

ROOF

Strip and store slates and ridge tiles for reuse to all roofs. Undertake isolated repairs to trusses at the bearings, spars and purlins generally. Roof to Turner Street block and outrigger to be insulated within the roof plane and refelled prior to re-battening and slating and installation of conservation rooflights. Any replacement materials to be like for like replacements.

RAINWATER

Leadwork to gutter to be replaced, allow for realigning existing gutter stones. Lead spitters to discharge into hopper head to rwp. Existing rwp to be removed, repaired as required prior to reinstatement. Any redundant fixing holes to be made good. Any replacement materials to be like for like replacements and to discharge to existing gulleys.

CHIMNEY

Isolated repairs to chimney stacks. Dismantle and rebuild as required, rebuilding to be undertaken with lime mortar using existing masonry. All defective bricks to be replaced like for like. All lead flashings to be renewed. Chimney pots to be retained and reused.

RENDER

Existing render to 45 Whalley Road elevation to be carefully examined and repaired on a like for like basis as required prior to re-decoration.

Existing render to 47 Whalley Road elevation to be carefully hacked off and taken from site, in preparation for masonry behind to be exposed.

STONEMASONRY

Stonework to be examined and repaired on a like for like basis as required. Any brickwork to be removed and replaced with a stone to match the existing. Existing and replacement stonework to be carefully cleaned down and repointed. Stone heads, jambs and cills to openings to be cleaned down to remove any applied finishes.

no.45

no.47



1 West Elevation
Scale: 1:50

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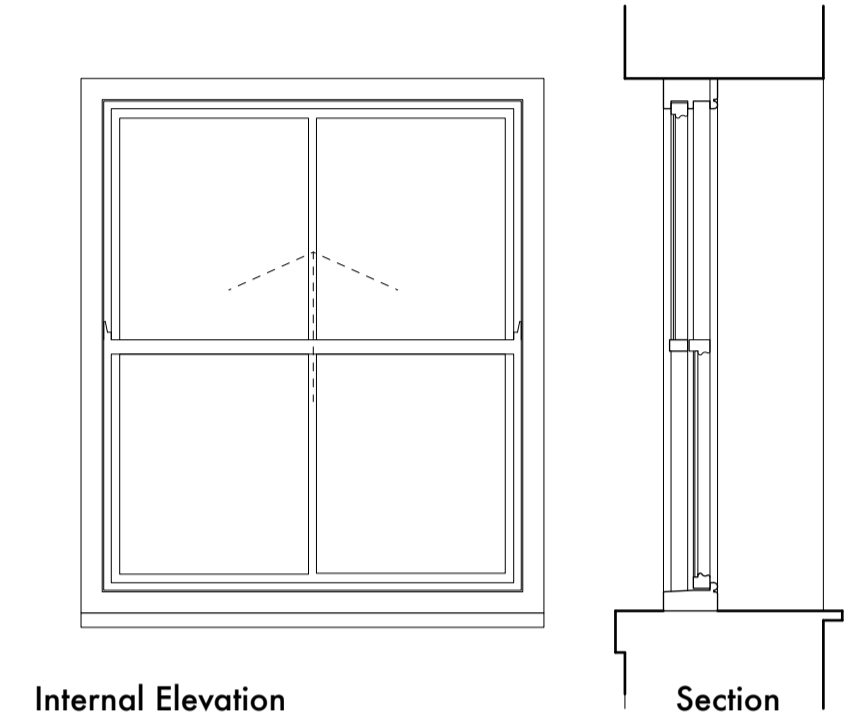
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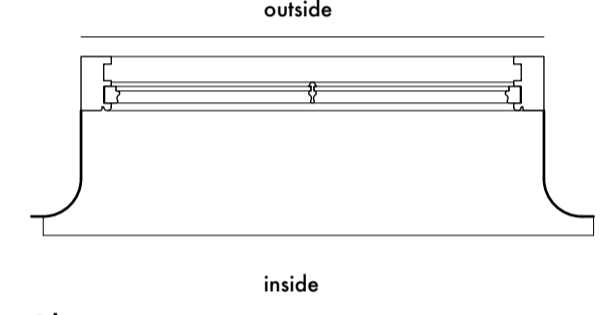
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revision	date	note
A	June 2025	issued for planning and listed building approval



Internal Elevation

Section



Plan

A Sash Window
Scale: 1:20

WINDOWS

Boards and metal mesh from windows to be removed. All the windows are beyond economic repair, all windows to be replaced. Replacement windows are to match existing in arrangement and operation ie casement or sliding sash. Windows to be painted hardwood with profiles to match existing and glazed with ultra slim Krypton filled toughened double glazing.

