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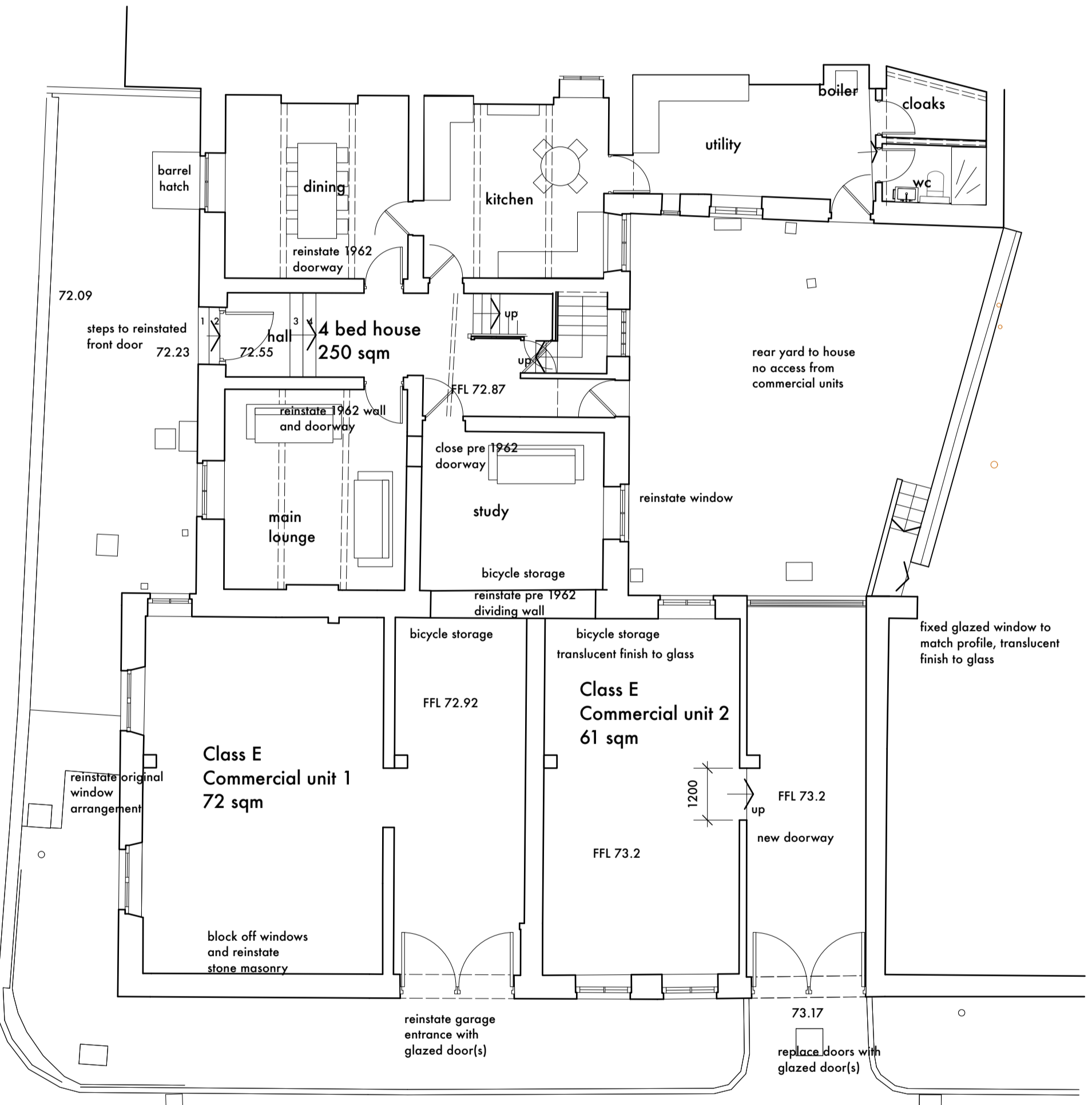
revision	date	note
-	April 2025	pre-application enquiry
A	June 2025	issued for planning and listed building approval
B	Sept 2025	minor amendments
C	Oct 2025	railings omitted, stairs reduced
D	Dec 2025	stairs treads brought into building

