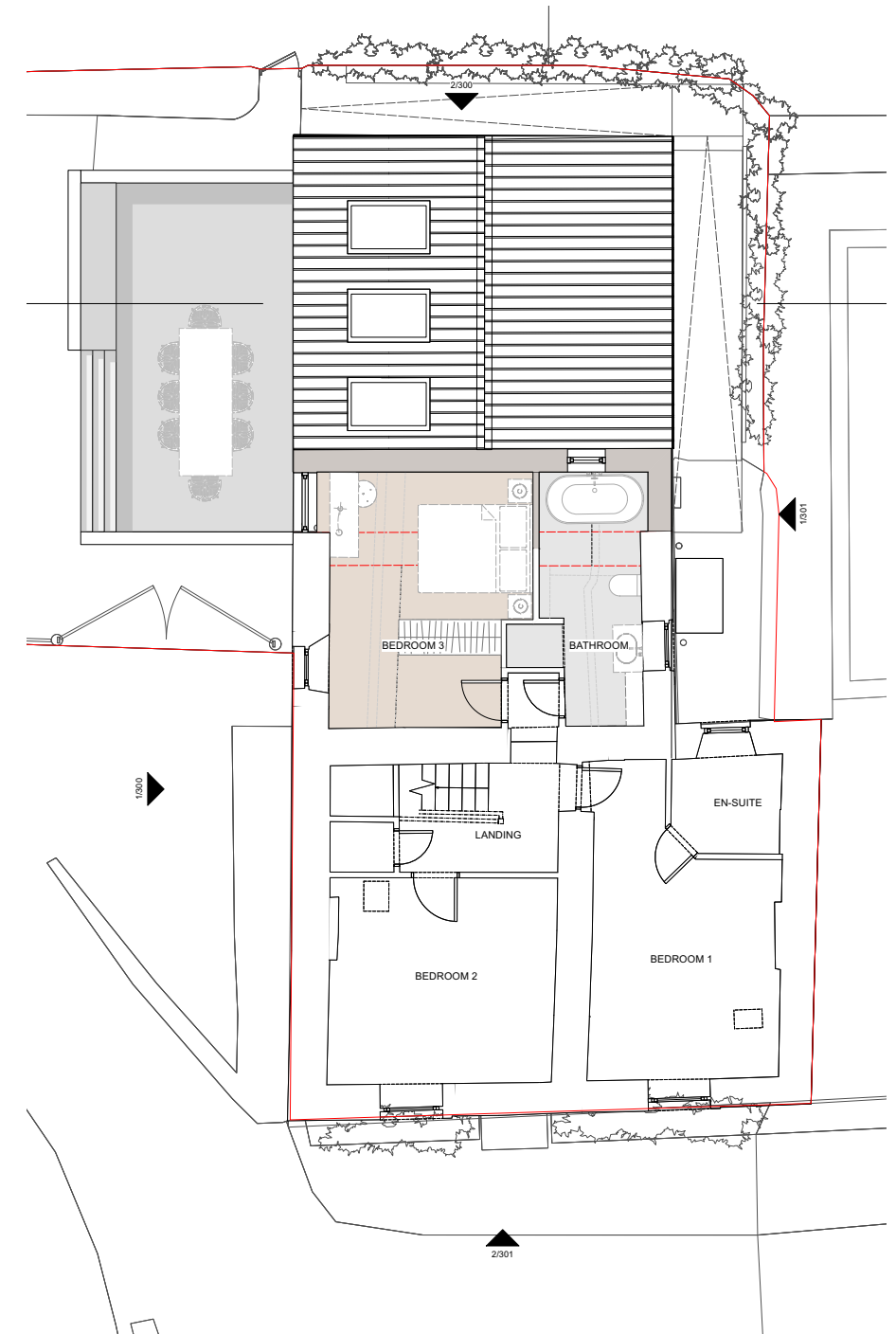
AMOUNT

OVERVIEW

- The proposed ground floor plan proposes a kitchen and dining space with associated shower and boot rooms to the rear of the property. This provides much needed additional internal space and improves the connection to the outdoors compared with the existing property.
- The adjoining property has also previously carried out a similar proposal.
- To the first floor, the existing rear bedroom and bathroom are increased in footprint, replacing the existing rear porch.
- The roof form adopts a pitched slate roof to match the existing property in terms of material and pitch, creating an extension in keeping with the surroundings.