DOORS

No. 45
New front door to be 54 thick decorated hardwood 6 panel door.

No. 47
New double glazed decorated hardwood timber arched doors to commercial units.


ROOFLIGHTS

Rooflights to paired flush fitting, with integral glazing bar.




2 South Elevation
Scale: 1:50





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Chartered Practice

project
45 - 47 Whalley Road

name
main elevations - detailed

scale
1 to 50 @ A1

project number
2431

date
february 2025

drawing number
PL05

status
planning

revision
A

ROOF

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RAINWATER

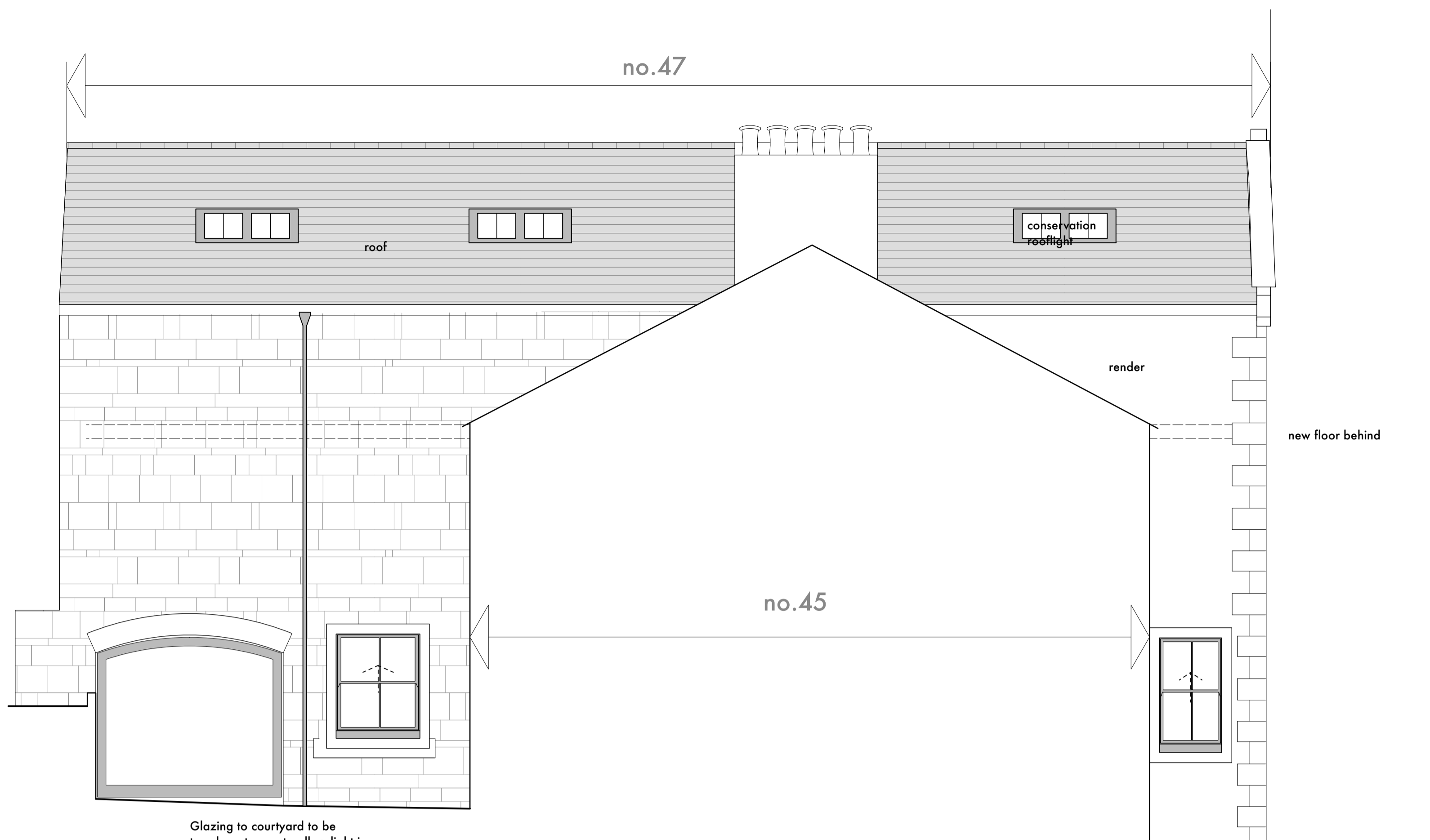
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CHIMNEY