Generally

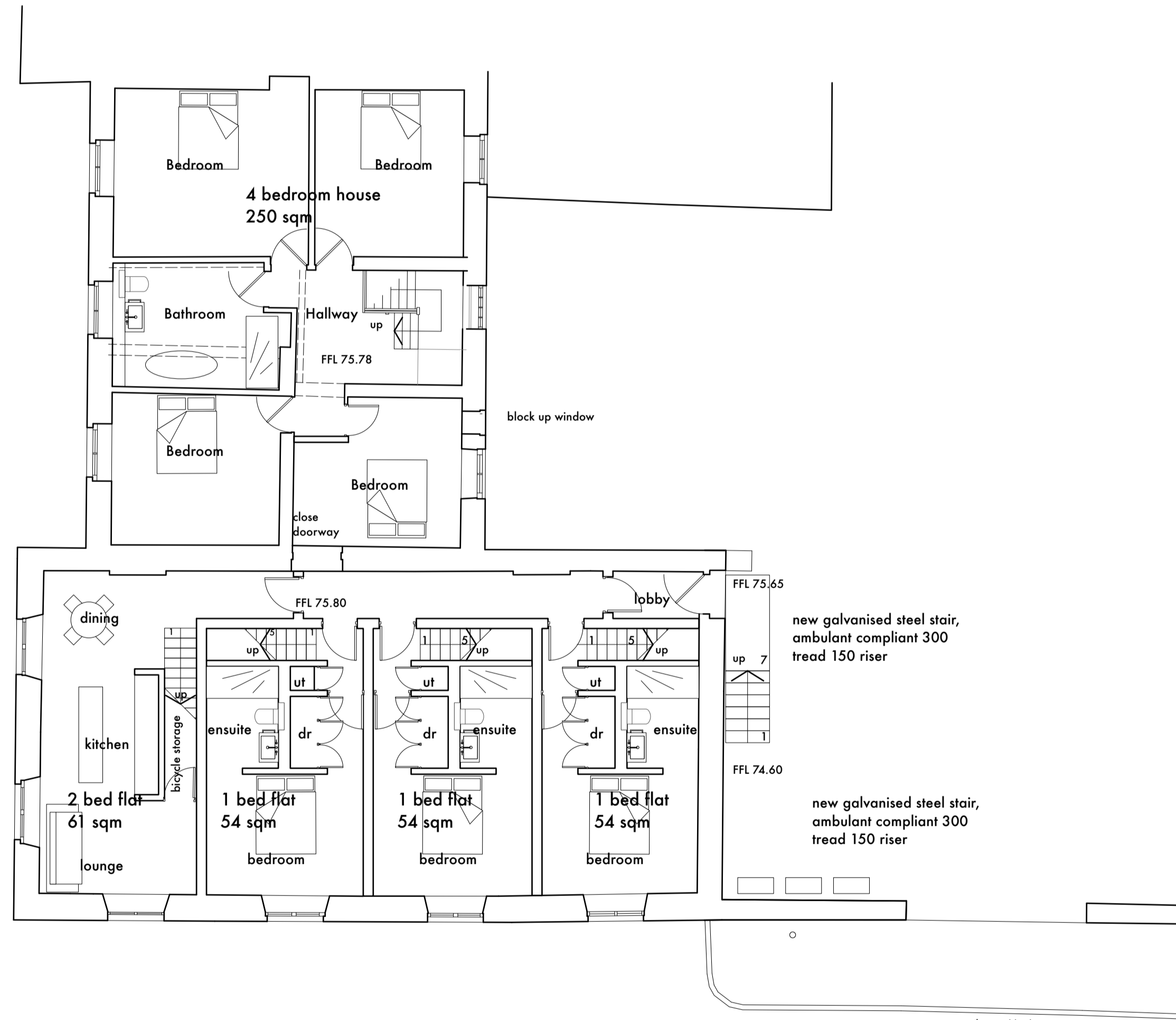
Walls lined internally with FIR insulation between studs and lined with plasterboard to reduce heat loss. Cills, skirting etc to be reinstated or extended to match existing.

Reinstated doorways, new doorways to have architraves, linings, doors to match existing doors.

