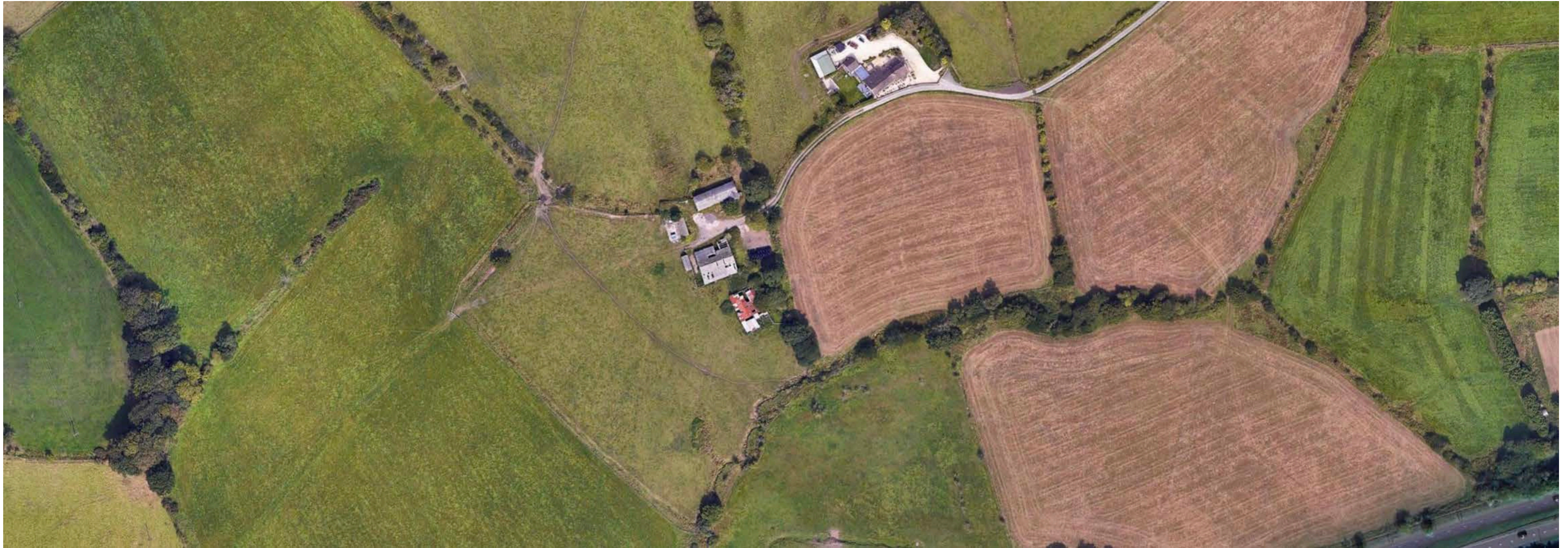


lower reaps farm - barn



design statement
planning application

june 2025

lower reaps farm - barn

1. INTRODUCTION

1.1 APPLICATION

'Conversion of barn to create new dwelling. Construction of garage block. Demolition of existing farm building'.

1.2 LOCATION

Lower Reaps Farm
Whinney Lane, Mellor, BB2 7EL

1.3 INTRODUCTION

This report has been prepared to support full and listed building applications for the conversion of an existing redundant barn to create a new dwelling. The principle of residential conversion has already been established and approved as part of planning application ref. 3/2022/1165 and 1166 (see further comments to section no.4).

The report seeks to demonstrate that the proposal has undergone a formal and thoughtful design process and that the scheme proposed is a response to site context, access (into and within), massing, orientation and materiality.

It also demonstrates consideration for the architectural detail that will be taken forward in order to create a high quality development. The new proposal celebrates the internal volume and height of the existing barn, allowing the character of the barn to be retained within the proposed dwelling.

1.4 BRIEF

Stanton Andrews Architects were approached to review the existing property and consider options to address the shortcomings of the current approval to better suit the applicant's requirements. Our client wished for a house that was both sympathetic to the existing barn, its setting (particularly in relation to the neighbouring listed farmhouse), but that also provides modern living standards. A separate garage building is to be provided to accommodate the applicants cars and farm vehicles. The existing dilapidated farm building (to the south of the barn) is to be removed.



lower reaps farm - barn

2. PLANNING

2.1 PLANNING POLICY

The local development framework for the site, Ribble Valley Core Strategy 2008-2028, and the Proposals Map (2019) confirm that Lower Reaps Farm lies within the Green Belt. The following policies are noted:-

EN1 - the Green Belt will be maintained to safeguard the surrounding countryside from inappropriate encroachment.

EN2 - expect development to be in keeping with the character of the landscape, reflecting local distinctiveness, vernacular style, scale, style, features and building materials.

DME2 - should be in keeping with the character of the landscape and should not harm the landscape.

DMG2 - development in open countryside should be in keeping with the character of the landscape through the design, materials and landscaping. Where possible new development should be accommodated through the re-use of existing buildings.