Isolated repairs to chimney stacks. Dismantle and rebuild as required, rebuilding to be undertaken with lime mortar using existing masonry. All defective bricks to be replaced like for like. All lead flashings to be renewed. Chimney pots to be retained and reused.

STONEMWORK

Stonework to be examined and repaired on a like for like basis as required. Any brickwork to be removed and replaced with a stone to match the existing. Existing and replacement stonework to be carefully cleaned down and repointed. Stone heads, jambs and cills to openings to be cleaned down to remove any applied finishes.



3 North Elevation
Scale: 1:50

WINDOWS

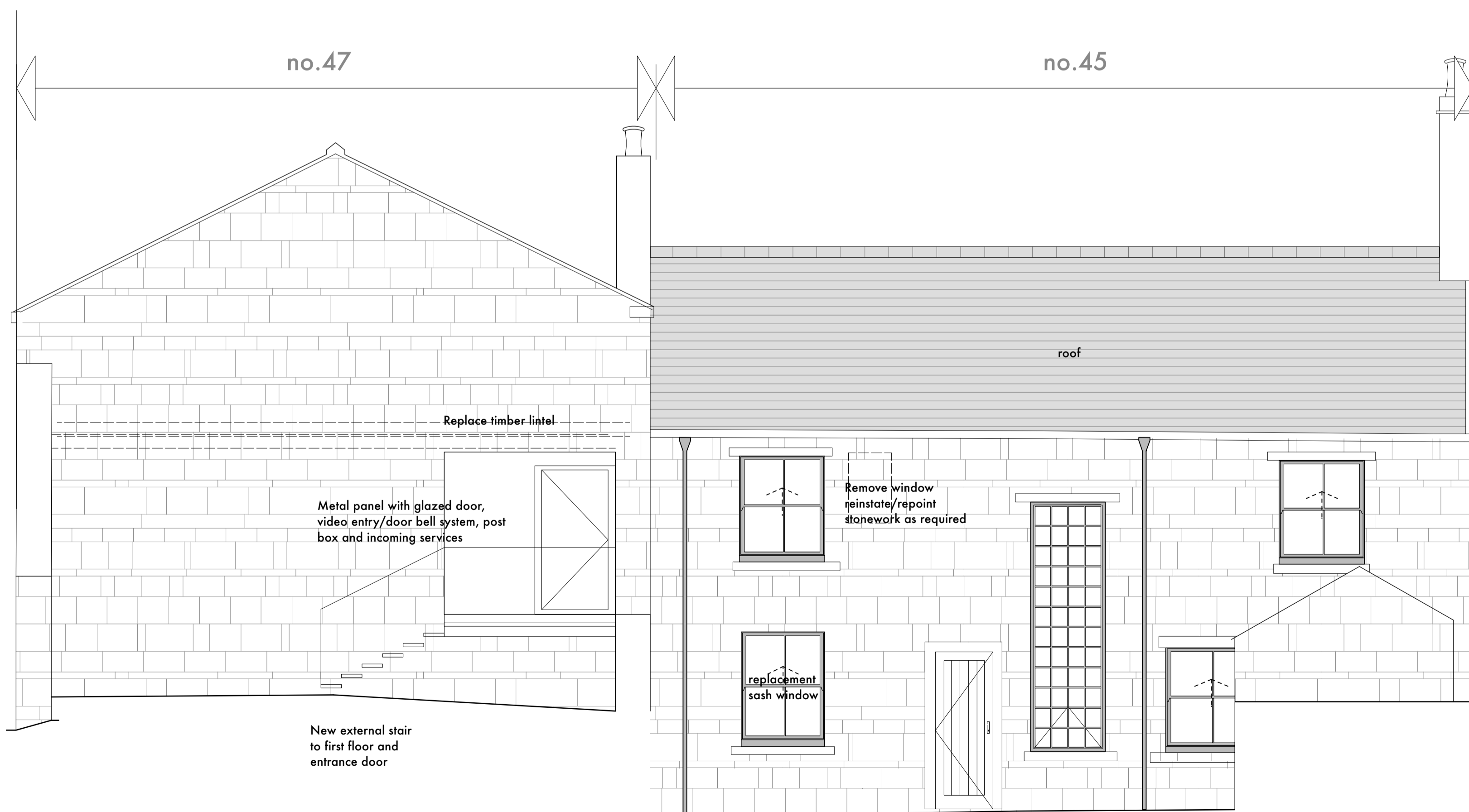
Boards and metal mesh from windows to be replaced. All the windows are beyond economic repair, all windows to be replaced. Replacement windows are to match existing in arrangement and operation ie casement or sliding sash. Windows to be painted hardwood with profiles to match existing and glazed with ultra slim Krypton filled toughened double glazing.

