

Heritage Statement

in connection with

Proposed conversion of nos 45-47 Whalley Road, Clitheroe

Prepared by

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1 INTRODUCTION

Purpose and Methodology

- 1.1 This heritage statement has been prepared to assess the potential heritage impacts of the proposed conversion of the vacant grade II listed 45-47 Whalley Road, Clitheroe, into a house, apartments and commercial use. The key issue is to what extent if any might the proposals harm the heritage significances of the listed building, which has previously been used as an inn, a function room and a commercial retail outlet.
- 1.2 The approach adheres to the principle of managing change intelligently, which lies at the heart of national planning policy for conservation of the historic built environment. The methodology employed involves the following sequential steps:
- Establish the nature of the proposed change(s), including the overall aim of the change and any emergent design proposals
 - Identify any designated and/or non-designated heritage assets potentially affected by proposals for change
 - Evaluate the heritage values and significances of the heritage assets, placing particular focus on values and significances that might be affected by the proposed change(s)
 - Produce a statement of significance which is to be used to guide the design of changes in a manner that places conservation of significance as a priority
 - Analyse the potential impact of the finalised design upon the significance(s) of the heritage asset(s)
- 1.3 The statement has been prepared in accordance with the general guidelines set out in the Historic England publications 'Informed Conservation'ⁱ and 'Conservation Principles, Policies and Guidance'ⁱⁱ and responds to heritage policies outlined in Chapter 16 of the National Planning Policy Framework (2024). Historic England guidance in preparing heritage statements, entitled 'Statements of Heritage Significance: Analysing Significance in Heritage Assets' (Historic England Advice Note 12, 2019) has also been used. The legal context is set by the Planning (Listed Buildings and Conservation Areas) Act of 1990. Further guidance has been obtained from relevant Historic England Advice Notes (HEAN) and Good Practice Advice Notes (GPA). Relevant local planning policies have also been consulted: these generally align with the provisions of the NPPF.

The Author

- 1.4 Chris O'Flaherty, the author, is a Chartered Building Surveyor and professional member of the Royal Institution of Chartered Surveyors (MRICS). With a background in the

recording, analysis and conservation of historic buildings, the author holds a Master's Degree in Building Heritage and Conservation and specialises in heritage planning matters.

Methods of Research and Investigation

- 1.5 Inspections of the site were initially carried out in March and June 2025 to assess its physical nature. Background research has also been conducted to ascertain all relevant contextual matters appertaining to the proposals. In accordance with the NPPF, background research has been proportionate to the nature of the building/site, the proposed change(s) and the likely impact of the change(s).
- 1.6 In terms the site's potential for buried archaeology, this potential has not been assessed beyond scrutiny of historic mapping.

2 GENERAL DESCRIPTION

Location

2.1 The property lies on the east side of Whalley Road to the south of Clitheroe town centre. A location plan is given below in figure 1.



Figure 1) Site location – the listed building is denoted by a blue triangle (NHLE)

Outline Description & Historical Background

2.2 45-47 Whalley Road comprises two distinct adjoined buildings which form the southern end of a terraced row on the east side of Whalley Road. In the later C19th Whalley Road was known simply as 'Salford' (this southern part of town was home to the large Salford Bridge Mills) and adjoined Whalley Road to the south with a short interconnecting part called Russell Street (see maps in figures 2-4).

2.3 Both of the adjoined parts are two storeys in height, stone built (part rendered), with the number 47 element to the south being a taller and newer part dating from the later C19th: it existed in 1880s as shown in the OS map in figure 3. The older part, number 45, is believed to date from the earlier C19th and is first depicted on detailed mapping as an inn also in the 1880s (figure 3). The inn, later enlarged, was known as The Wheatsheaf and is still listed as such.

- 2.4 Number 45 is three bays wide, double pile in depth, with a simple slated gabled roof sloping towards Whalley Road. It has three ground and three first floor windows to the main façade, the central window at ground floor level having been a former doorway. By contrast, number 47 has a tall gabled façade fronting Whalley Road with central ground floor doorway, flanked by small circular windows and with a pair of tall, upright windows with plain stone surrounds above. It is understood that the ground floor door and circular windows are insertions/alterations carried out c.1962, replacing what was previously a pair of rectangular windows (no door). These alterations are depicted on plan drawings of the building (existing and proposed) from 1962 when the property was altered to enlarge the pub element (number 45) with the conversion of a former dwelling and adjacent stabling/storage warehouse within number 47. Sample drawings of these changes are shown in figures 6 and 7.
- 2.5 There are four tall first floor windows to the right hand (Turner Street) elevation to number 47 and windows of varying size below, all with stone surrounds. The first floor houses a large function room accessed via an inserted stair. At the right end of the Turner Street elevation there is an arched tunnel access which formerly entered an enclosed courtyard behind number 45. This enclosed courtyard was in part destroyed by the removal of other buildings which formerly lined Turner Street (presumably removed to make way for the later C20th housing lining the street).
- 2.6 The rear elevation of 45 includes a tall stair window. This indicates that the building was perhaps built as a dwelling and possibly became an inn before its incorporation of the number 47 element in the 1960s as described earlier. However, there is a vaulted cellar beneath the building and, whereas this could in theory have been for domestic storage, this indicates that an inn was indeed the original function of the building with living accommodation.
- 2.7 It seems possible that the upper floor of number 47 was possibly used as preaching room but was most recently a large function room. The building resembles a methodist chapel (particularly the gabled frontage) and upon census returns from 1881 (figure 9) the occupants of the building are noted as including one 'James Boothman', 'Grocer' and 'Local Methodist Preacher'. Maps do not indicate the building was used as a chapel, however, and the mention of grocer on the census suggests it might have included some form of shop with storage and stabling (the latter indicating delivery of goods perhaps). Whatever the case, the building was much altered internally in the 1960s (as described above) and the eastern parts of the building (shown on older plans as stores) were demolished.
- 2.8 Following conversion of number 47 the building became known as the Salford and Wheatsheaf Hotel and was listed as such in 1976. In 1978 it was converted into light

commercial use (electrical services), but it now lies in a dilapidated state and retains little of interest internally following the various phases of conversion, alteration and partial demolition. There follows (figures 10 on) a series of recent photographs of the building.