2.2 PLANNING HISTORY

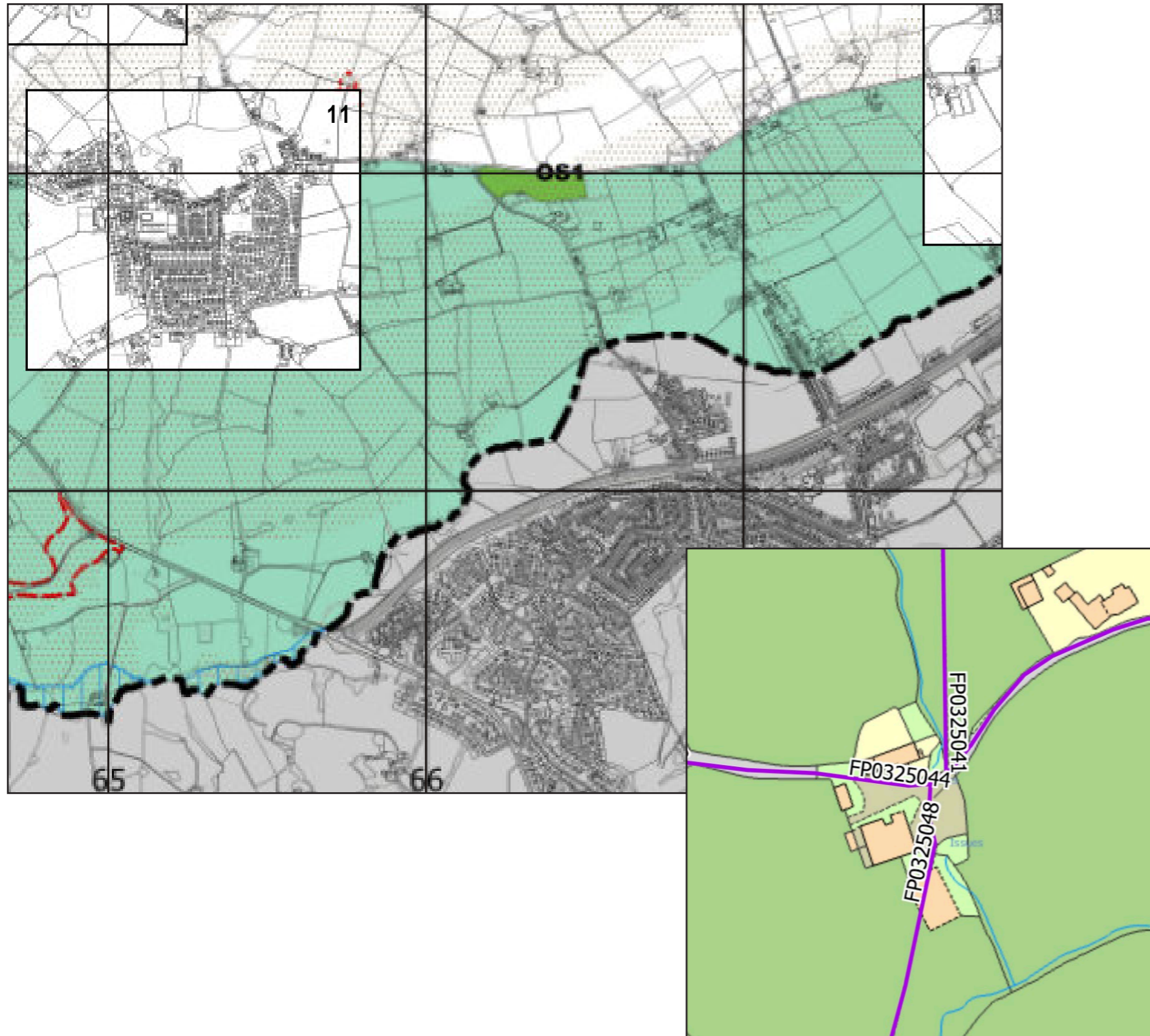
A review of Ribble Valley Borough Council's online planning resources show the following application:-

3/2022/1165 and 1166 (approved) September 2023
"Application for Planning Permission for proposed refurbishment of existing farm house, conversion of existing attached and detached barns to create three new dwellings, conversion of outbuildings for associated residential use and external works".