DOORS

No 45
Rear doors will be retained and repaired as required.

ACCESS TO FLATS

Double glazed steel frame entrance door to flats, with side panel for post, video entry/door bell etc. New metal access stair.



4 East Elevation
Scale: 1:50

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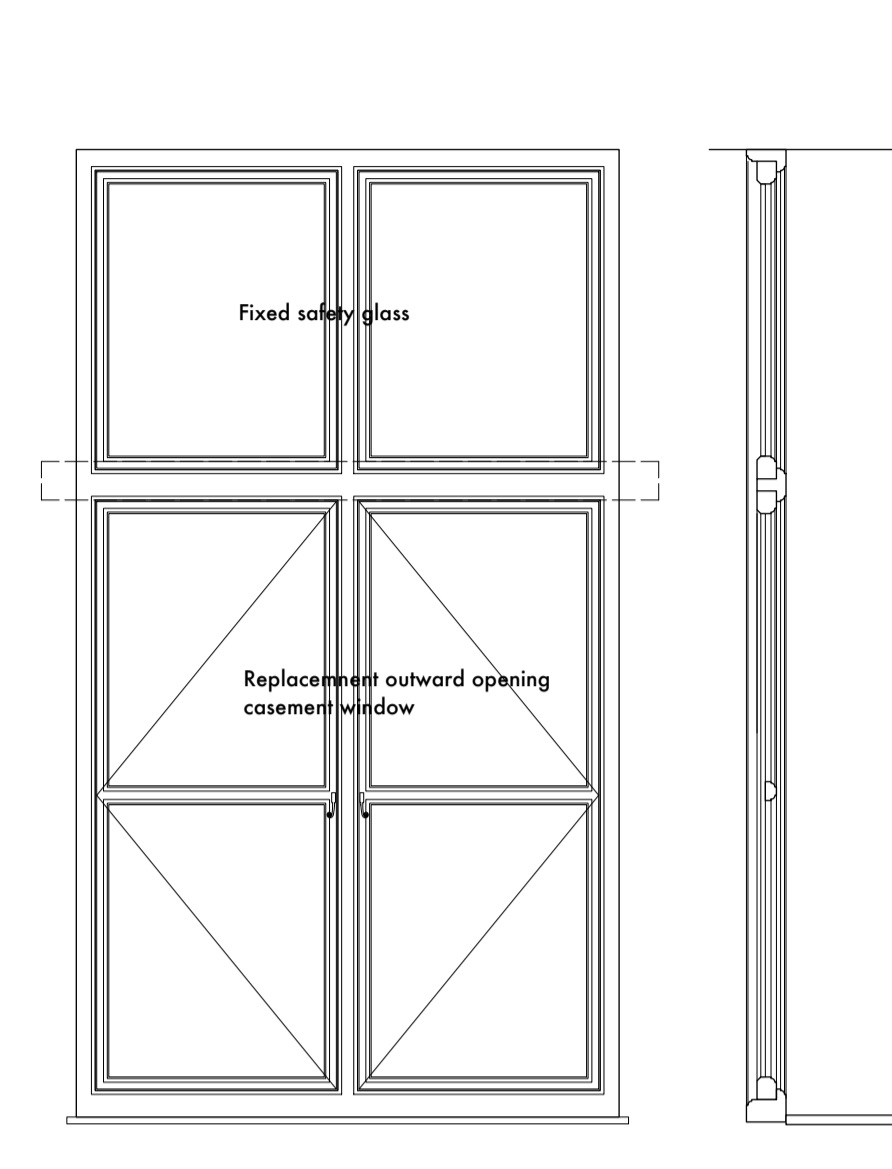
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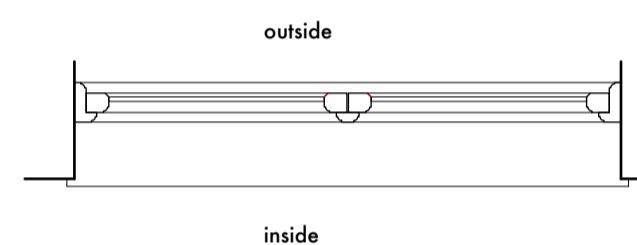
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revision	date	note
A	June 2025	issued for planning and listed building approval