Figure 2) 1844 OS map indicating the northern part of the listed building (now no.45) might have existed at this time, set back slightly from the street



Figure 3) 1880s OS map showing the Inn (now no.45) with adjoined building to the south (number 47) on what was at that time Salford Street (Salford Mill lay to the north)



Figure 4) 1910 OS map showing the listed building labelled as an Inn with adjoining south eastern part running along what later became Turner Street. This includes a tunnel access (denoted with a cross) which runs in behind the Inn



Figure 5) 1930 OS map showing number 45 labelled as a PH (public house) and the retained tunnel access through the adjoining southern part (47) denoted with a cross.

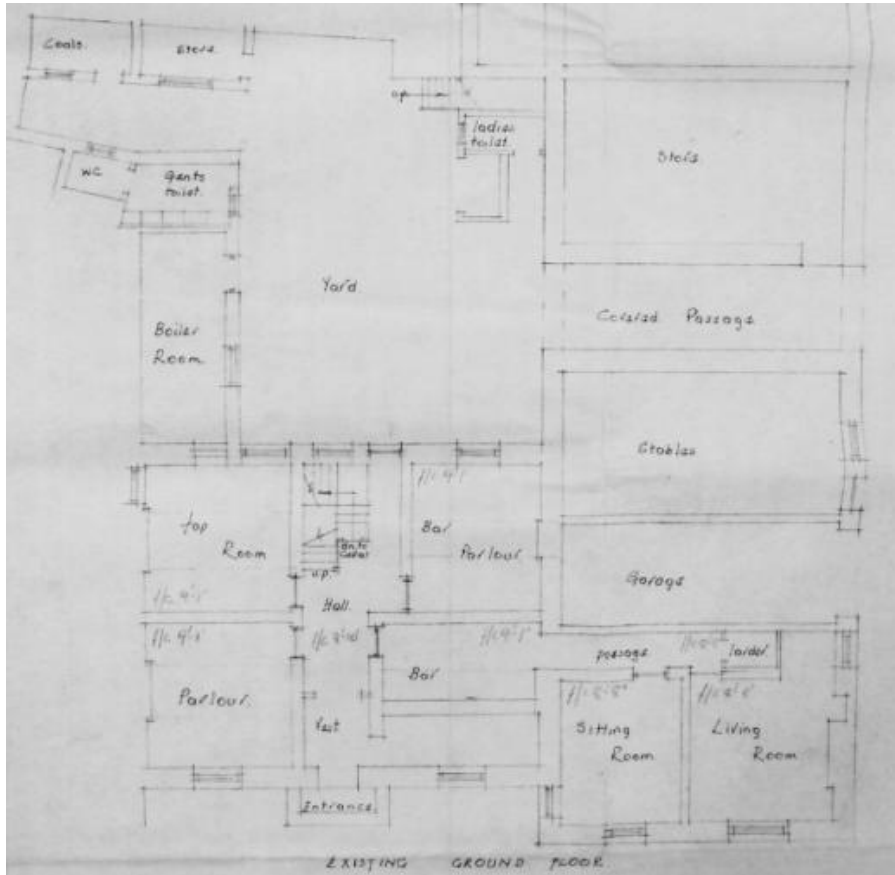


Figure 6) Ground floor plan drawn in 1962 prior to alteration

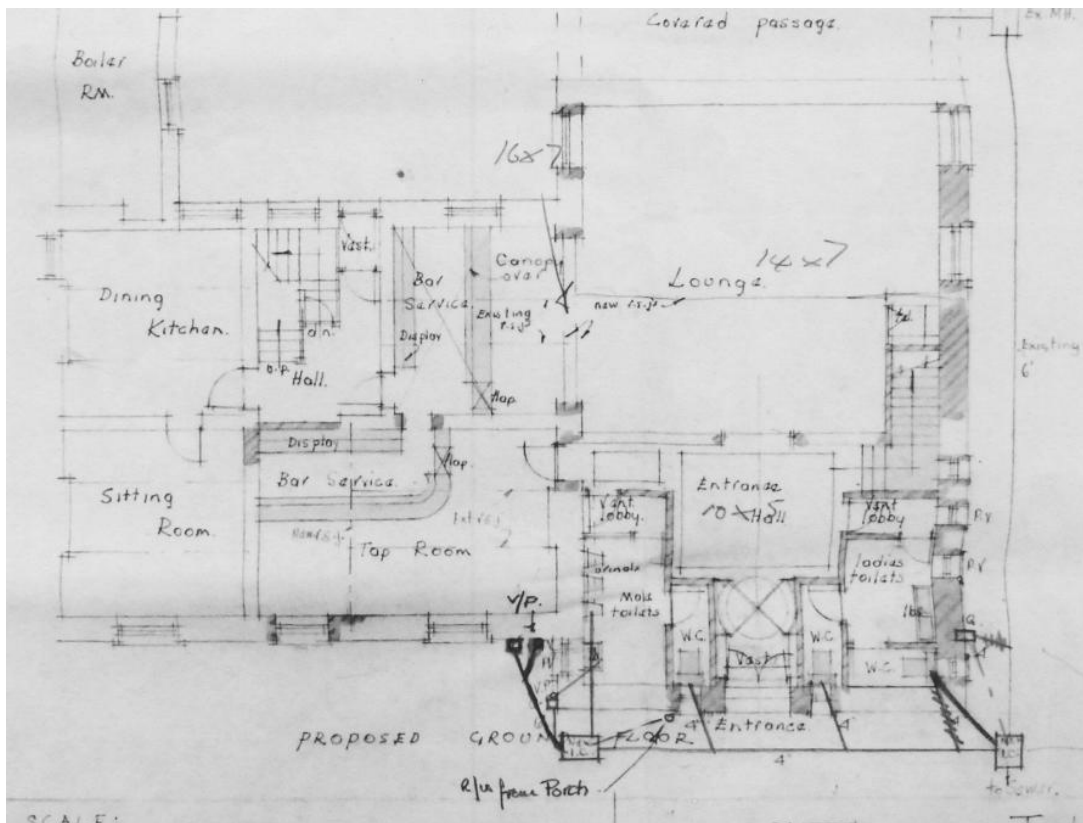


Figure 7) Plan of alterations 1962



Figure 8) 2009 street image showing ground floor alterations with former windows blocked