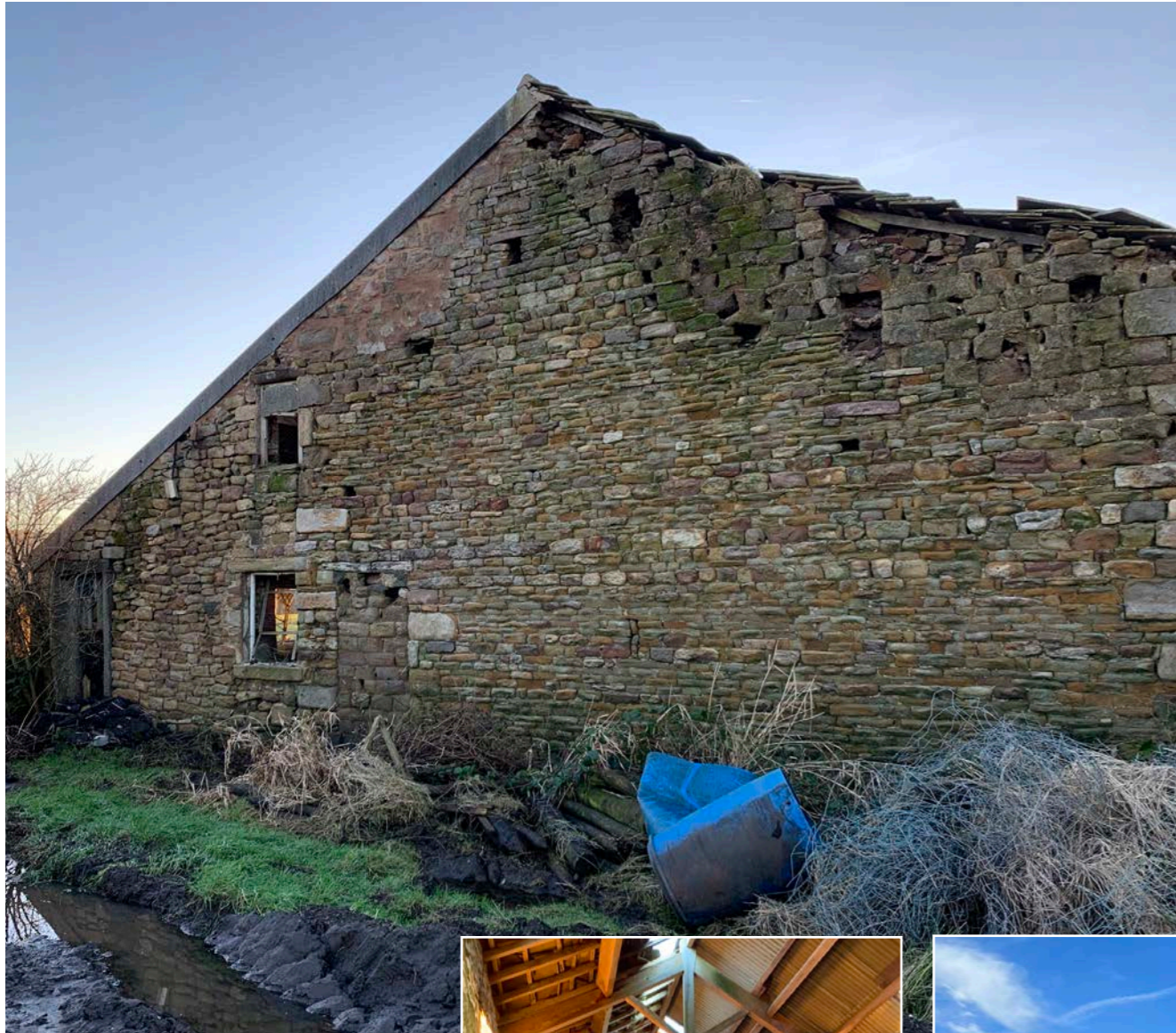
3/2022/0727 (withdrawn) November 2023
"Application for Planning Permission for proposed refurbishment of existing farm house, conversion of existing attached and detached barns to create three new dwellings, conversion of outbuildings for associated residential use and external works".

2.3 PUBLIC RIGHTS OF WAY

Lancashire County Council's (LCC) records confirm that there are public footpaths passing through the application site to the North and East of the existing barn at Lower Reaps Farm. The public footpaths will be maintained.



lower reaps farm - barn



3. EXISTING

3.1 SITE

The site is entered via an access road leading from Whinney Lane, located to the East, which is accessed via Yew Tree Drive to the South and Mellor Lane to the North.

3.2 BARN

The barn is constructed from a mixture of coursed and random stone with the roof made up of a mixture of stone slates and profiled sheeting. Gross external area 338 m².

The barn is formed of a 5 bay combination barn with an off centre cart entry porch and integral outshut. A rubble stone shippon makes up the southern outshut to the barn.

The floor to the barn has a series of level changes, following the topography of the site.

The barn has been neglected over a period of time resulting in the deterioration of some areas of the walls and roof covering. There are a number of blocked up openings (proposed to be reinstated).

3.2 FARMHOUSE

To the north of the farmstead is a grade 2 listed farmhouse (list entry 1362343 - this application includes for no proposed works to the farmhouse.)

3.3 OUTBUILDING - adjacent the farmhouse

To the west of the farmhouse is a single storey stone outbuilding - this application includes for no proposed works to this outbuilding.

3.4 OUTBUILDING - adjacent the barn

To the west of the barn is a single storey outbuilding constructed in red brick with a slated roof - this application allows for the retention of this outbuilding.

3.5 OUTBUILDING - to south of barn

The existing outbuilding is in an advanced state of disrepair and in danger of collapse. The current proposals allow for its removal.

lower reaps farm - barn

4. PREVIOUS PERMISSION

4.1 EXISTING PERMISSIONS

Ref. 3/2022/1165 (planning permission)
3/2022/1166 (listed building consent)

"Application for Planning Permission for proposed refurbishment of existing farm house, conversion of existing attached and detached barns to create three new dwellings, conversion of outbuildings for associated residential use and external works".

3/2022/1165 conditions included:-

1. works to commence within 3 years
2. record of the drawings/documents to which the permission relates
3. additional technical and material details to be provided
4. windows construction
5. conservation type rooflights
6. removal of permitted development rights
7. programme of historic building recording and analysis
8. removal of permitted development rights for visibility splay
9. access track to be complete prior to occupancy
10. access and parking as illustrated to approval drawings
11. electrical charging points
12. cycle facilities
13. landscaping details
14. tree protection
15. endangered species
16. external lighting to the approved
17. drainage scheme to be provided
18. outbuildings to be used in association with dwellings
19. residential curtilage as illustrated to approval drawings

These permissions established the principle of residential conversion of the barn, forming 2no residential units. Whilst the scheme left the envelope largely untouched, most of the interior's 'barn like' character was lost.