Internal Elevation **Section**



Plan

B Casement details
Scale: 1:20



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Chartered Practice

<p>project 45 - 47 Whalley Road</p> <p>name rear elevations - detailed</p> <p>scale 1 to 50 @ A1</p>	<p>project number 2431</p> <p>date february 2025</p> <p>status planning</p>
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drawing number
PL06

revision
A

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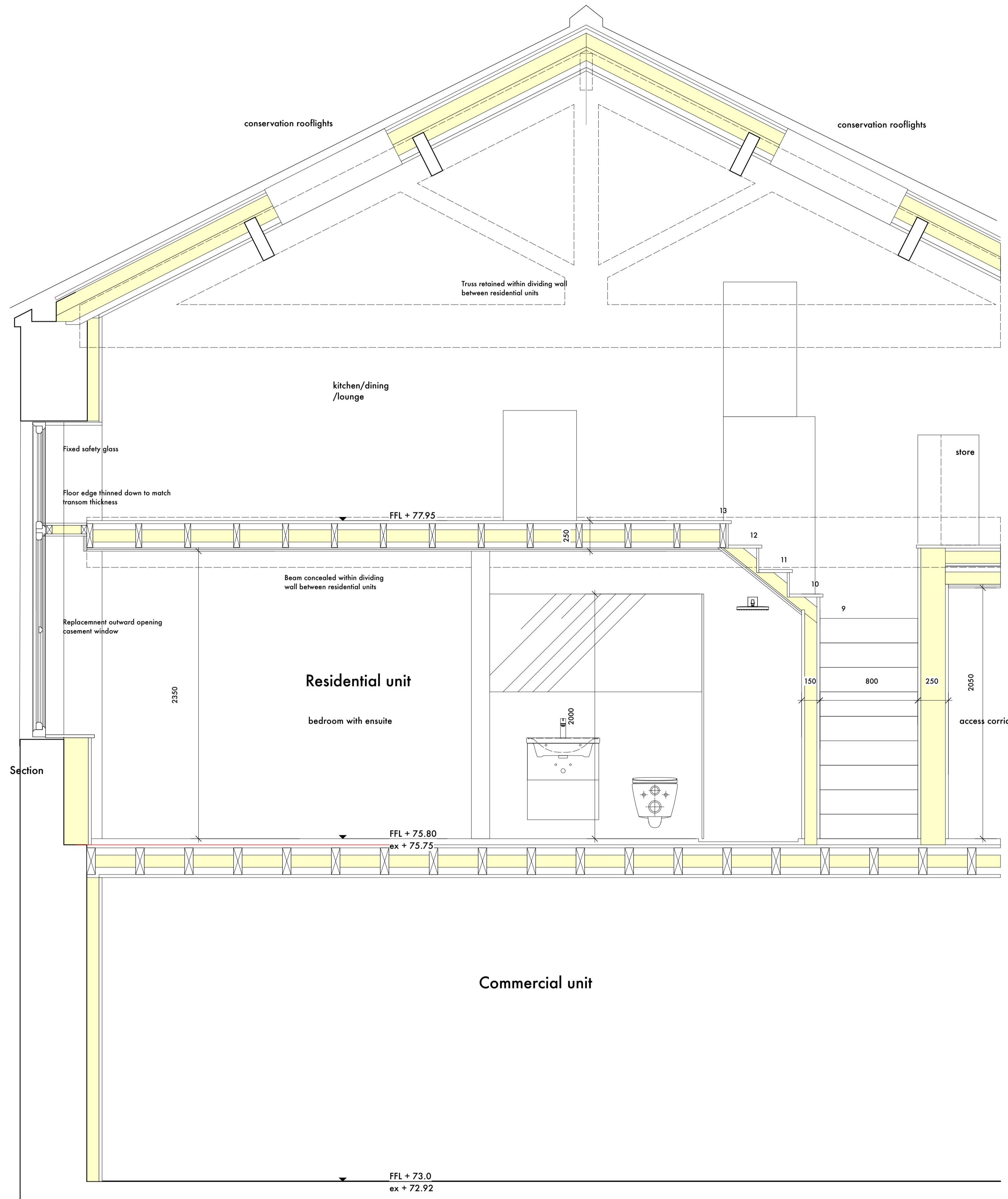
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revision	date	note
A	April 2025	issued for planning and listed building approval