Page 8] The undermentioned Houses are situate within the Boundaries of the

Civil Parish [or Township] of	Municipal Borough of	Municipal Ward of	Parliamentary Borough of	Village or Hamlet of	Urban Sanitary District of				
<i>Clisthroe</i>	<i>Clisthroe</i>		<i>Clisthroe</i>		<i>Clisthroe</i>				
No. of Schedule	ROAD, STREET, &c., and No. or NAME of HOUSE	HOUSES		NAME and Surname of each Person	RELATION to Head of Family	CON-DITION as to Marriage	AGE last Birthday of		Rank, Profession, or OCCUPATION
		Un-occupied (U.)	occupied (O.)				Males	Females	
<i>26</i>	<i>59 Salford</i>	<i>1</i>		<i>James Boothman</i>	<i>Head</i>	<i>Mar</i>	<i>35</i>		<i>Grocer, Local Methodist Church</i>
				<i>Elizabeth Do</i>	<i>Wife</i>	<i>Mar</i>	<i>32</i>		<i>Grocers Wife</i>
				<i>Margaret Do Boothman</i>	<i>Servant</i>	<i>Unm</i>	<i>8</i>		<i>Scholar</i>
				<i>Violet Persis Do</i>	<i>Servant</i>		<i>1</i>		
<i>27</i>	<i>61 do</i>	<i>1</i>		<i>Henry Bradstreet</i>	<i>Head</i>	<i>Mar</i>	<i>41</i>		<i>Iron Keeper</i>
	<i>(Wheat Sheaf Inn)</i>			<i>Annie Do</i>	<i>Wife</i>	<i>Mar</i>	<i>29</i>		<i>Iron Keepers Wife</i>
				<i>Martha Do</i>	<i>Servant</i>		<i>7</i>		<i>Scholar</i>
				<i>James Do</i>	<i>Son</i>		<i>5</i>		<i>Scholar</i>
				<i>Harry Do</i>	<i>Son</i>		<i>4</i>		<i>Scholar</i>
				<i>Betty Do</i>	<i>Servant</i>		<i>2</i>		
				<i>Mary Jane Reddows</i>	<i>Serv</i>	<i>Unm</i>	<i>20</i>		<i>General Servant</i>

Figure 9) 1881 Census extract



Figure 10) The buiding at the corner of Whalley Road and Turner Street (2021)



Figure 11) The Whalley Road frontage – the central ground floor window to number 45 was formerly a door (2021)



Figure 12) Turner Street elevation with tunnel



Figure 13) Rear elevation of number 47 from Turner Street.



Figure 14) Tunnel from within rear courtyard



Figure 15) Rear elevation of number 45 with tall stair window



Figure 16) Stone cellar stair to number 45



Figure 17) Vaulted cellar to number 45



Figure 18) Staircase with stick balusters to number 45



Figure 19) The large function room at first floor level looking to the front



Figure 20) *Fireplace within the function room*



Figure 21) *Large function room looking to the rear with inserted stair to the right*

Heritage Asset Designations

2.9 45-47 Whalley Road is a grade II listed building, the listing description for which is given below.

2.10 WHALLEY ROAD (East Side) Nos 45 and 47

(Formerly listed as Salford and Wheatsheaf Hotel, WHALLEY ROAD)

GV II Circa 1825. 2 storeys, rendered, with Welsh slate roof. Gable to right breaks forward, rusticated, with stone coped kneelers. 2 long windows in stone surrounds above modern door and 2 modern windows. Left section has 3 windows over 3, the centre of the latter being a former door opening. Side elevation has 4 windows above 4 and 2 and segmental-headed carriage entry.

Nos 35 to 39 (odd), Premises occupied by the British Legion, Nos 45 and 47, form a group with Nos 49 to 71 (odd) of which Nos 35 to 39 (odd), Premises occupied British Legion, and Nos 49 to 71 (odd) are buildings of local interest only.

Listing NGR: SD7423641276

3 HERITAGE APPRAISAL

Introduction

- 3.1 The following appraisal adheres to guidance published by Historic England (2008 and 2019)^{iii,iv} and relates specifically to the requirement contained in paragraph 207 of the National Planning Policy Framework (2024), given in extract below:
- 3.2 *"In determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets' importance and no more than is sufficient to understand the potential impact of the proposal on their significance. As a minimum the relevant historic environment record should have been consulted and the heritage assets assessed using appropriate expertise where necessary."*
- 3.3 The appraisal begins by identifying and assessing any heritage values/interests that might be affected by the proposals, before evaluating these and composing a 'Statement of Significance'. The essential purpose of the Statement is to set priorities for conservation of significance and enable an objective assessment on the likely impact of the proposals, with specific interest in the avoidance of harm.

Heritage Interests

- 3.4 The heritage interests explored below are distilled under the following headings: archaeological interest; historic interest; architectural and artistic interest. The exploration focusses specifically on those interests deemed of possible relevance to the proposals site, and it is not an exhaustive assessment of the inherent heritage interests of the relevant heritage assets. The phrase 'heritage interests' is interchangeable with the phrase 'heritage values', which was used in Historic England guidance from 2008^v.

Archaeological Interest

- 3.5 Historic England (2019) suggests that *"There will be archaeological interest in a heritage asset if it holds, or potentially holds, evidence of past human activity worthy of expert investigation at some point."*
- 3.6 The listed building retains limited archaeological interest owing to its history of use - variously as a dwelling, pub, stabling and stores, possible former preaching chapel and as commercial retail unit. The numerous past changes have eroded the interpretability of past uses, therein reducing retained interest relating to original or previous functions. The parts generally of most interest are the cellar, domestic stair and upper floors rooms to no.45, and the large function room to number 47 with adjoined tunnel.

Historical Interest

- 3.7 Historic England (2019) suggests this to be - *"An interest in past lives and events (including pre-historic). Heritage assets can illustrate or be associated with them. Heritage assets with historic interest not only provide a material record of our nation's history, but can also provide meaning for communities derived from their collective experience of a place and can symbolise wider values such as faith and cultural identity"*.
- 3.8 The historical interest of the building lies primarily within its history of uses, as previously outlined and explored in section 2. Herein the building retains a degree of illustrative historic value, most particularly in relation to the use as an inn/pub, and degree of intrigue remains on whether the upper floor of number 47 was used as a preaching room.
- 3.9 Unfortunately, the quality of illustrative value is diminished by phases of alteration (etc) and these inhibit the building's ability to engage us with connections to past lives/events etc. Nevertheless, the building clearly presents two phases of C19th development and contributes more generally to the historic character of the local area.