Subsequently, applications have been submitted to address the 'pre-commencement' conditions:-

- | | |
|-------------|---|
| 3/2022/1165 | conditions no.3, 4, 5, 7, 11, 13 and 17 |
| 3/2022/1166 | conditions no.3, 4, 5, 6, 7 and 8 |

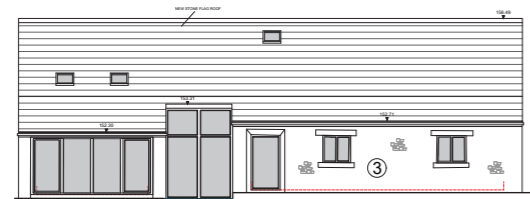
Variation applications ref.3/2025/0088 and 0089 have been submitted to amend the interior layouts of the residential units to the farmhouse (not concerning the current application).



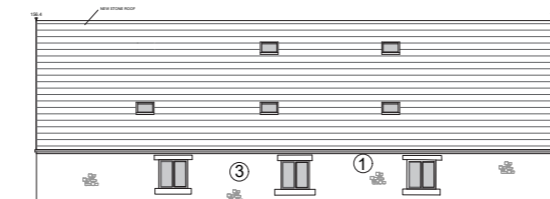
PROPOSED GROUND FLOOR PLAN SCALE 1:100



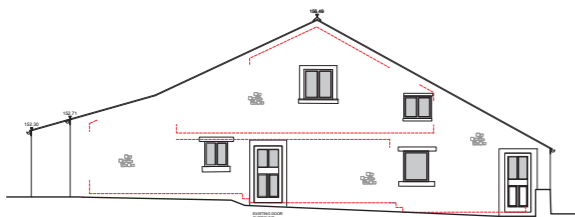
PROPOSED FIRST FLOOR PLAN SCALE 1:100



PROPOSED NORTH FACING ELEVATION SCALE 1:100



PROPOSED SOUTH FACING ELEVATION SCALE 1:100



PROPOSED EAST FACING ELEVATION SCALE 1:100



PROPOSED WEST FACING ELEVATION SCALE 1:100

lower reaps farm - barn

5. PRE-APPLICATION - RESPONSE AND ACTION

A pre-application enquiry was submitted on the 25th February 2025 illustrating the conversion of the barn into a single dwelling. Below is a resume of the response received from RVBC dated 15th April 2025.

5.1 Policy DMH4

"Be structurally sound and capable of conversion" - see structural report accompanying application

"Sufficient size to provide necessary living accommodation".

"Character of the building and its materials are appropriate to the surroundings"

"Genuine history of use for agriculture or another rural enterprise".

Action Planning ref.3/2022/1165 and 1166 demonstrated that these criteria had been satisfied.

5.2 *"Further information required in relation to the extent of the taking down and re-build of the rear wall to ensure that this would accord with policy DMH4 and would not need extensive re-building or major alterations".*

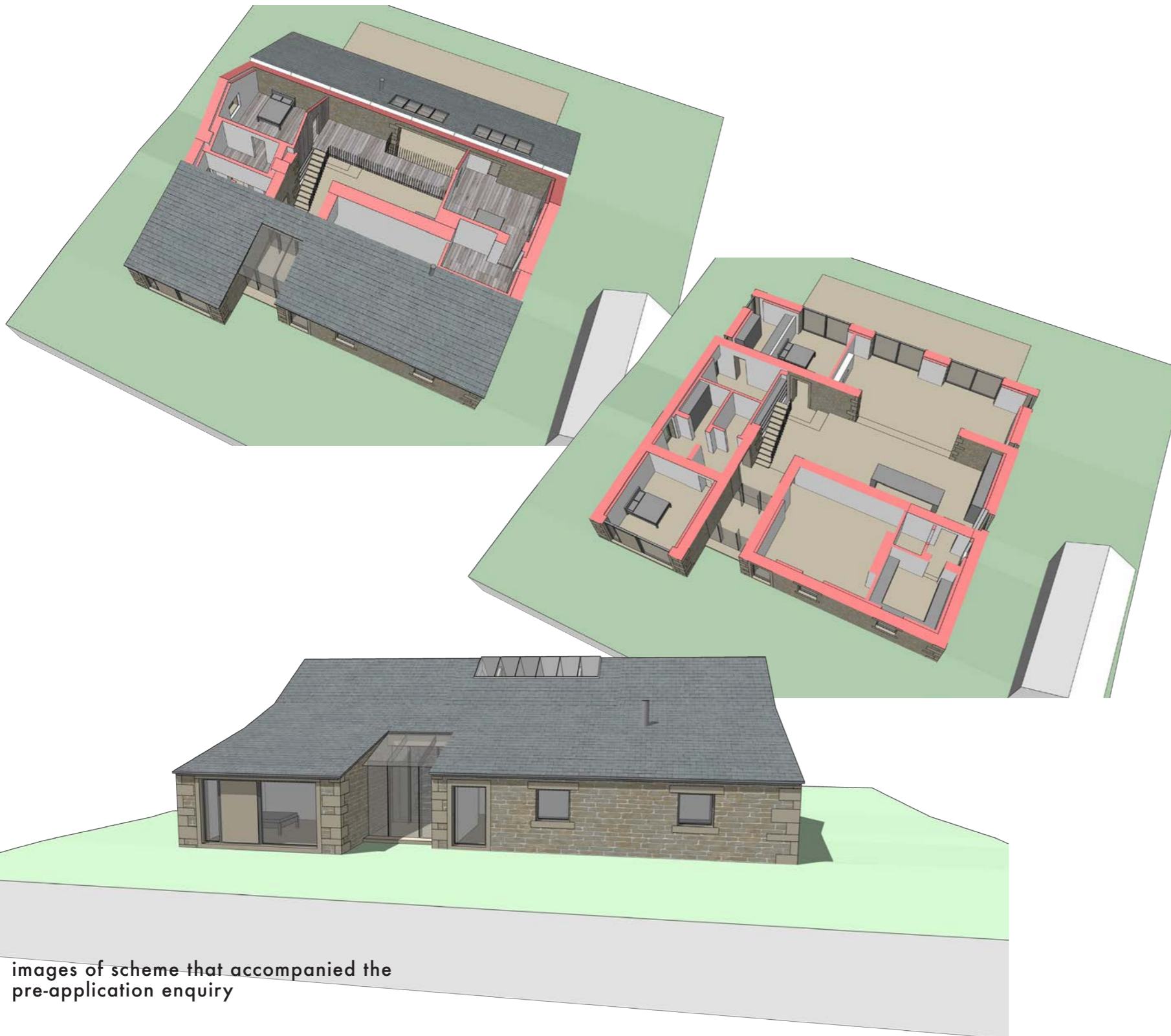
Action The structural engineer's report states that access was not available to allow a detailed survey of the southern wall, however notes areas of collapse and where lintels have failed.