B Cross section - partial
Scale: 1:20

Replacement roof

Strip and store slates and ridge tiles for reuse to all roofs. Undertake isolated repairs to trusses at the bearings, spars and purlins generally. Roof to Turner Street block to be insulated within the roof plane and refeltd prior to re-battening and slating and installation of conservation rooflights. Any replacement materials to be like for like replacements. To be underdrawn with MR ceiling with skim finish.

Proposed Floor between residential units and corridor.

150 x 50 C24 Timber joist at 400 centres, floor surface of timber- or wood-based board, minimum mass per unit area 15kg/m²; an absorbent layer of mineral wool (minimum thickness 100mm, minimum density 10kg/m³) laid in the cavity.

Independent ceiling 100 x 50 C16 Timber joist at 400 centres, 2 layers of plasterboard with staggered joints.

Proposed Floor within residential units.

200 x 50 C24 Timber joist at 400 centres, with wood-based board and plasterboard ceiling, and absorbent material.

floor surface of timber- or wood-based board, minimum mass per unit area 15kg/m²; ceiling treatment of double layer of plasterboard, minimum mass per unit area 10kg/m²; an absorbent layer of mineral wool (minimum thickness 100mm, minimum density 10kg/m³) laid in the cavity.

Internal wall between residential units

250 thick wall to enclose 406UB spanning between walls.

Wall to be formed with timber or metal frames with plasterboard linings on each side of frame, each lining to be two or more layers of plasterboard, each sheet of minimum mass per unit area 10kg/m²; an absorbent layer of 100mm unfaced mineral wool batts or quilt (minimum density 10kg/m³) which may be wire reinforced, suspended in the cavity;

all joints well sealed.

Floor between proposed ground floor commercial units and first floor residential units

The existing floor is 265mm thick made of sw floor boards on 9 inch joists underdrawn with plasterboard. The existing floor is to be upgraded and supplemented by a new floating floor.