Architectural and Artistic Interest

- 3.10 Historic England (2019) suggests that: *"These are interests in the design and general aesthetics of a place. They can arise from conscious design or fortuitously from the way the heritage asset has evolved. More specifically, architectural interest is an interest in the art or science of the design, construction, craftsmanship and decoration of buildings and structures of all types. Artistic interest is an interest in other human creative skills, like sculpture."*
- 3.11 The listed building comprises two distinct parts – one early and one later C19th. The southern element, number 47, retains the most notable architectural feature in the form of the west facing gable with kneelers and symmetrical design. Here the building has a degree of landmark presence, accentuated by its corner location and tall windows to Turner Street. Elsewhere the building is more utilitarian in appearance, albeit with some regularity in the pattern and position of fenestration (particularly to the Whalley Road and Turner Street facades). Visual features of interest include the tunnel access and the stair window, both of which are indicative of the building's age and original function.
- 3.12 The overall architectural interest of the building is fairly minimal and generally limited to the landmark presence of number 47. Inside there remains little of notable interest, except perhaps for some older panelled doors, a fireplace to the large function room, the staircase to number 45 and the vaulted cellar underneath this part of the building. Otherwise, the building is in a poor visual state and generally in need of substantial renovation. Such work will doubtless help to reinstate a degree of architectural interest and visual appeal.

Statement of Significance

- 3.13 Having assessed the heritage interests associated with the site, it is now possible to take a more informed approach to the assessment of site significance. This will consider prioritising conservation, in light of the proposals for change. In this context, a statement of significance is given below.
- 3.14 An appraisal of heritage interests has been conducted to explore the inherent heritage interests of the listed building. This appraisal has revealed that the building, which comprises two distinct parts, is much altered and converted with elements dating from the early and later 19th century. The building has had various uses, including domestic, an inn/pub, stabling, storage, and retail. It is also possible that the upper floor of number 47 was for a period of time used as a Methodist preaching hall.
- 3.15 Due to the extent and nature of past change the building retains comparatively little architectural and historic interest. It does, though, possess some heritage significance owing to its age, limited architectural character and evidence of original use. The most significant element is probably the gabled façade to number 47, at the corner of Turner Street and Whalley Road, which has some landmark presence with characterful kneelers and a symmetrical composition. Even this part, though, has been fairly recently altered with the ground floor entrance door and flanking circular windows being inserts from the 1960s.
- 3.16 Otherwise, the building lacks clear and interpretable evidence of original and past uses and its interior has been dramatically changed by conversion work in the 1960s. There are some other features worthy of mention – notably a tunnel access to Turner Street and a tall stair window to the rear of number 45 and the large function room to number 47 – but on the whole the heritage significance of the building, regardless of its grade II listing, is comparatively low.
- 3.17 The listed building is clearly in need of a new and viable use, and if designed and implemented with care this should help re-establish its architectural interest and sustain its heritage significance for the future. Conservation priorities in this regard should focus on retaining the aforementioned features of interest whilst replacing dilapidated components (e.g. windows) with fittings of appropriate design that complement the historic character of the building.

4 ANALYSIS OF THE PROPOSALS

General Principles

- 4.1 General guidance on assessing proposed changes to heritage assets is given in chapter 16 of the National Planning Policy Framework (2024). The NPPF establishes the premise that conserving significance should be a guiding principle when designing proposals for any development. To do this, it is first necessary to understand the heritage significance(s) of heritage assets before commencing with design.
- 4.2 Part 3 of this statement fulfils the need to understand significance and the findings of part 3 have informed the design of the proposals. There follows, here in section 4, an objective review of the finalised scheme, verifying to what extent conservation of significance has been achieved or whether any harm is likely to accrue.

Summary of the Proposals

- 4.3 The proposals involve the sensitive repair, refurbishment and conversion of the vacant building for mixed commercial (ground floor of number 47) and domestic use. The proposals include retention of original building fabric (inside and out) where possible, together with necessary upgrading to achieve appropriate modern living standards (e.g. thermal and acoustic standards). The intention is to retain the character of the building, including the re-introduction of some features lost during previous alterations, whilst providing a new sustainable and viable use for a listed building suffering the negative effects of vacancy. A summary of the works is listed as follows, after which there is a series of proposal drawings:
 - Replacement double glazed windows (matching pattern and design)
 - Double glazed conservation rooflights
 - Reinstatement of historic window arrangement to 3 opening between properties
 - Reintroduction of front door onto Whalley Road
 - Reinstatement of masonry to entrance door onto Whalley Road
 - Insulated linings to walls
 - PIR in plane insulation to the vaulted (warm) roof and quilt to the cold roof construction
 - Creation of 4 flats, introduction of mezzanine floor and associated fit out
 - External stair access/escape to upper floor
 - External air source heat pumps
 - Formalised car park layout