Below is an area assessment of the external walls

| | wall area | requiring rebuilding | |
|-------|---------------------|-----------------------|---------|
| North | 48 m ² | - | |
| South | 45.5 m ² | say 30 m ² | (65%) |
| East | 84.5 m ² | - | |
| West | 77 m ² | - | |
| Total | 255 m ² | 34 m ² | (13.5%) |

5.3 *"No scaled floorplans have been provided to enable the Planning Officer to assess the size of the dwelling in terms of internal layout".*

Action The previous approved scheme (ref.3/2022/1165 and 1166) for the conversion of the barn created 2no units - this was deemed to have satisfied this matter. The current submission includes scaled floorplans of the proposals which create a single dwelling.



images of scheme that accompanied the pre-application enquiry

lower reaps farm - barn

5.4 *"There would be a heritage benefit of re-using the building by sustaining the value of the group of buildings".*

Action none required

5.5 *"Impact upon Listed Building and Setting"*

Action The application includes no works to the neighbouring listed farmhouse. However as the barn is 'within the setting' of the listed farmhouse a listed building application forms part of this submission. It is noted that the current proposals for the barn are largely unchanged in appearance from the previously approved scheme and therefore the possible 'impact' on the listed building must also be considered to be the same as the previously approved proposals for the barn.

5.6 National Planning Policy Framework (December 2024)

"In determining applications, local authorities should require an applicant to describe the significance of any heritage asset affected including any contribution made by their setting".

Action A heritage report accompanies this application concerning this matter.

It is noted that the current proposals for the barn are largely unchanged in appearance from the previously approved scheme and therefore the possible 'impact' on the listed building must also be considered to be the same as the previously approved proposals for the barn.

5.7 *"The works to the farm building relate not to this pre-application but planning ref.3/2025/0088 and 3/2025/0089 and the Heritage and Conservation Officer has provided comment on these works. They consider that there is no evidence to support large-scale taking down and rebuild of part of the farmhouse".*

Action As this comment relates to works to the farmhouse (which does not concern this application) it is taken that this comment is not relevant to this application.

5.8 The Heritage and Conservation Officer commented on the previous application proposal as follows:-

"Whilst parts of the barn will be subdivided ... largely the existing plan form is retained and the central core of the barn on the ground floor remains open plan retained the existing space. The design sees the bedrooms located in the projecting aisles of the north elevation, which I think is an appropriate solution. Likewise, the location of the proposed new staircase in the open plan area at the core of the barn is a suitable solution that will be recognised as the modern installation that it is".

Action It is noted that the proposals are supported by the Heritage and Conservation Officer

5.9 *"It is noted that part of the ground floor wall between the proposed sitting room and kitchen/family room would be removed".*

Action It is noted that the current proposals allow for more of this internal wall to be retained than the previously approved scheme.

5.10 *"Whilst the southern elevation may need to be rebuilt, the large openings proposed are not already in-situ and it is considered that these would likely harm the historic character of the barn".*

Action The rebuilding works are noted in item no.2. The proposed openings are required to provide access from the living accommodation to the garden. The current proposals allow for less of the southern wall to be rebuilt than suggested in the pre-application submission. The proposed opening sizes have been noticeably reduced in size compared to the pre-application submission (20% reduction).

