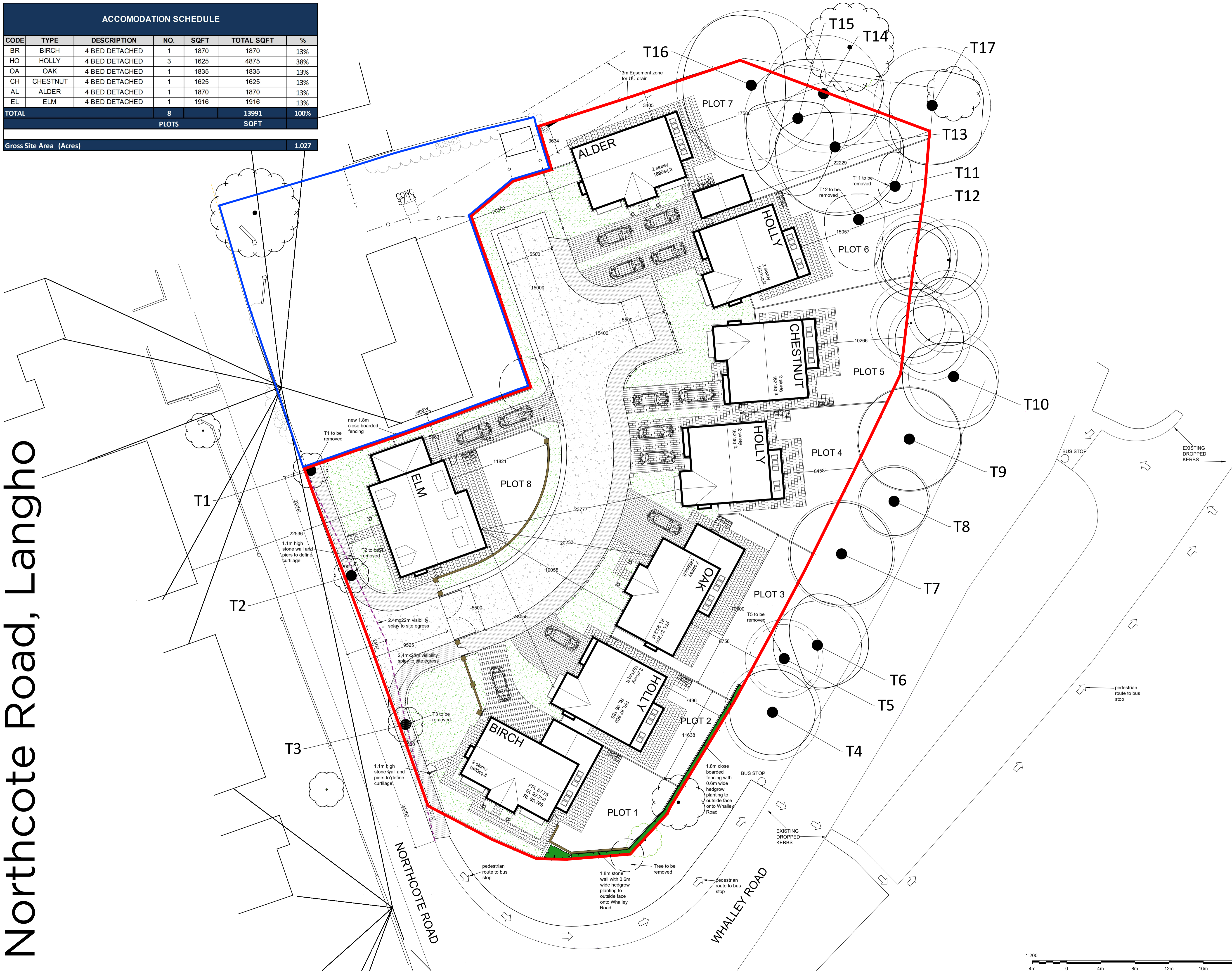


Northcote Road, Langho

ACCOMODATION SCHEDULE						
CODE	TYPE	DESCRIPTION	NO.	SQFT	TOTAL SQFT	%
BR	BIRCH	4 BED DETACHED	1	1870	1870	13%
HO	HOLLY	4 BED DETACHED	3	1625	4875	38%
OA	OAK	4 BED DETACHED	1	1835	1835	13%
CH	CHESTNUT	4 BED DETACHED	1	1625	1625	13%
AL	ALDER	4 BED DETACHED	1	1870	1870	13%
EL	ELM	4 BED DETACHED	1	1916	1916	13%
TOTAL			8	13991	13991	100%
				PLOTS	SQFT	
Gross Site Area (Acres)					1.027	



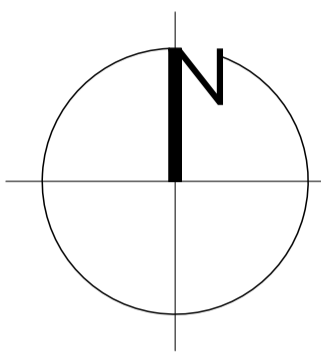
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Only scale for 'Town and Country Planning Act 1990' services. For construction purposes, work to figured dimensions only. All dimensions to be checked with MP&S and on site prior to the execution of any work.

For the avoidance of doubt all dimensions are measured to wall structure and not the finishes unless otherwise stated.

Where any discrepancy is found to exist within or between drawings and/or documents it should be reported to the architect immediately.

MP&S Planning & Design Ltd. shall not be liable for any use of drawings and documents for any purpose other than for which the same were prepared by or on behalf of MP&S Planning & Design Ltd.



NOTE:
Layout to be read in conjunction with boundary treatment layout, boundary treatment details, and engineer's drawings.

SURFACE TREATMENTS	
	Denotes 2.0m footpath.
	Denotes 5.5m high access road.
	Denotes block paving to driveways.
	Denotes flagging to access paths.
	Denotes rear patio areas to be constructed in flagging.

BOUNDARY TREATMENTS	
	Denotes 1.8m high screen stone wall & piers, to match development facing.