Figure 22) Existing ground and first floor plans



Figure 23) Existing western and southern elevations

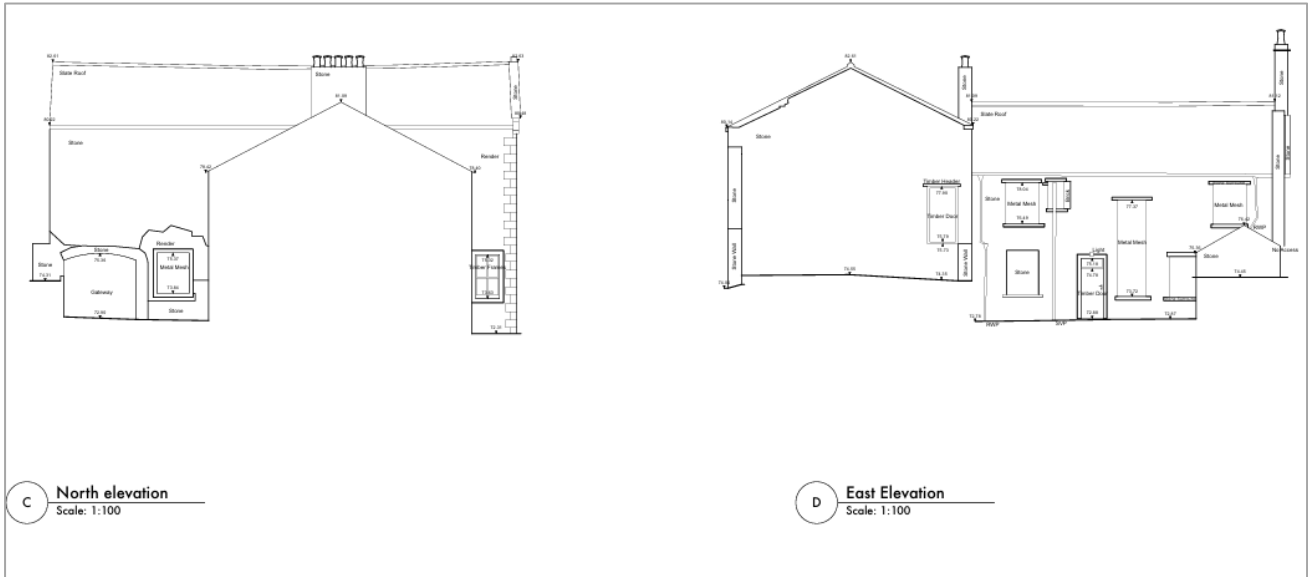


Figure 24) Existing northern and eastern elevations

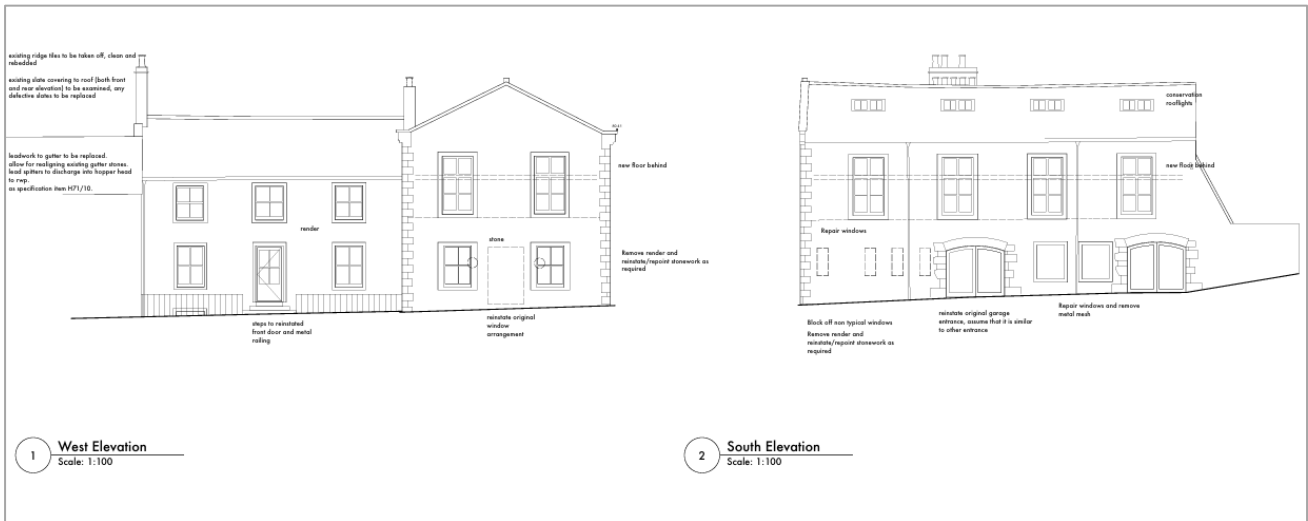


Figure 25) Proposed western and southern elevations

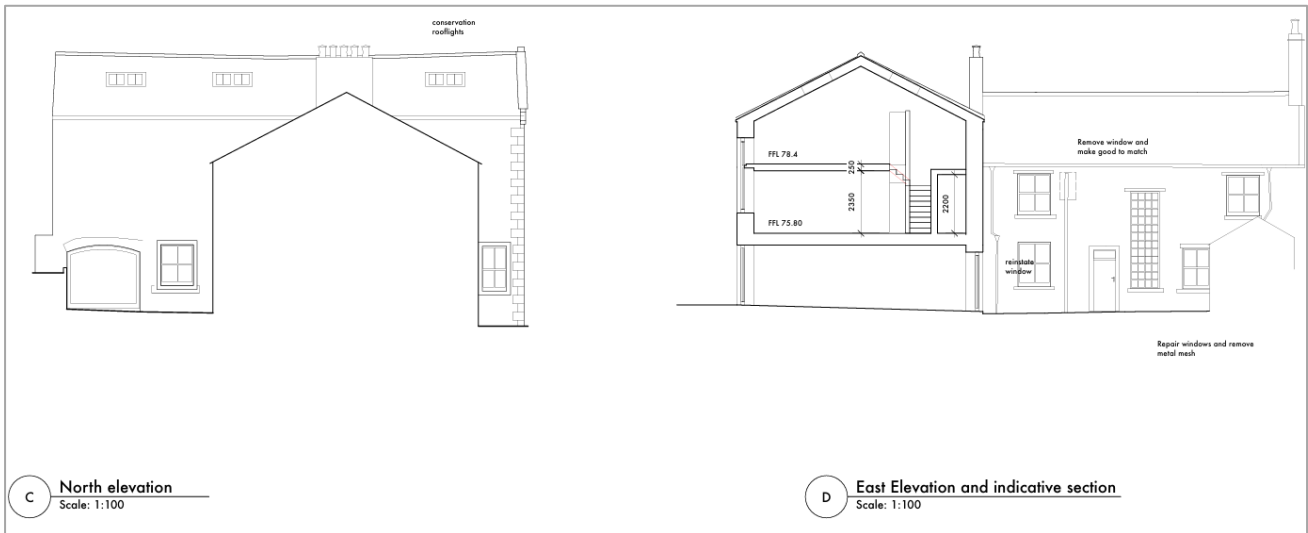


Figure 26) Proposed northern and eastern elevations including indicative section through no.47