5.11 *"The proposals would include alterations to the proposed rooflights which would not be sited closer together to the northern roof in a linear pattern The siting of the rooflights compared to the approved scheme would be more visually prominent ... conservation rooflights should be proposed rather than a continuous linear pattern".*

Action The proposed rooflights are now configured in the suggested 'scattered' arrangement. Rooflights will be 'conservation' type lying closer to the roof plane. The ridge light, providing natural light to the heart of the plan, has been split and reduced in size.

lower reaps farm - barn

6. PROPOSED

6.1 The existing barn is to be converted to form a single dwelling. Alterations to the existing envelope are kept to the very minimum, wherever possible reusing existing windows and doorways. Proposed openings are detailed to respect the barn. The south elevation is in poor state of repair - section no.5.2 and 5.10 comment on this matter in detail

Internally, the 'barn like' character has been retained and celebrated, with a largely open plan arrangement and the full height of the barn exposed.

The small outbuilding to the west of the barn is retained and will be used as a garden store and bin store.

The large dilapidated outbuilding to the south of the barn appears to be in imminent danger of collapse. It is constructed from a 'Heath Robinson' collection of metal panels, profile sheeting and telegraph poles. This proposal allows for the removal of this outbuilding, thereby allowing the southern elevations of the barn and farmhouse to be viewed and appreciated.

The proposed garage is positioned on the existing hardstanding to the east of the barn. It is sited and orientated to ensure that the existing public right of ways is unaffected.

The topography is also used to ensure that the apparent presence is kept to the minimum, ensuring views to and from the farmhouse are largely unaffected.

The materials respond to the setting with natural stone walls and a slated roof. The garage doors face the east gable of the barn thereby ensuring that they will be largely concealed from view.

6.2 SIZE

Footprint / gross external floor areas

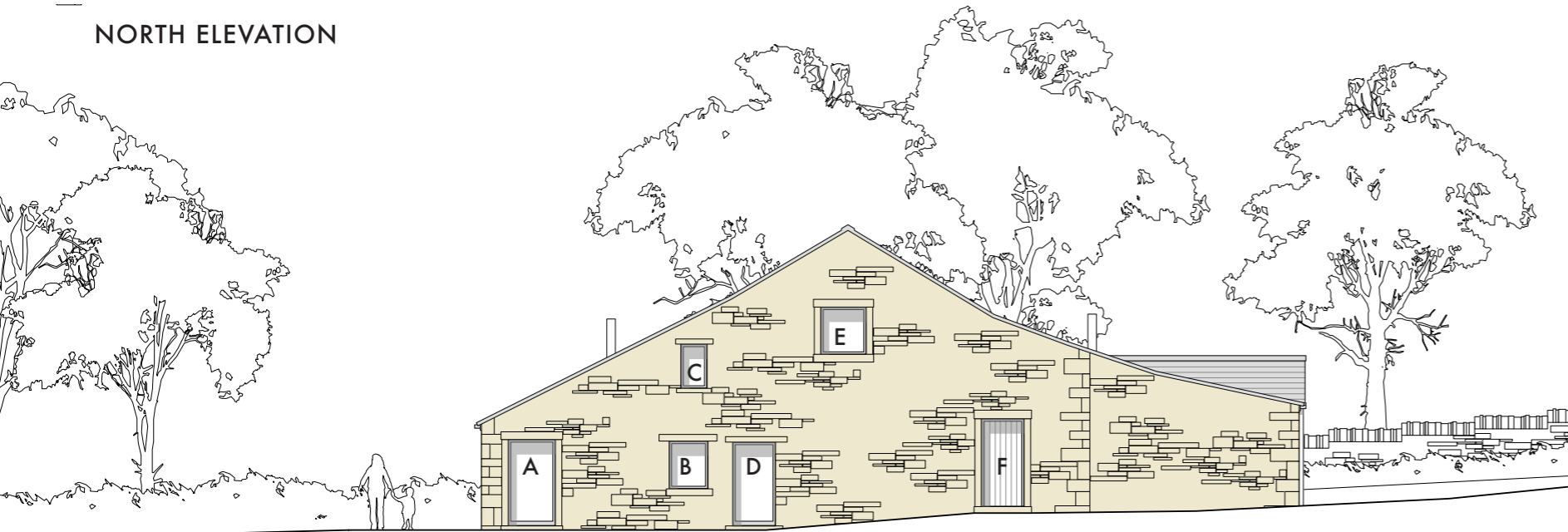
| | | |
|----------|---------------------|--------|
| Existing | Barn | 340 m2 |
| | Outbuilding - west | 28 m2 |
| | Outbuilding - south | 322 m2 |
| | Total | 690 m2 |

| | | |
|----------|--------------------|--------|
| Proposed | Barn | 340 m2 |
| | Outbuilding - west | 28 m2 |
| | Garage | 91 m2 |
| | Total | 459 m2 |

Equating to a 50% reduction across application site.