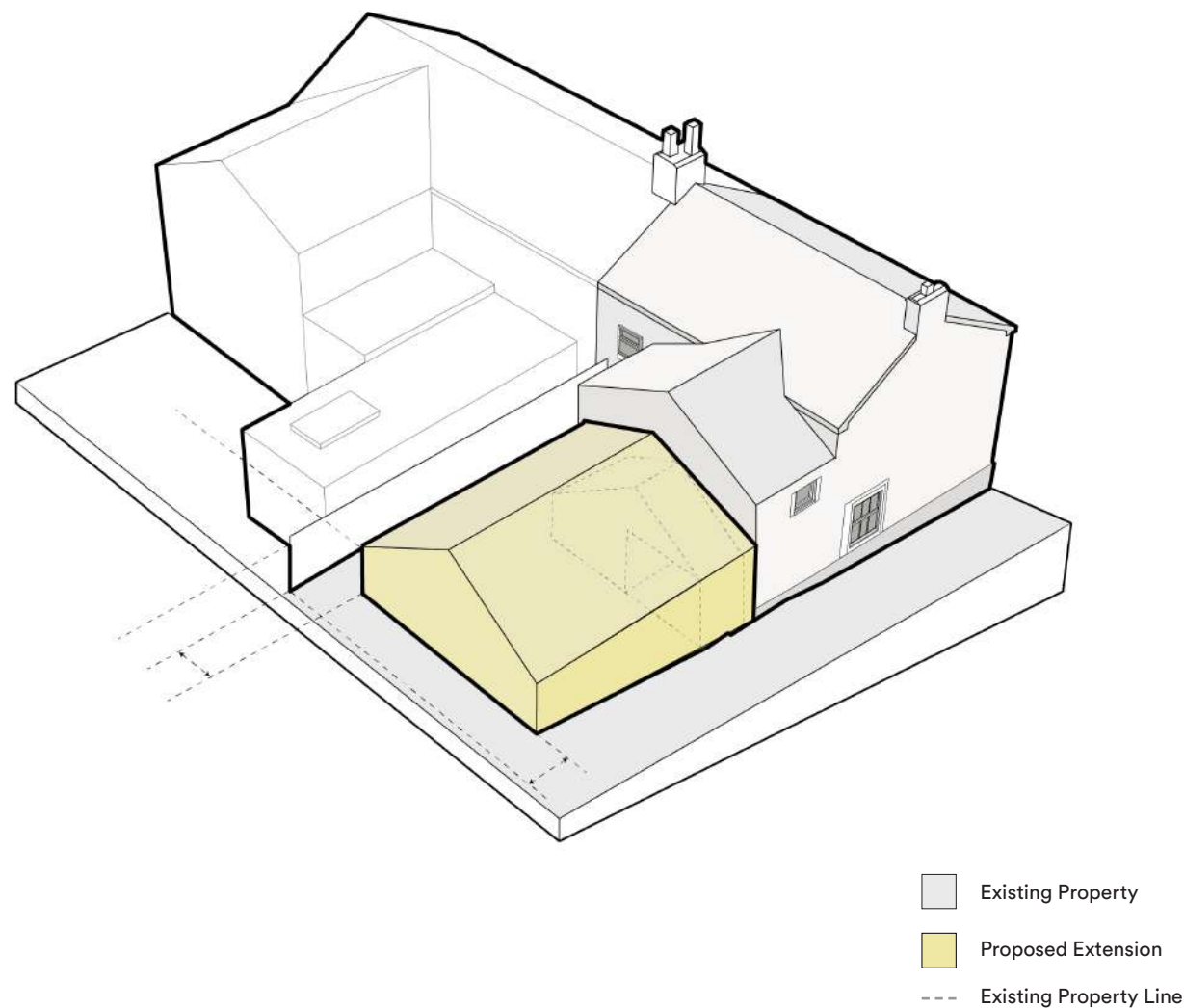
Proposed Ground Floor Plan



Proposed First Floor Plan

VOLUME, SCALE & FOOTPRINT

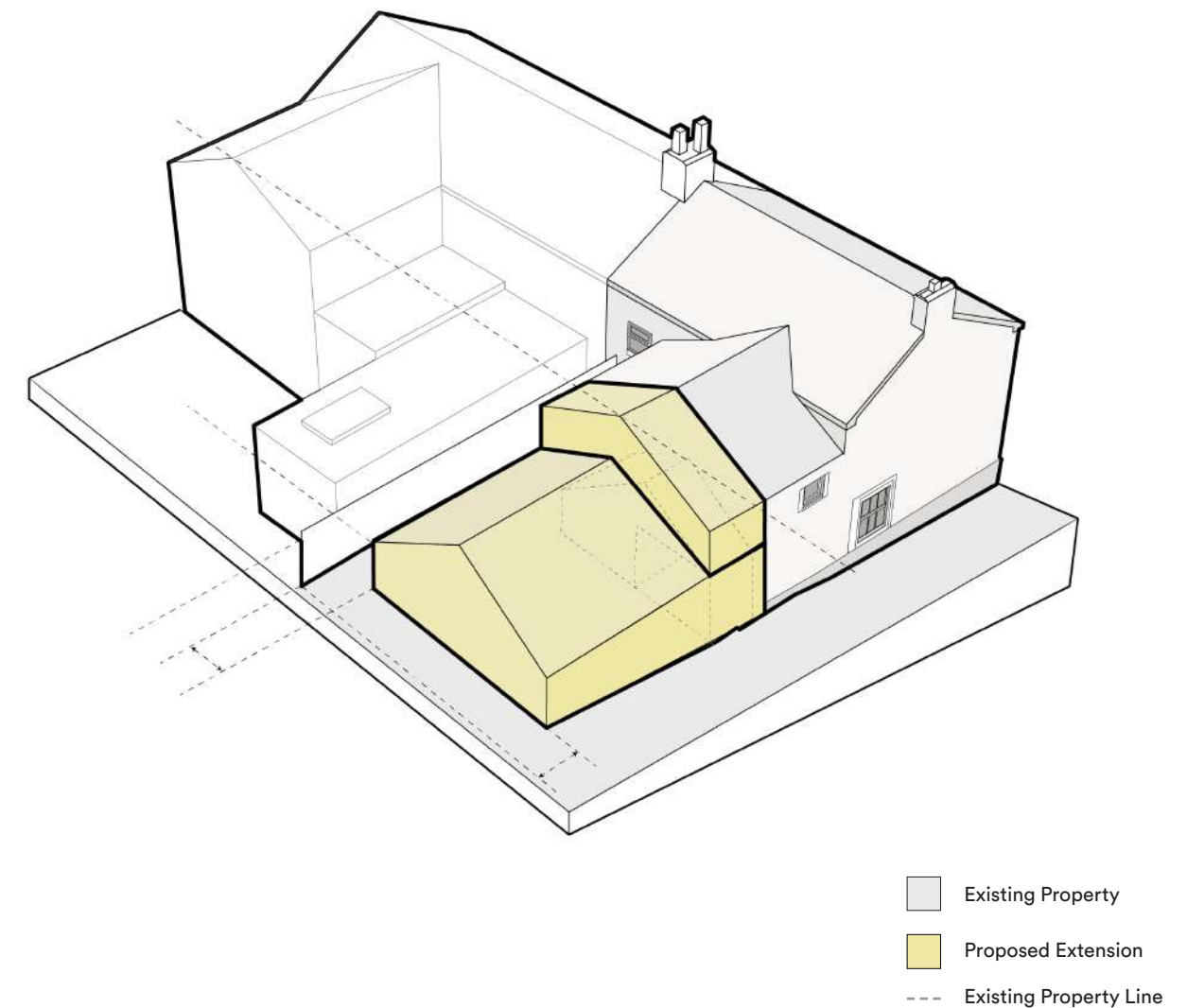
1/ GROUND FLOOR EXTENSION



GROUND FLOOR EXTENSION

The proposed ground floor extension projects slightly beyond the neighbouring extension, maintaining a distance of 1.2metres from the boundary line. Due to the upward slope of the site , the extension is partially sunken, which reduces its external height and softens the visual impact of the overall massing. The height of the neighbouring extension aligns with that of the proposed extension eaves height and the pitched roof angle to match existing first floor pitched roof. The design enhances the connection to the garden, improving visual openness and encouraging greater use of the rear patio. Additionally, the space left around the extension allows natural light to continue reaching the living area, preserving internal daylight.