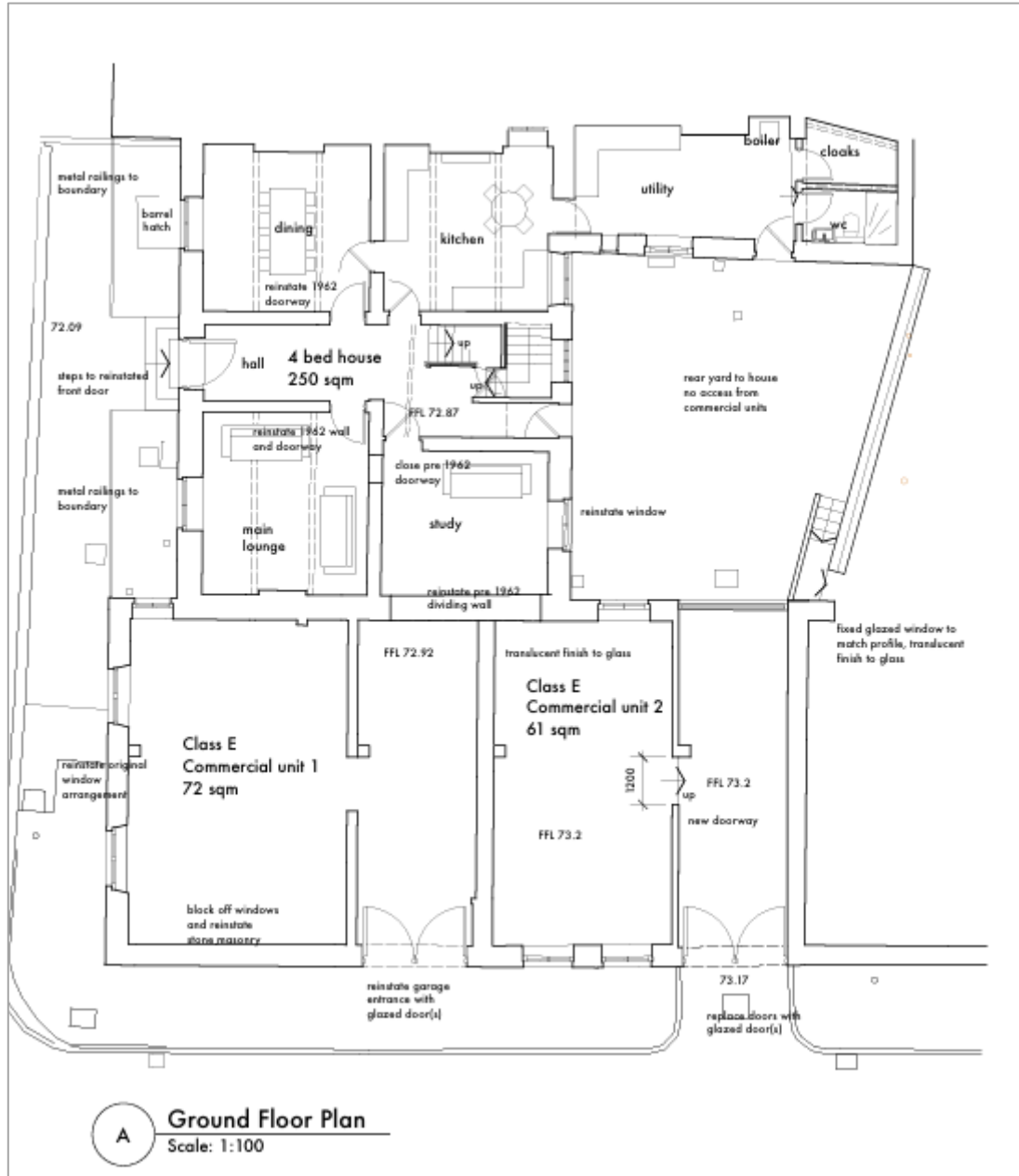


Figure 27) Proposed ground floor plan



Figure 28) Proposed first floor plan

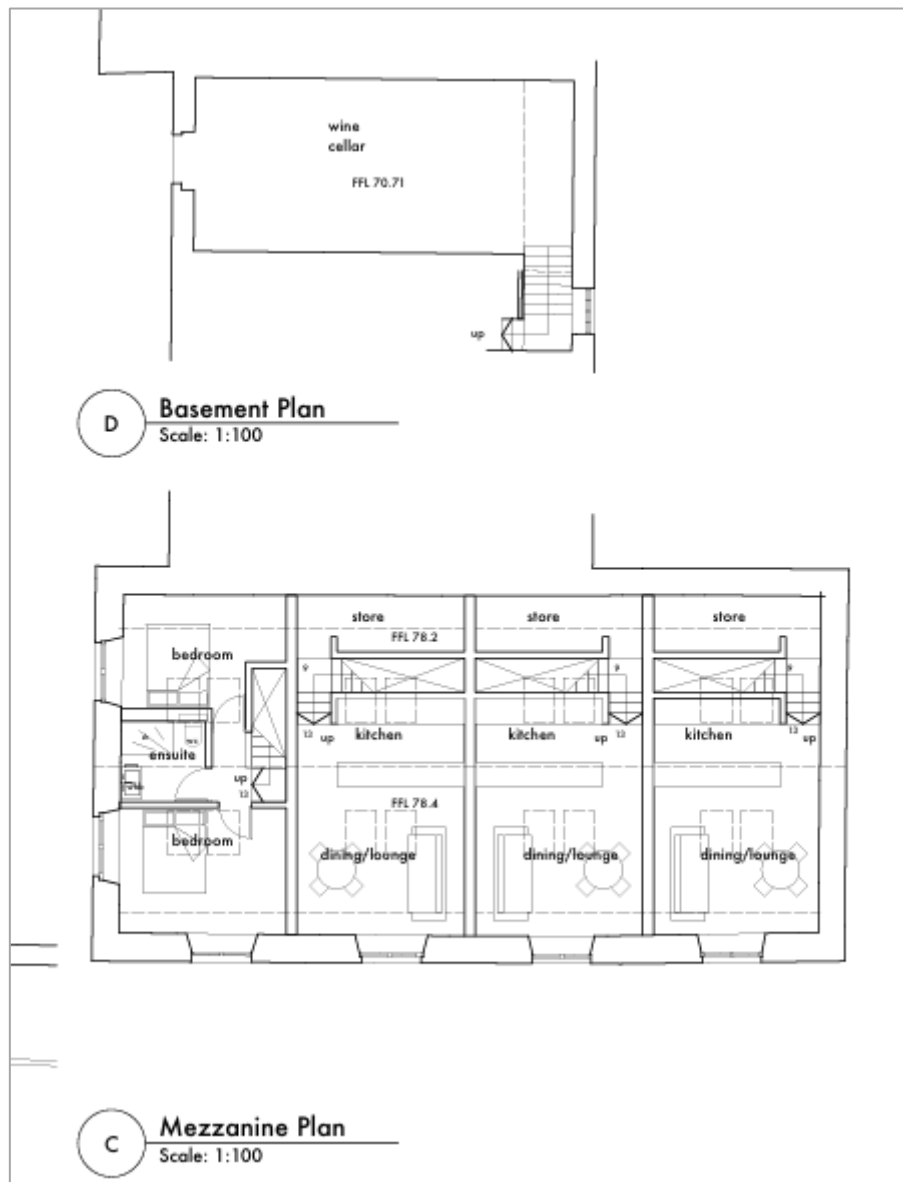


Figure 29) Proposed mezzanine and cellar plans

- 4.4 The major intervention of the scheme is the introduction of a mezzanine floor level within the tall function room space, enabling duplex apartments to be inserted with commercial units at ground floor level. The wall structures dividing the apartments are in line with the roof trusses above, therein conforming to the structural layout of the space. Both levels will be illuminated by the tall windows to the Turner Street elevation, plus newly installed low-profile conservation rooflights. The interventions enable habitable use of what would otherwise be a very large space, inappropriate and inefficient (heating and lighting) for domestic purposes. The interventions will, though, be largely reversible, enabling potential re-opening of the space in the future.
- 4.5 Otherwise, the scheme largely utilises the historic plan form of the building, particularly

number 45, which is converted back into a single dwelling. This is done by re-establishing the building's original central front doorway and the sub-division of rooms at ground floor level, as per the original plan form. Meanwhile the cellar is retained for storage purposes and the rear annexe element is put to ancillary use. Herein the scheme reverses the impact of previous alterations, whilst upgrading elements of the building for enhanced thermal performance.

Analysis of the Proposals: National Planning Policy Framework

4.6 As discussed earlier, section 16 (Conserving and enhancing the historic environment) of the NPPF (2024) considers heritage planning and identifies the following key drivers in the decision-making process:

- a) the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;
- b) the positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality;
- c) the desirability of new development making a positive contribution to local character and distinctiveness.

4.7 The NPPF unifies the overall approach to planning, in order to ensure that deliberations over decisions relating to heritage assets are made in the full planning context. Securing sustainable development is the primary driver of the NPPF: in the heritage context this relies on maintaining active use (long term) in a manner that seeks to limit potential harm to significance.

NPPF Paragraph 212

4.8 Paragraph 212 of the NPPF states:

“When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset’s conservation (and the more important the asset, the greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance.”

4.9 Parts 2 and 3 of this heritage statement acknowledge the need to explore and understand heritage significances in order to guide proposals for change and review likely impacts, all as outlined within the NPPF. On the matter of whether any harm to significance accrues, this is discussed in the passages below.

NPPF Paragraph 214

4.10 Paragraph 214 of the NPPF states:

“Where a proposed development will lead to substantial harm to (or total loss of significance of) a designated heritage asset, local planning authorities should refuse consent, unless it can be demonstrated that the substantial harm or total loss is necessary to achieve substantial public benefits that outweigh that harm or loss, or all of the following apply:

- a) the nature of the heritage asset prevents all reasonable uses of the site; and*
- b) no viable use of the heritage asset itself can be found in the medium term through appropriate marketing that will enable its conservation; and*
- c) conservation by grant-funding or some form of not for profit, charitable or public ownership is demonstrably not possible; and*
- d) the harm or loss is outweighed by the benefit of bringing the site back into use.”*

4.11 Paragraph 214 of the NPPF considers the circumstances where total loss or substantial harm to the significance of a designated heritage asset might accrue on account of a development proposal. In this case, the proposals involve the repair, refurbishment and conversion of the listed building, therefore no risk of substantial harm exists.

NPPF Paragraph 215