NORTH ELEVATION



EAST ELEVATION

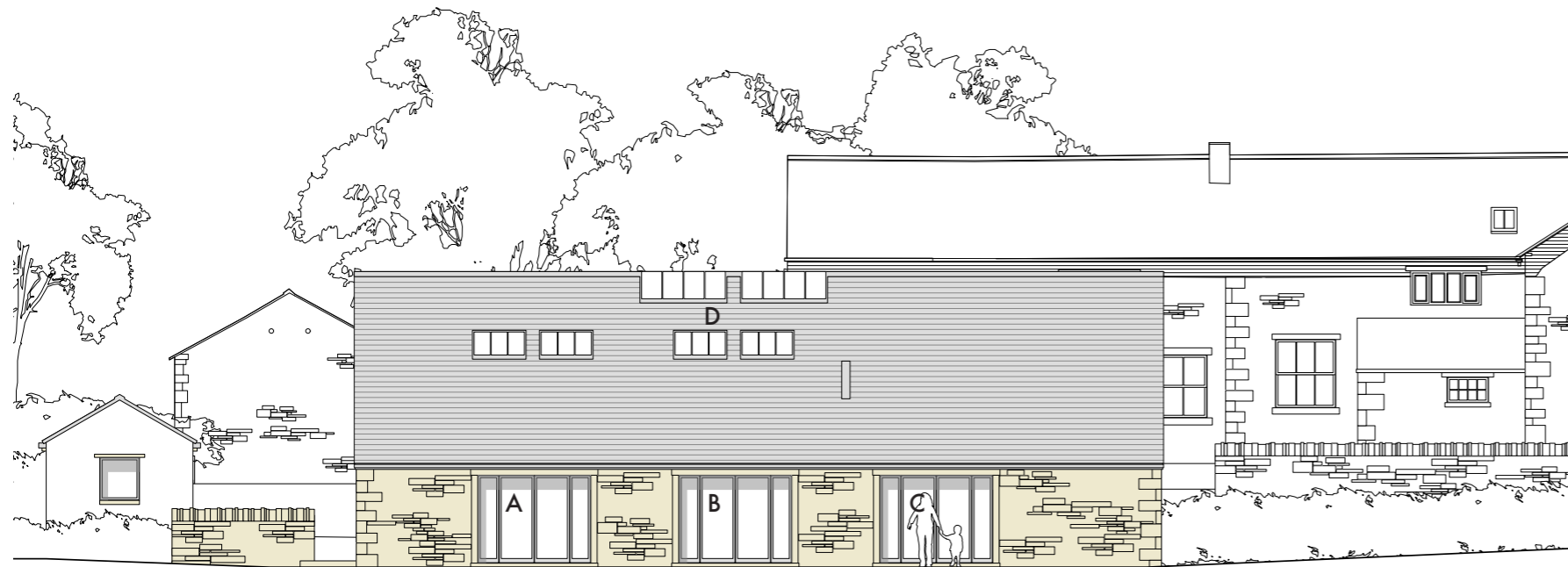


north elevation



east elevation

lower reaps farm - barn

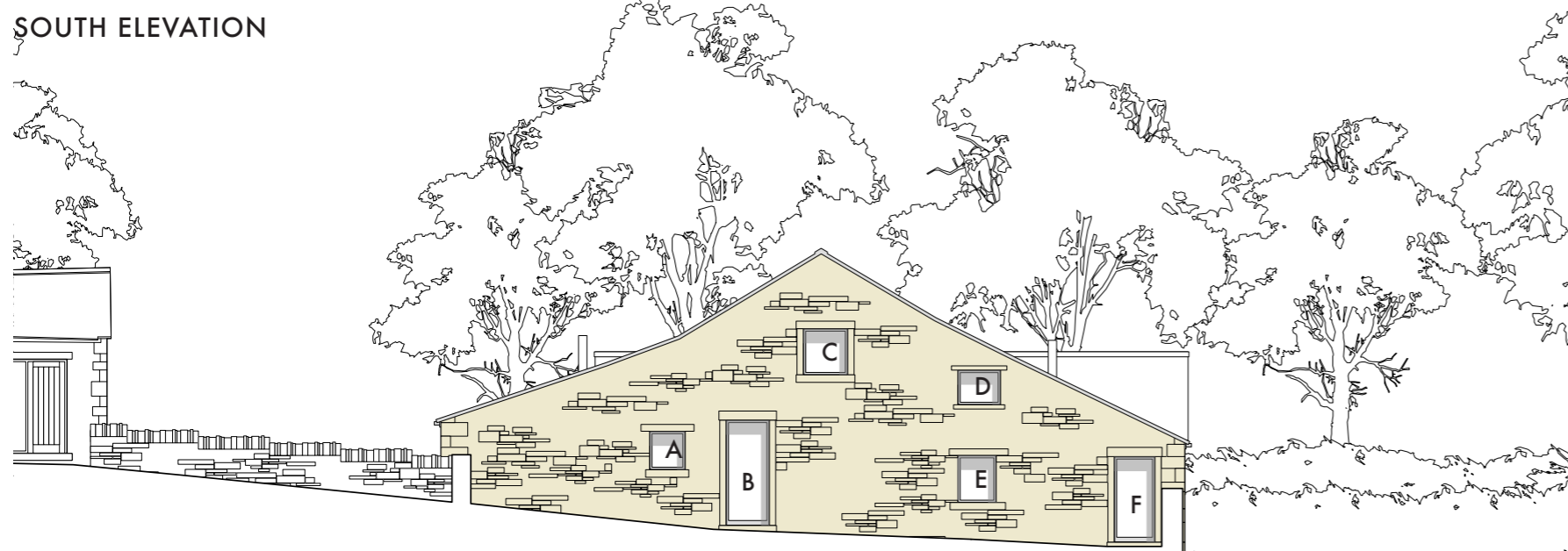


6.3 NORTH ELEVATION Drg.no.2540/12

Openings

- A Existing opening to be partially glazed and boarded. The pre-application refers to the previous approved application which allowed for the whole of the existing opening to be glazed. The current proposal follows this accepted principle however introduces partial infill boarding referencing the traditional Yorkshire boarding vernacular.
- B Existing main cart entrance is retained and used as the main entrance to the property.
- C Existing doorway
- D Existing window opening
- E Existing window opening
- F Conservation rooflights