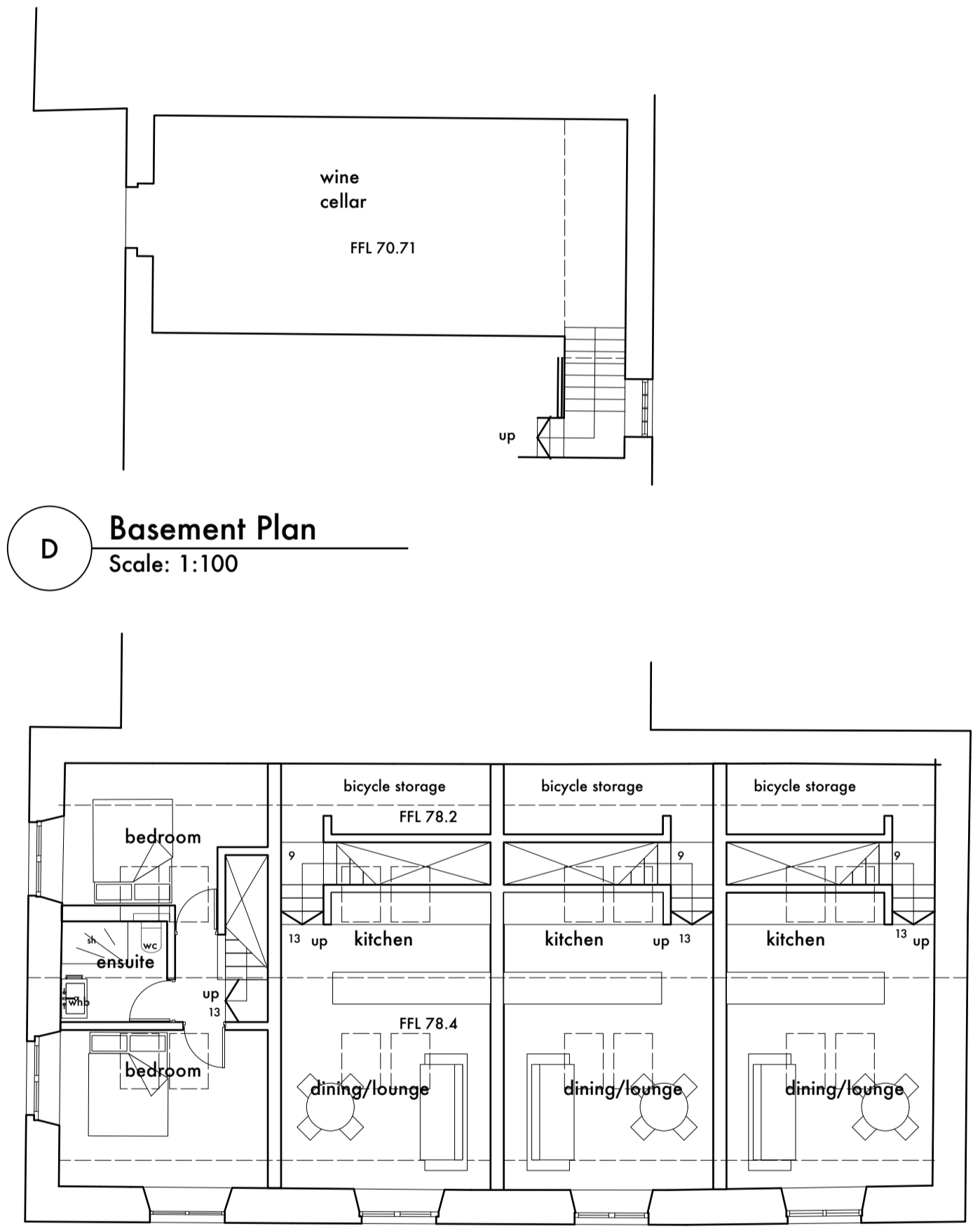
See PL04 for typical window details, mezzanine floor and dividing wall construction.



A Ground Floor Plan
Scale: 1:100



B First Floor Plan
Scale: 1:100



C Mezzanine Plan
Scale: 1:100

D Basement Plan
Scale: 1:100



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Chartered Practice

project number
45 - 47 Whalley Road

name
proposed plans

scale
1 to 100 @ A1

project number
2431

date
february 2025

drawing number
PL02

status
planning