4.12 Paragraph 215 of the NPPF states:

“Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use.”

4.13 A potential risk of less than substantial harm to significance of a designated heritage asset, as referred to in paragraph 215 of the NPPF, is a relevant consideration in this case because the proposals involve various physical and functional changes to the listed building. These include the replacement of windows, the sub-division of spaces, the insertion of rooflights and the repair/replacement of defective building fabric and fittings. In part these changes re-establish the original layout of the building (number 45) and partly they involve sub-division of previously altered spaces (number 47). The major change is the insertion of a mezzanine floor level within the large function room, enabling the formation of duplex apartments which will be lit from above by conservation rooflights.

4.14 The overall risk of net harm typically depends on a range of both positive and negative impacts, with the major positive impact (benefit) in this case being returning the listed building into a viable use following a prolonged period of vacancy. The major negative

impact, which is necessary to achieve the viable use, is the insertion of the mezzanine within the function room. Whereas the work will theoretically be reversible (i.e. the function room could be returned to its extant state), it is acknowledged that a compromise is needed mindful that demand for large congregational spaces is low, as is sadly illustrated by the plight of so many vacant churches.

- 4.15 Otherwise, it is possible to consider each package of planned changes and assess their likely impacts, particularly with regard to whether net harm or benefit accrues. This assessment is carried out below.
- 4.16 **Window replacement and re-forming openings** – The replacement of windows is in part necessary due to the poor condition of the existing fittings and in part to improve thermal and sound insulation levels. Many of the windows currently in place are non-original units installed during previous conversion/alteration, however it would appear that some original units remain to number 45. These are generally in poor condition and are to be replaced with slimline double glazed timber framed units of matching pattern and design, which will achieve the dual aims of improving insulation whilst retaining the aesthetic and material benefits of the original windows. Elsewhere, the non-original windows to number 47 are to be replaced by double glazed units of a design and pattern considered more in keeping with the age and style of the building. These changes will considerably improve the character and appearance of number 47, and will be further enhanced by re-establishing former blocked/altered openings along the main streetside frontages.
- 4.17 The overall impact of the package of window replacement is positive, albeit this hinges to some degree upon the quality and accuracy of the replacement sash units to number 45 which are of considerable contributor to the historic character of the building. The changes will visually enhance number 47 and should consolidate the character of number 45, whilst bringing notable insulative benefits to the entire building and its occupants.
- 4.18 **Conservation rooflight installation (no 47)** – 8 no. low profile conservation rooflights will be installed between trusses upon the gabled roof to number 47. The regular placing corresponds to the layout of the new mezzanine level apartments. The rooflights will improve living conditions within the property, whilst also slightly changing the appearance of the building. Owing to the low-profile design and grey/black colour of the rooflights their visual impact will be limited, mindful that the slated roof slopes are not a prominent visual feature of the building. That said, a minor degree of harm will accrue as the rooflights will be identifiable as non-original intervention, albeit unobtrusive in appearance.
- 4.19 **Reintroduction of front door onto Whalley Road (no 45)** – Reinstating the central front door with associated internal hallway will re-establish the original layout and appearance of the building. The impact will be wholly positive and will enhance heritage significance.