2/ GROUND FLOOR AND FIRST FLOOR EXTENSION



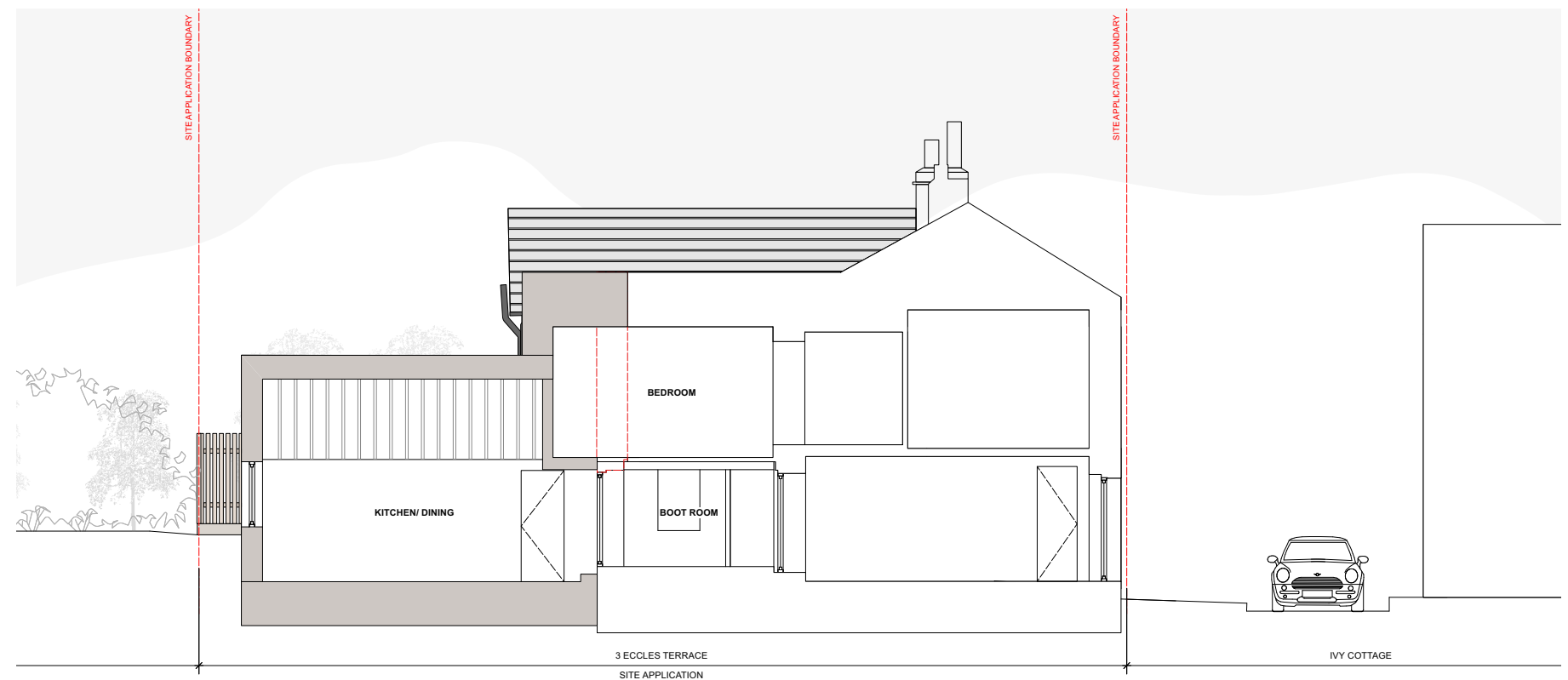
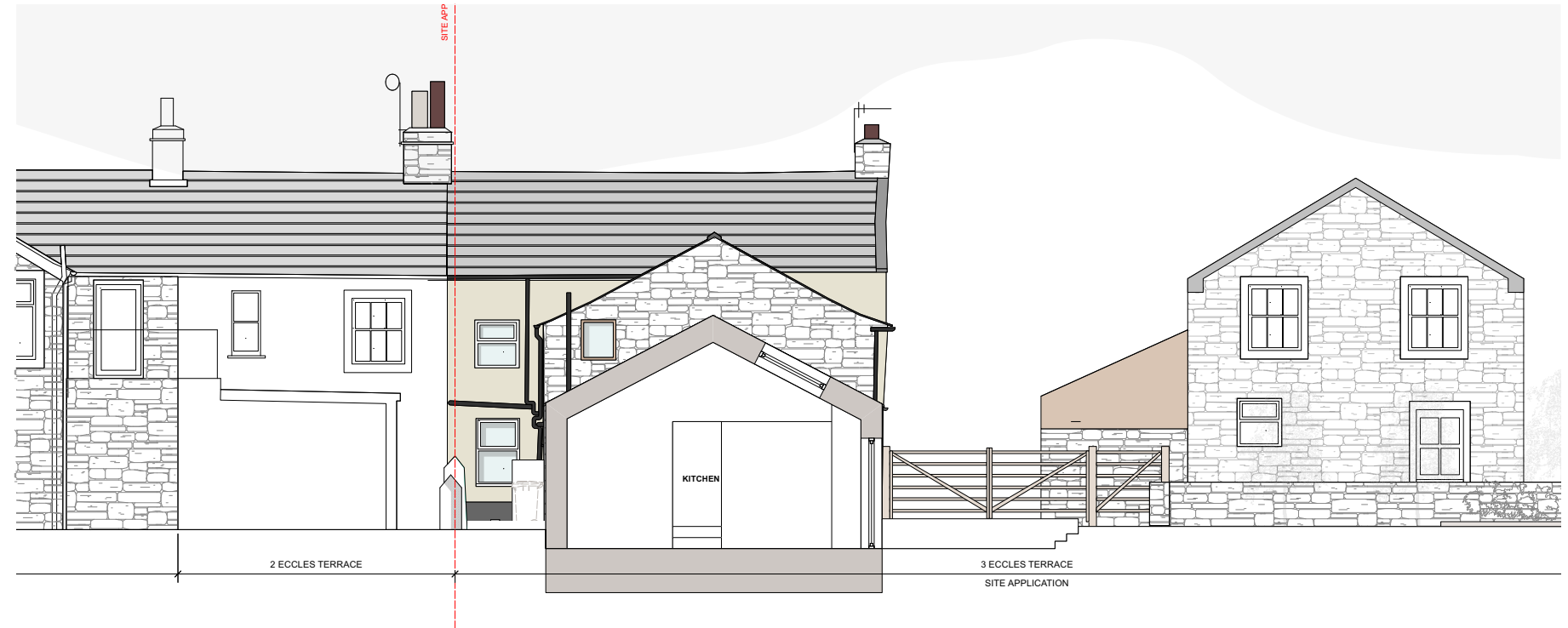
FIRST FLOOR EXTENSION