	Denotes 1.8m high timber screen fence.
	Denotes 1.1m high stone wall and piers.
	Denotes 0.9m high Cheshire Estate railing & stone piers.
	Denotes access gates to private properties.
	Denotes refuse storage area in private garden.

LANDSCAPING	
	Denotes proposed grass planting.
	Denotes proposed tree planting.
	Denotes proposed hedge planting.

N	20.05.25	Plot 7 & its associated garage moved east by 1.5m to accommodate the required drainage easement.	SLR
M	23.04.25	Site boundary by Northcote Road and plot 1 updated in line with the Title Plan.	JP
L	14.04.25	Plot 7 revised to planning approved position.	SLW
K	19.03.25	Status: Construction Issue	BLW
H	14.02.25	Refuse bin location added to rear gardens.	BLW
G	07.02.25	Canopy and bay added.	BLW
F	20.01.25	Plot 2 driveway reconfigured away from plot 1 driveway to avoid potential dead-end issue.	JP
E	08.01.25	Piers / chimney positioned updated to reflect the working drawings.	BLW
D	13.12.24	Plot 8 roof lifts.	BLW
C	26.11.24	Schedule of accommodation updated to reflect the working drawings.	SLR
B	11.11.24	Plot 7 moved east by 1.5m to avoid private drainage and hard margin indicated to the western side of the access road.	SLR
A	04.11.24	Chimneys to individual house types repositioned to align with the sub structure plans.	PDA
	25.10.24	Access to plot 1 repositioned to allow sufficient room for access steps.	SLR

Client: **ALDERLEY GROUP**

Drawing Title: **PROPOSED SITE LAYOUT**

Project: **Proposed Residential Development, Northcote Road, Langho**

Job No	Drp No	Drawn	Rev
24075	CL_01	SLR	N
Scale	Date	Stage	
1:200 @ A1	AUGUST 2024	CONSTRUCTION	

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