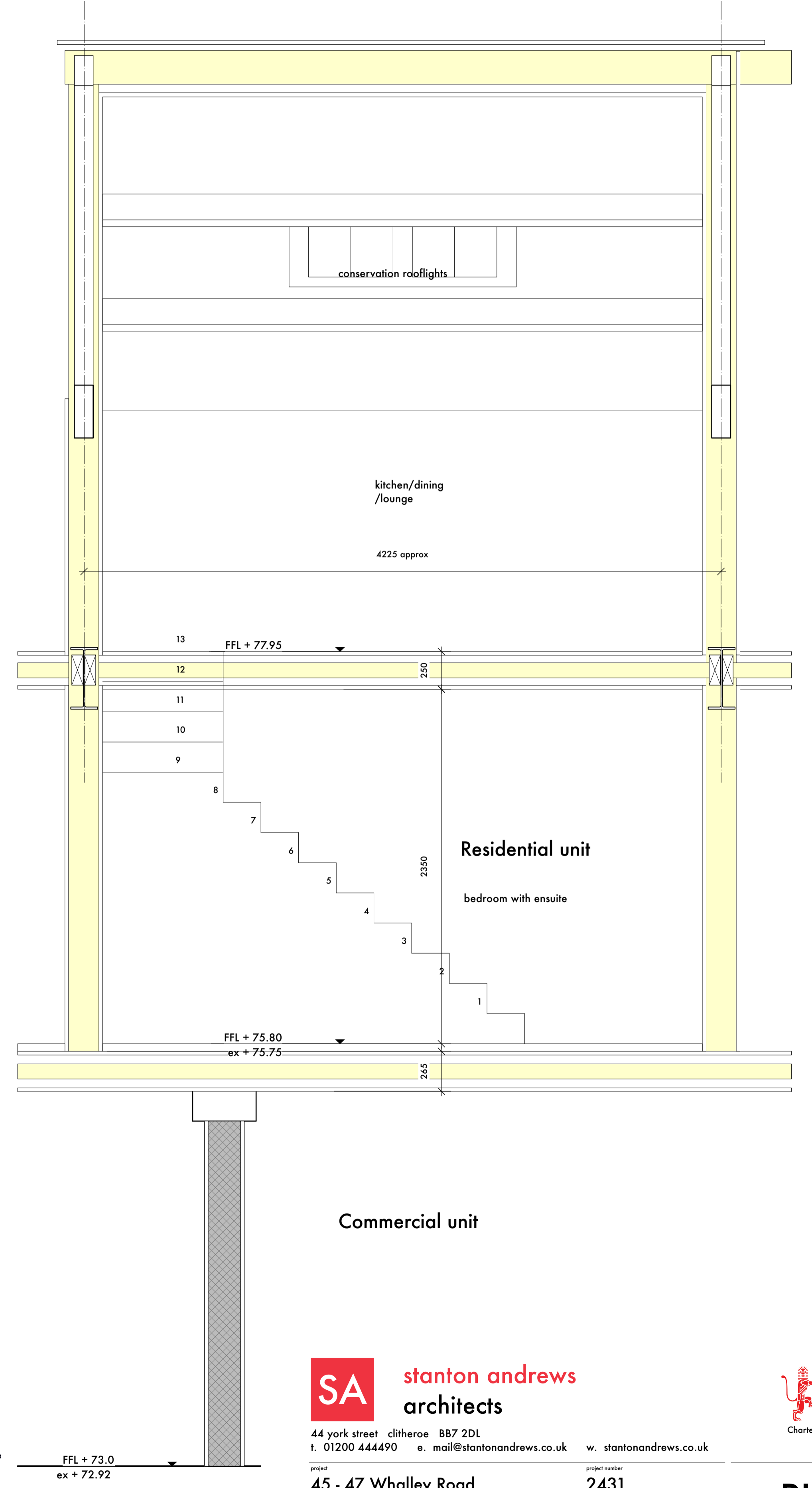
The existing ceiling is to be removed and a layer of mineral wool (minimum thickness 100mm, minimum density 10kg/m³) be laid between the joists in the floor cavity. The ceiling will then be underdrawn in 2 layers of plasterboard.

The new floating layer should be a minimum of two layers of board material; minimum total mass per unit area 25kg/m²; each layer of minimum thickness 8mm; fixed together (e.g. spot bonded or glued/ screwed) with joints staggered. The floating layer should be laid loose on a resilient layer. The resilient layer to be paper faced mineral wool, minimum thickness 25mm, density 60 to 100kg/m³. Finished in carpet or engineered timber.

Dividing walls between proposed commercial units

Prior to installing 215 thick dense concrete blockwork wall, ceiling and floor finishes to be removed as required to expose soffit of beam or footings/remains of previous wall

A Typical section through residential unit
Scale: 1:20



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Chartered Practice

project number: **45 - 47 Whalley Road**
drawing number: **2431**

name: **proposed sections**

scale: 1 to 20 @ A1 date: february 2025 status: planning revision: A

PL07