The proposed first floor extension projects to align with the existing ground floor porch and corresponds with the neighbouring first floor extension. The ridge height of the proposed extension is lower than that of the neighbouring property, resulting in a reduced visual impact in terms of volume. Extending the bedroom in this way creates an opportunity for a visual connection to the garden and the open field beyond, enhancing the sense of space and outlook.

PROPOSED SECTION

PROPOSED SECTIONS

- The existing bedroom height and floor levels result in the existing kitchen having a low floor to ceiling level. This is therefore to be retained and transformed into a boot room.
- The proposed kitchen therefore applied the same floor level as the front dining room; providing sufficient ceiling height(s) throughout the new space.
- A pitched roof allows the extension to remain in keeping with the existing property, whereby the angle of the pitch matches the existing property.
- As the floor level to the kitchen is the same as the front of the property, minor landscaping works are required to the garden to provide a level patio connecting the kitchen to the garden.



VISUALS

DESIGN DEVELOPMENT

3D imagery during the design development. Please note these are not the final scheme.



01 View into new kitchen space
02 View from Garden

03 Proposed kitchen
04 Proposed Extension and sunken patio

APPEARANCE

PROPOSED APPEARANCE

- The proposal intends to create a scheme which is sensitive to the area and therefore seeks to adopt a form and materials, which resonates with the local vernacular.
- The proposed extension features stone walls to match the front of the existing property and also neighbouring properties.
- A slate pitched roof creates a continuation of the dwelling and also responds to the neighbouring properties.
- To reduce impact on the adjacent property, the kitchen is sunken to the existing dining room floor level and the eaves height of the proposed building form, set lower than the adjacent extension.
- A new external door is added to the boot room, providing level access from the landscape into the property. This applied the same stone features as seen on the existing property.