- 4.20 **Blocking inserted entrance door onto Whalley Road (no 47)** - The doorway which currently enters number 47 off Whalley Road was inserted in the 1960s (see figures 6 and 7). This doorway will be removed, the opening blocked and former flanking windows reinstated. The changes will return the building frontage to its original appearance prior to the 1960s alterations: this is a wholly positive change which again enhances significance.
- 4.21 **Insulated linings to walls** - The lining of the inner face of external walls will enhance the thermal performance of the building, improving living conditions and viability. Since much of the building's inner wall faces require repair and reinstatement, and the walls generally lack any decorative features, the addition of new insulative linings will have no impact on heritage significance whilst being beneficial for the other reasons stated. That said, it will be important to ensure that the linings do not inhibit the ability of the building to allow the evaporation of trapped moisture, therefore 'breathable' materials will be needed.
- 4.22 **PIR in plane insulation to the vaulted (warm) roof and quilt to the cold roof construction** - Enhancing thermal performance at roof level is a very typical, effective and unobtrusive improvement which, if performed with care, should not harm heritage significance but will add to functional viability.
- 4.23 **Creation of 4 flats, introduction of mezzanine floor and associated fit out** - As already acknowledged, this is the major intervention which is considered a necessary compromise to ensure a viable new use for the former function room. The changes will radically transform the large space and represents what has become a relatively commonplace solution to securing a new use for vacant congregational buildings/rooms. The partitions between the apartments will follow the structural subdivision afforded by the roof trusses, therein working with the building. The retention and shared use (i.e. between first and mezzanine levels) of the tall windows will retain strong evidence for the original layout of the building, which will be readily interpretable both internally and externally. Nevertheless, a degree of harm to significance will accrue.
- 4.24 **External stair access/escape to upper floor** - The formation of a new external access stair on the eastern gable end of number 47 will enable the separation of uses between ground (commercial) and upper (domestic) floors. The gable upon which the stair will be sited was formerly concealed within a building (i.e. as an internal dividing wall) prior to the demolition of the eastern end of number 47. The stair will be a visible modern intervention, but owing to the extent and nature of past change in this location no harm to significance is expected in what is this position of low intrinsic heritage interest.
- 4.25 **External air source heat pumps** - These will be positioned in positions of low status and visibility. They are increasingly commonplace features of domestic properties and readily identifiable as modern additions. Owing to their positioning they pose no threat to the

building's heritage significance.

4.26 **Formalised car park layout** – The new car park will accommodate waste ground to the east of the building. The works will tidy up the appearance of the site and generally impart a beneficial impact whilst helping to limit on street parking in the vicinity.

4.27 **In summary**, it is acknowledged that some changes will impart a degree of harm, albeit in all instances where this occurs there is a strong rationale for change, most specifically for securing a viable use for the building. For the most part the proposals impart benefits, with some changes reinstating lost features and therein enhancing the heritage significance of the listed building. The works include the general repair and refurbishment of the building, which is suffering the cumulative degradation of vacancy and is desperately in need of a new viable use. The overall outcome of the scheme should therefore be positive, with harm outweighed by long term benefits which secure the future use of the vacant building.

Analysis of the Proposals: Local Heritage Planning Policy

4.28 Local planning policy effectively follows, as it must legally do, the policy requirements of the NPPF, therefore separate consideration of local policy in the heritage planning context is not deemed necessary.

5 SUMMARY & CONCLUSION

- 5.1 This heritage statement has been prepared to assess the potential heritage impacts of the proposed conversion of the vacant grade II listed 45-47 Whalley Road, Clitheroe, into a house, apartments and commercial use. The key issue is to what extent if any might the proposals harm the heritage significances of the listed building, which has previously been used as an inn and a commercial retail unit.
- 5.2 The statement begins by exploring the heritage interests of the building, which comprises two distinct but adjoining parts (nos. 45-47) that differ in age and style. The appraisal of heritage interests reveals that the building has suffered on account of past conversion and alteration, with an original early C19th inn/dwelling part extended through the incorporation of an adjoined building of later C19th date, which was last used for retail but was previously a function room (part of a pub), and which might for short while have been used as a preaching chapel in the C19th (there remains a large redundant function room at first floor level). Herein the building retains architectural and historical interest, but the level of interest is comparatively low with the building suffering from vacancy related neglect.
- 5.3 In terms of heritage significance, the building's main frontage to Whalley Road retains a degree of architectural interest with its adjoined parts of varying style. The left hand part (no. 47) also possesses a degree of landmark presence as a corner building, with prominent road-facing gable and a return wall (Turner Street) with tall upper storey windows. Otherwise, there is historical significance relating to the building's historical use as inn and function room, with some potential interest linked to its possible use as a preaching room. These significances have been eroded by past alteration, however.
- 5.4 The impact of the proposed repair, refurbishment and conversion works has then been analysed to establish the likely impact upon the building's heritage significance. This analysis has revealed that, whereas there will be a degree of harm, most specifically in linked to the insertion of rooflights and the insertion of a mezzanine floor within the function room, the net impact of the proposals will be beneficial. This is partly because of the repair and refurbishment process, but more importantly because of the securing of a new and viable use for what is otherwise a vacant and redundant listed building. For this reason, the overall impact is considered supportable, under the provisions of the NPPF as they relate to the conservation of designated heritage assets.

ⁱ Clarke, K, *Informed Conservation*, Historic England 2003

ⁱⁱ Historic England, *Conservation Principles, Policies and Guidance: Sustainable Management of the Historic Environment*, 2008

ⁱⁱⁱ Historic England, *Conservation Principles, Policies and Guidance: Sustainable Management of the Historic Environment*, 2008

^{iv} Historic England Advice Note 12 (2019) *Statements of Heritage Significance: Analysing Significance in Heritage Assets*

^v Historic England, *Conservation Principles, Policies and Guidance: Sustainable Management of the Historic Environment*, 2008