SOUTH ELEVATION



6.4 EAST ELEVATION Drg.no.2540/12

Openings

- A Existing doorway
- B Existing window opening
- C Existing window opening
- D Existing doorway reinstated
- E Window opening to match existing opening to west elevation (window ref.C to west elevation)
- F Doorway to match existing doorways to east elevation.

WEST ELEVATION



south elevation



west elevation

6.5 SOUTH ELEVATION Drg.no.2540/13

Elevation faces away from neighbouring farmhouse therefore must have the least possible visual impact.

Openings

- A Proposed opening to provide access from living accommodation to garden - see section 5.10.
- B As opening 'A'
- C As opening 'A'
- D Conservation rooflights

6.6 WEST ELEVATION Drg.no.2540/12

Openings

- A Existing window opening retained
- B Existing doorway reinstated
- C Existing window opening retained
- D Existing window opening retained
- E Existing window opening retained
- F Existing doorway reinstated

lower reaps farm - barn

7. ACCOMPANYING REPORTS

7.1 HERITAGE STATEMENT

A heritage statement accompanies this application.

It is noted that during the previous application for the proposed works to the Lower Reaps Barns (ref.3/2022/1165 and 1166) the following responses were received:-

LCC Archaeology (31.01.23)

Much of LLC Archaeology's comments relate to the Farmhouse and are therefore not directly applicable to the current application.

"The main barn is also historically significant, demonstrating alterations to the economy of the farm, most likely in response to external changes in the local economy ..."

An archaeological watching brief is recommended of the house only. It is our understanding that this matter is addressed as a condition of the current approval.

Council of British Archaeology (01.02.23)

"The CBA note that the existing structures are deteriorated and require a comprehensive scheme of works and adaptive reuse of the agricultural buildings to ensure the site's long-term survival. We therefore support the proposed works in principle.

We are also pleased that to see that the proposed scheme will retain the principal barn as a single dwelling. We consider that the proposed plans retain the legibility of the original forms and functions.

We consider that this application meets the requirements of the NPPF paras 195 to avoid or minimise any conflict between the heritage asset's conservation and any aspect of the proposal, and 202 weighing harm to the heritage asset against the need to secure its optimum viable use".

7.2 STRUCTURAL

A detailed structural appraisal accompanies this application as prepared by Philip Wright Associates Ltd.

lower reaps farm - barn

7.3 DRAINAGE

A surface water and foul water drainage strategy accompanies this application as prepared by Reid Jones Partnership Ltd. This report and strategy has also been used to discharge condition no.17 of planning permission ref. 3/2022/1165 including the works to the neighbouring farmhouse. Decision pending.

The summary and conclusions of the report notes the following:-

1. *The nature of the local geology means that infiltration of surface water runoff back into the ground is not feasible.*
2. *Surface water runoff from the development will be attenuated and discharged into the existing drainage ditch, which flows from the northern to southern boundary before continuing to Arley Brook, maintaining the natural drainage pattern.*
3. *The surface water drainage system design accommodates runoff from all rainfall events up to the 1-in-100 year critical storm, with 45% allowance for climate change. Attenuation is achieved through underground storage crates within the soft landscaping areas to the south of the converted buildings.*
4. *Foul water from the proposed buildings will be treated by separate treatment plants before being discharged into the drainage ditch.*

7.5 LANDSCAPING PLAN

Drawing no.2450/14 accompanying this application details the proposed landscaping strategy.

This landscaping strategy has also been used to discharge condition no.17 of planning permission ref. 3/2022/1165 including the works to the neighbouring farmhouse.

The landscaping proposal details the following:-

1. fencing
2. stock fencing
3. natural stone walling
4. 'hard landscaping' specification
5. tree and planting schedule

7.6 ENDANGERED SPECIES

A bat survey report and method statement including reasonable avoidance and mitigation measures accompanies this application as prepared by Dave Anderson, Batworker.

The summary confirms the barn is considered to have a low level of bat roost potential.

No evidence to suggest the use of the building by nesting birds was recorded. No evidence to suggest use by nesting Barn Owls was observed.

No work should commence without contractors receiving a toolbox talk. All contractors will be made aware of the legal protection afforded all species of bats in the UK and procedures will be in place to mitigate for the potential impact on bats before any building work is undertaken. Roof work should only take place following an evening temperature of +5c.

The neighbouring farmhouse hosts a small non breeding roost of Common Pipistrelle bats, reasonable avoidance measures and mitigation have been suggested with the use of compensatory bat boxes. No works to the farmhouse will take place until a Natural England EPS licence has been applied for and approved. Further surveys to support an EPS licence application for works to the house are ongoing in the summer of 2025.